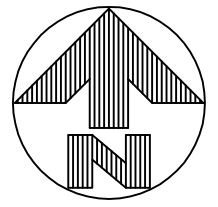
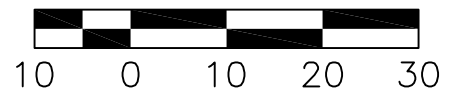


# PLOT PLAN

LOT 2073 (8,220 SF) 0.189 ACRES  
 BERRYVIEW ESTATES, SECTION 2  
 VILLAGE OF GERMANTOWN  
 MONTGOMERY COUNTY, OHIO  
 FOR: CRISTO HOMES



POPP RESIDENCE  
 706 MAXWELL COURT

2070

TOPOGRAPHY FROM FIELD LOCATIONS  
 BY APEX IN DEC., 2017.  
 MAY NOT REFLECT CURRENT  
 CONDITIONS.

SETBACKS  
 FRONT=35' (PER PLAT)  
 REAR=30' (PER R-1 CODE)  
 SIDE=8' MIN/20' TOTAL (PER PLAT)

QUANTITIES

|                   |       |         |
|-------------------|-------|---------|
| TOTAL LOT AREA    | 8,220 | sq. ft. |
| CITY WALK         | 176   | sq. ft. |
| HOUSE WALK        | 42    | sq. ft. |
| DRIVE             | 640   | sq. ft. |
| APRON             | 139   | sq. ft. |
| PATIO AND PORCHES | 132   | sq. ft. |
| DECK              | -     | sq. ft. |
| SEEDING AREA      | 6,466 | sq. ft. |



INFORMATION FROM CONSTRUCTION  
 DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND  
 DEPTH OF WATER AND UTILITY SERVICES  
 BEFORE CONSTRUCTION.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD  
 VERIFIED BY AN ENGINEERING FIRM,  
 CONTRACTOR TAKES FULL RESPONSIBILITY  
 FOR THE FINISH FLOOR ELEVATION.

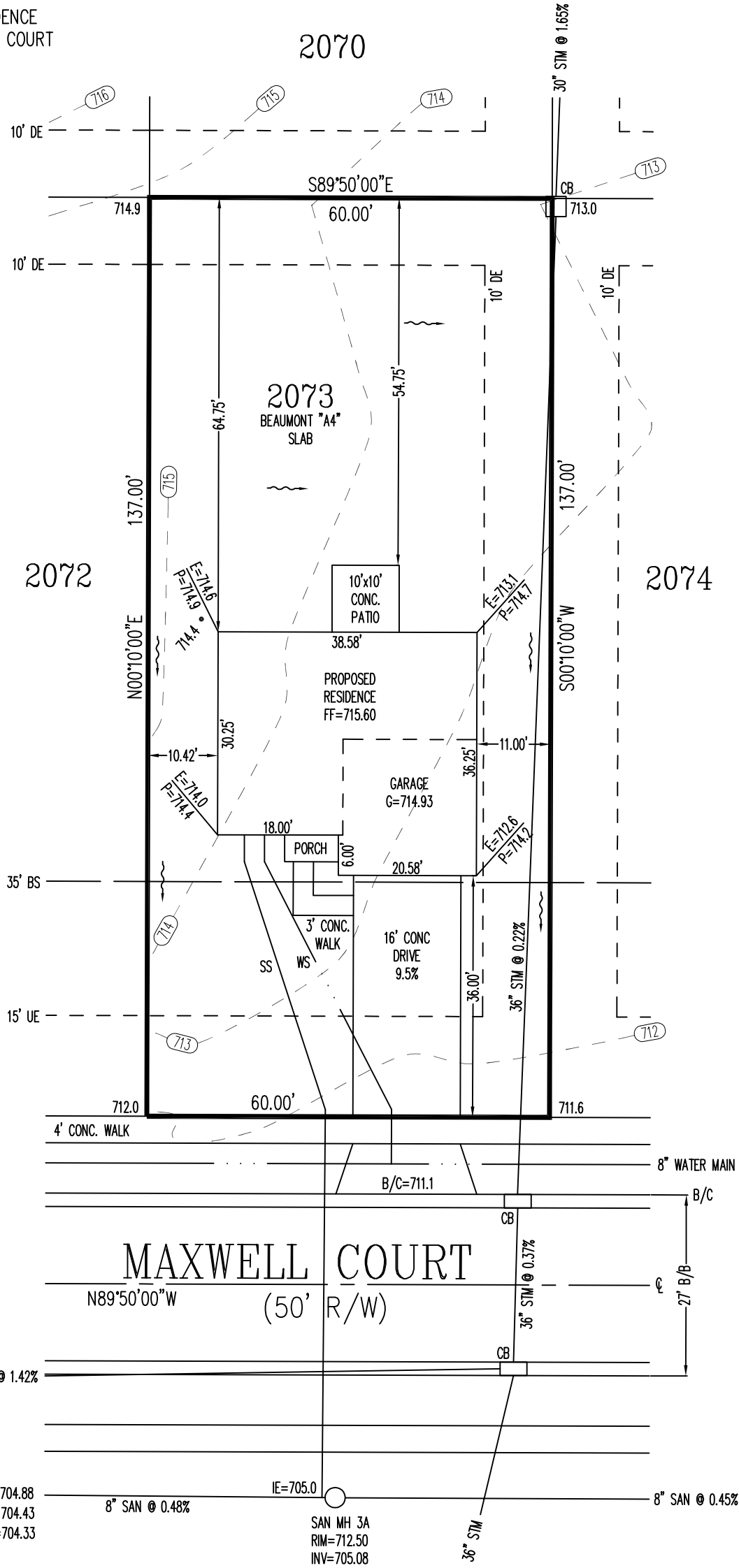
A STANDARD FORMULA WAS USED TO  
 DETERMINE FINISH FLOOR GRADE. FINAL  
 FINISH FLOOR ELEVATION IS CONTRACTOR'S  
 RESPONSIBILITY.

