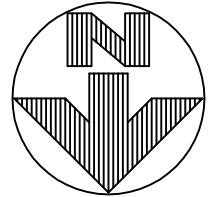


PLOT PLAN  
 LOT 2070 (8,220 SF) 0.189 ACRES  
 BERRYVIEW ESTATES, SECTION 2  
 VILLAGE OF GERMANTOWN  
 MONTGOMERY COUNTY, OHIO  
 FOR: CRISTO HOMES



10 0 10 20 30

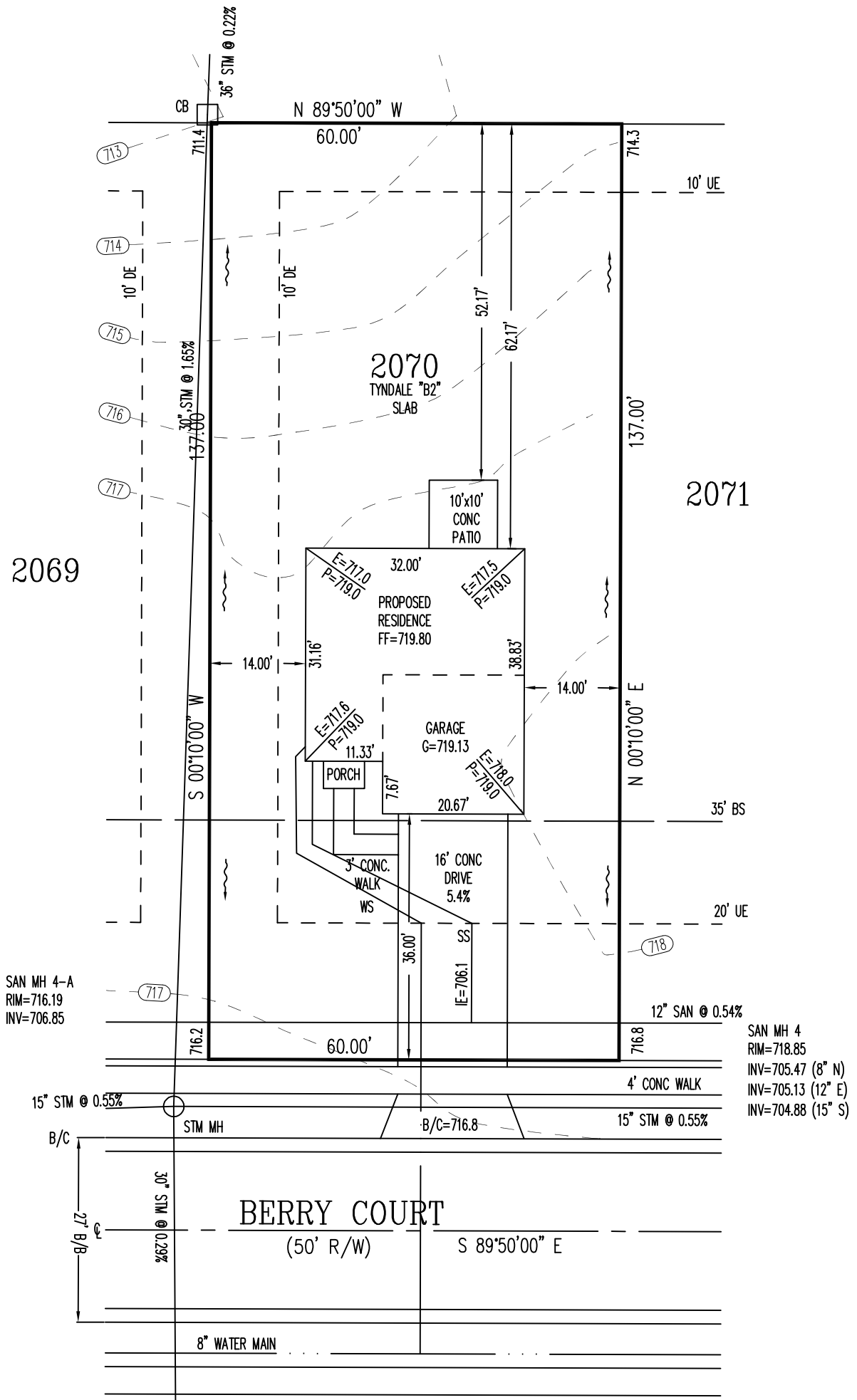
MARKET HOME  
 5 BERRY COURT

SETBACKS  
 FRONT=35' (PER PLAT)  
 REAR=30' (PER R-1 CODE)  
 SIDE=8' MIN/20' TOTAL (PER PLAT)