ALL ELEVATIONS ARE EXISTING UNLESS  
 SPECIFIED WITH AN "E" FOR EXISTING OR A  
 "P" FOR PROPOSED.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE  
 AROUND AND AWAY FROM HOUSES.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL  
 REPORT SHALL BE OBTAINED BY THE  
 BUILDER. APEX ASSUMES NO  
 RESPONSIBILITY FOR SOIL CONDITIONS.

APEX ENGINEERING & SURVEYING INC.  
 ADVISES AGAINST HOLDING THE MINIMUM  
 REQUIRED DISTANCE ON ANY AND ALL  
 SETBACKS, FRONT, REAR, AND SIDES. THE  
 BUILDER ASSUMES ALL RESPONSIBILITIES  
 FOR ANY BUILDING ENCROACHMENTS THAT  
 MAY OCCUR.



SAN MH 3  
 RIM=715.03  
 INV 12" (E)=704.88  
 INV 15" (N)=704.43  
 INV 15" (W)=704.33

SAN MH 3A  
 RIM=712.50  
 INV=705.08

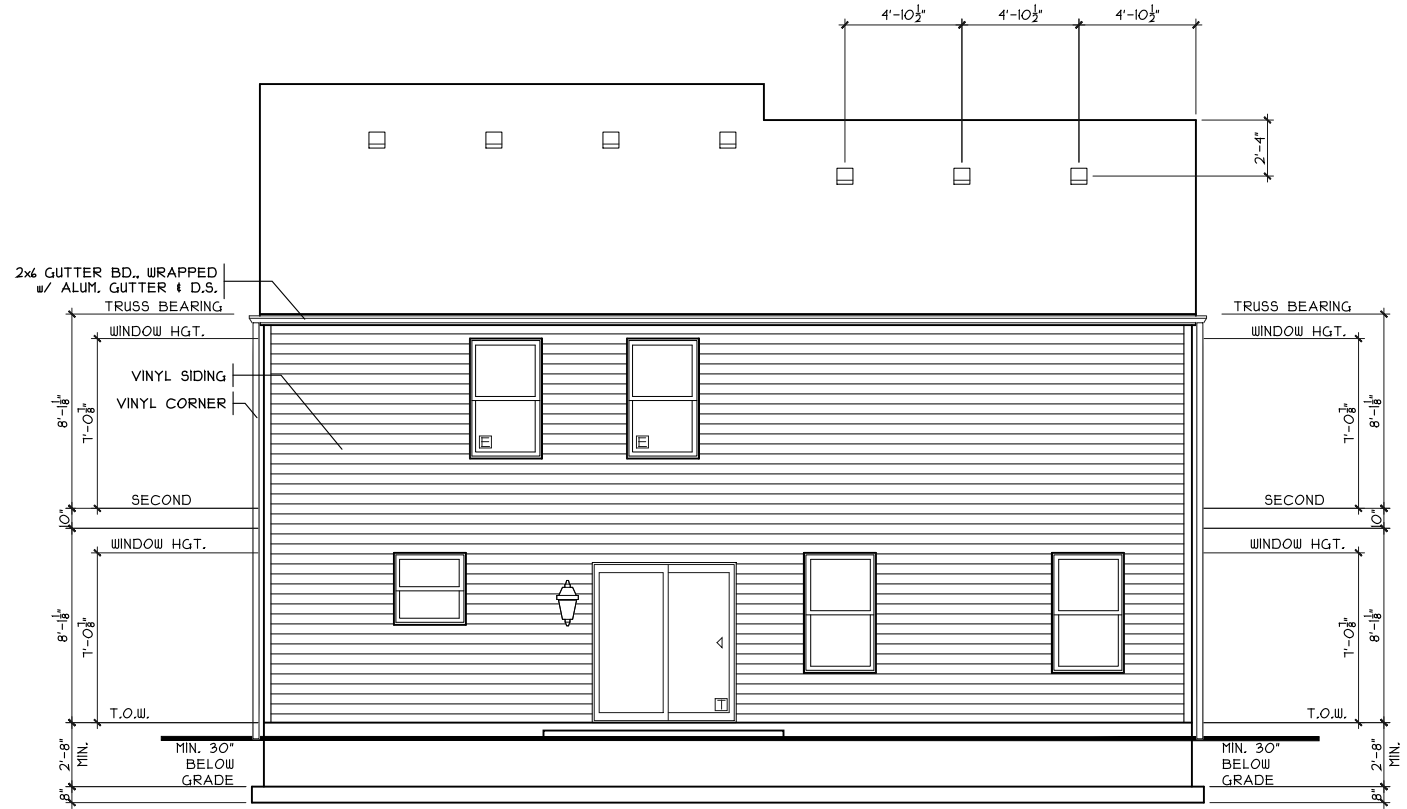
SCALE: 1"=20'  
 DATE: 7/23/2019  
 DRAWN: REW  
 DESIGNED: -  
 CHECKED: KRC

**APEX**  
 ENGINEERING & SURVEYING, INC.  
 1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
 PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:

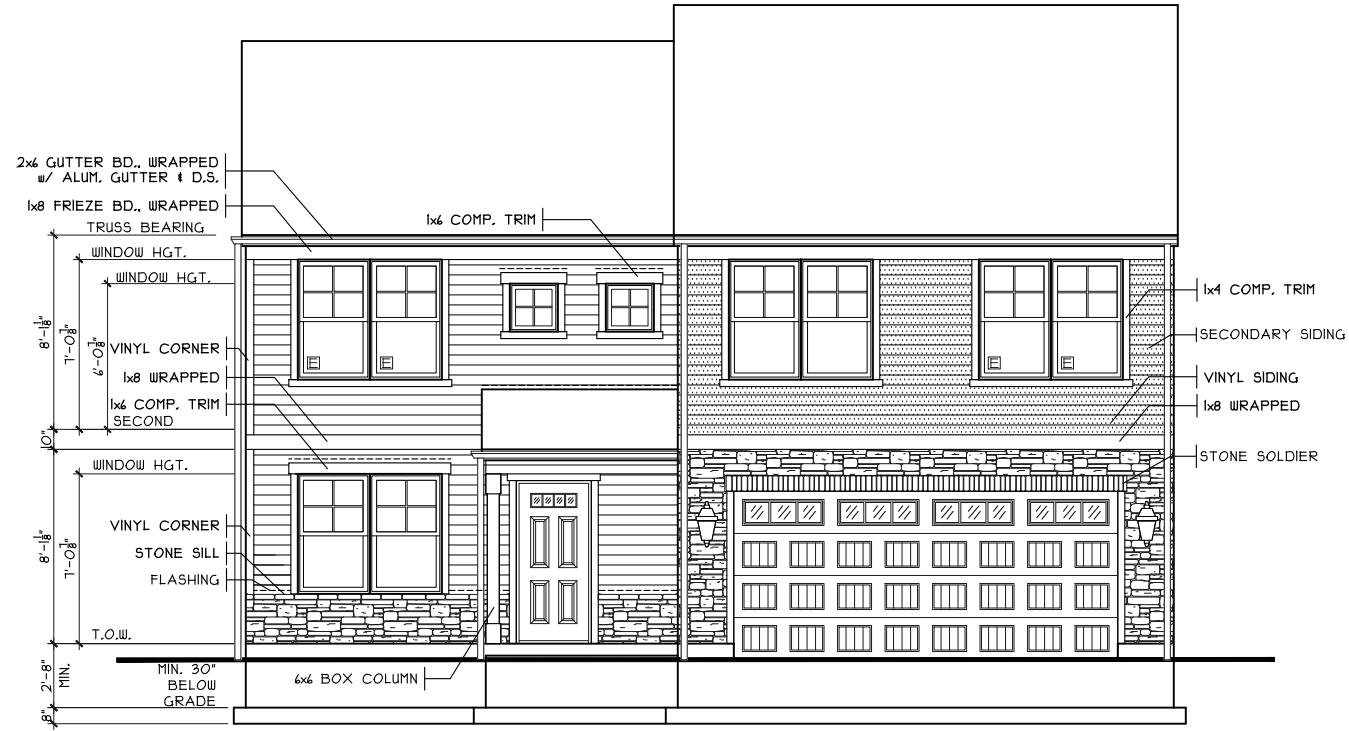
- 
- 
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- 

|   |                 |
|---|-----------------|
| PROJECT: BERRYVIEW<br>DRAWING: 191642PA | SHEET<br>1 OF 1 |
|---|-----------------|



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



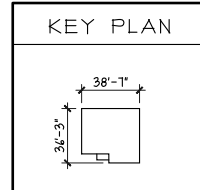
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

| SHEET INDEX |                                      |
|-------------|--------------------------------------|
| SHT#        | DESCRIPTION                          |
| A1          | Front and Rear Elevations (A)        |
| A1a         | Left and Right Elevations (A)        |
| A2          | Foundation Plan                      |
| A3          | First Floor Plan                     |
| A4          | Second Floor Plan                    |
| A5          | Typical Wall Sections/Stair Section  |
| A5a         | Portal Framing Detail                |
| A6          | Typical Framing Details (Aluminum)   |
| G1          | General Notes                        |
| E1          | Electrical Plan                      |
| S1          | First Floor Joist Layout / Roof Plan |

NOTE:  
 PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"  
 PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

| 2S2156B4<br>PLAN INFO |               |
|-----------------------|---------------|
| 4                     | BDRMS         |
| 2.5                   | BATHS         |
| 2                     | CAR GARAGE    |
| 8'                    | 1ST FLR. CLG. |
| SQUARE FOOTAGE        |               |
| TOTAL                 | 2172          |
| MAIN                  | 818           |
| UPPER                 | 1294          |
| LOWER (SLAB)          | 792           |
| GARAGE (SLAB)         | 371           |



| OPTIONS |  |
|---------|--|
|         |  |
|         |  |
|         |  |
|         |  |
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|         |  |

BE-2073  
 Proposed Residence:  
 Melody Popp  
 706 Maxwell Court  
 Berryview Estates Lot #2073