QUANTITIES  
 TOTAL LOT AREA=8,220 SF  
 CITY WALK= 176 SF  
 HOUSE WALK=49 SF  
 DRIVE=656 SF  
 APRON=121 SF  
 PATIO & PORCHES=124 SF  
 SEEDING=6,585 SF



TOPOGRAPHY FROM FIELD  
 LOCATIONS BY APEX IN DEC.,  
 2017.  
 MAY NOT REFLECT CURRENT  
 CONDITIONS.



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

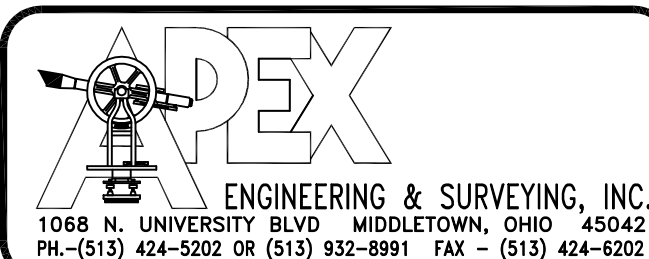
A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC.  
 ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

SCALE: 1"=20'  
 DATE: 04-23-19  
 DRAWN: JLL  
 DESIGNED:  
 CHECKED: KRC



REVISIONS:

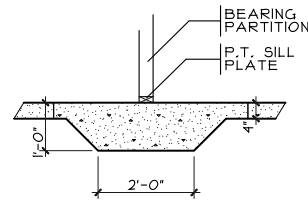
- 1.
- 2.
- 3.
- 4.

PROJECT: BERRYVIEW  
 DRAWING: 190846PA

SHEET  
 1 OF 1

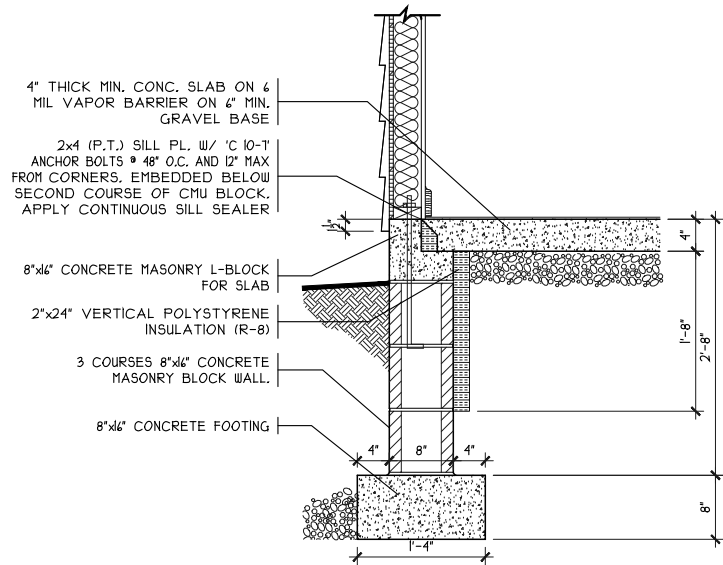


HA:\Archives\Cristo\CR119051\CONTRACTS\CR119051 BE-2070 (Tyndale Slab)\CR119051 BE-2070 Tyndale Slab.dwg U:\Archives\April 03, 2018 3:18:33 PM



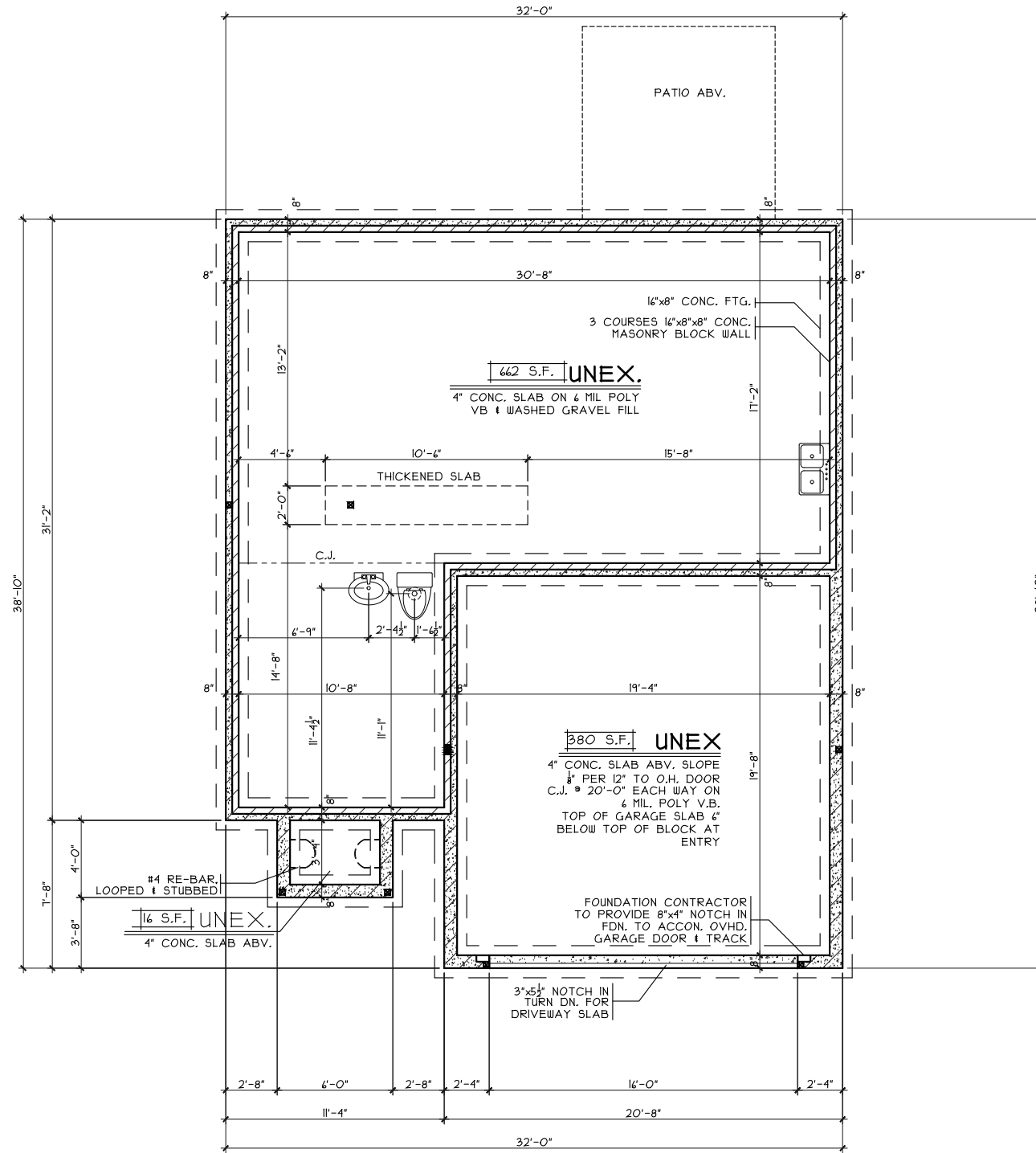
THICKENED SLAB

SCALE: 1/4" = 1'-0"



SOG DETAIL

SCALE: 1/8" = 1'-0"



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

Table with 1 column and 1 row: OPTIONS

Foundation Plan

Plan: Tyndale Slab
Date: 4.3.2019
Drawn: MA
Scale: As Noted
Revised:
Sheet: 6 of 11

BE-2070

Proposed Residence:

Market Home
5 Berry Court
Berryview Estates Lot# 2070

Tyndale Slab - B2 - Vinyl

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Issue Dates

Table with 2 columns: Review, Issue Dates

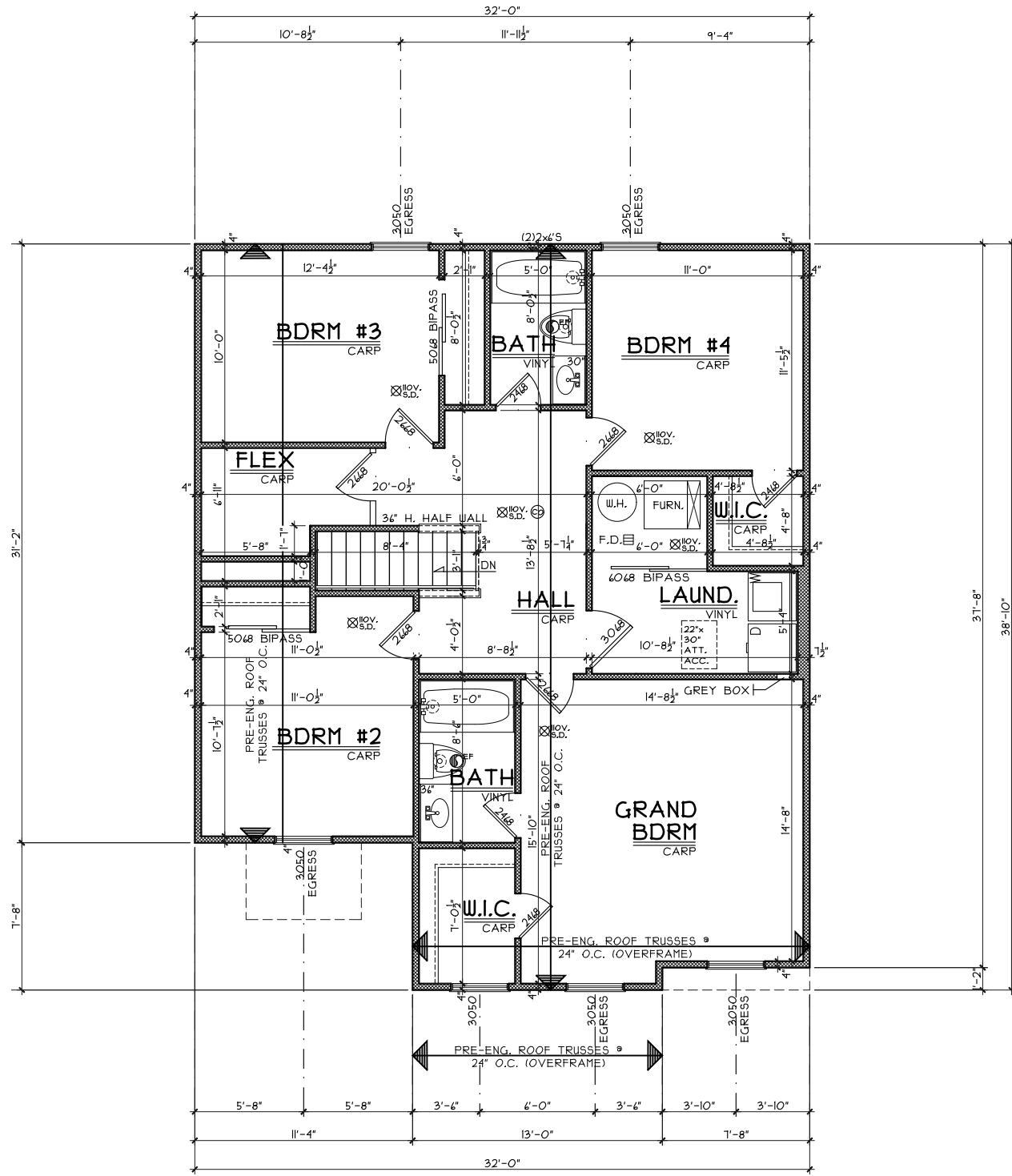


7594-A Tylers Place Blvd.
West Chester, OH 45069
513.755.0570 www.cristohomes.com

Montgomery
Germantown

A2





**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 1121 S.F

OPTIONS

Second Floor Plan

Plan: Tyndale Slab  
 Date : 4.3.2019  
 Drawn: MA  
 Scale : As Noted  
 Revised:  
 Sheet : 9 of 11



7594-A Tylers Place Blvd.  
 West Chester, OH 45069  
 513.755.0570 www.cristohomes.com

BE-2070

Proposed Residence:  
 Market Home  
 5 Berry Court  
 Berryview Estates Lot# 2070

Tyndale Slab - B2 - Vinyl

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Issue Dates

Review	Issue Dates

Montgomery  
 Germantown

A4