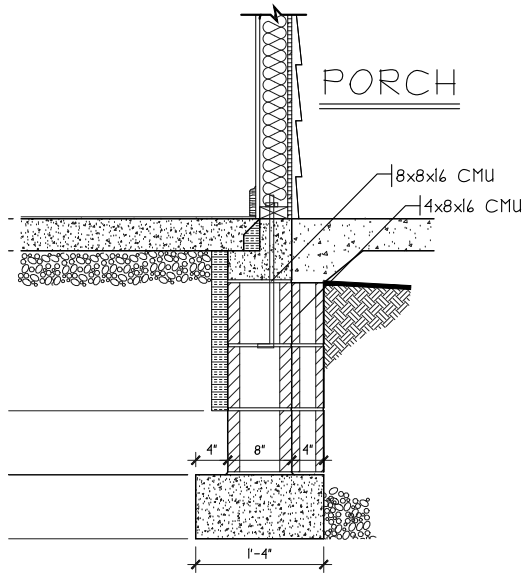
| Issue Dates |  |
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Beaumont Slab - A4 - Vinyl  
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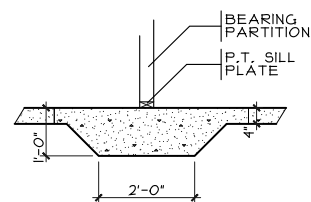


Elevation A  
 Plan: Beaumont Slab  
 Date: 7/9/2019  
 Drawn: KMA  
 Scale: As Noted  
 Revised:  
 Sheet: 1 of 11

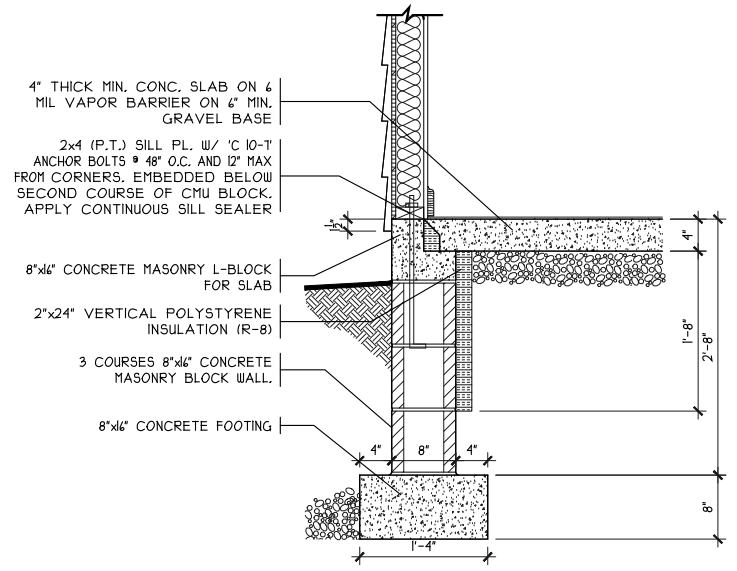
**A1**



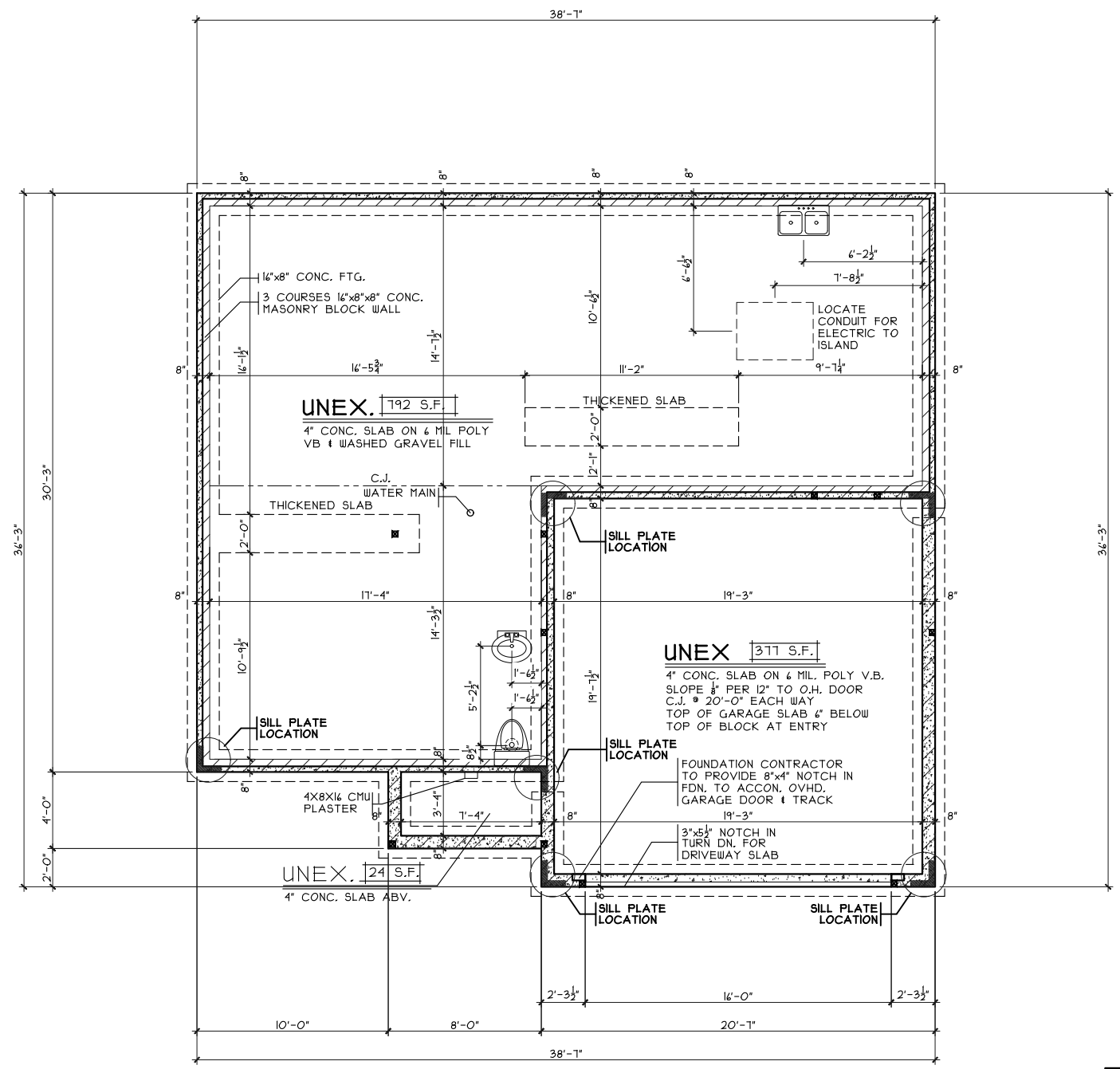
**BLK. DETAIL**  
SCALE: 1" = 1'-0"



**THICKENED SLAB**  
SCALE: 1/4" = 1'-0"



**SOG DETAIL**  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

OPTIONS

**Foundation Plan**  
Plan: Beaumont Slab  
Date: 7/9/2019  
Drawn: KMA  
Scale: As Noted  
Revised:  
Sheet: 3 of 11

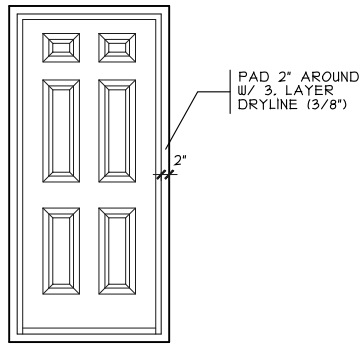
**CRISTO HOMES**  
7594-A Tylers Place Blvd.  
West Chester, OH 45389  
513.755.0570 www.cristohomes.com

Proposed Residence:  
**Melody Popp**  
706 Maxwell Court  
Berryview Estates Lot #2073

**Beaumont Slab - A4 - Vinyl**  
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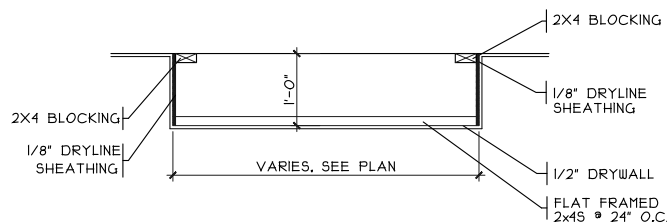
| Review | Issue Dates |
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**A2**



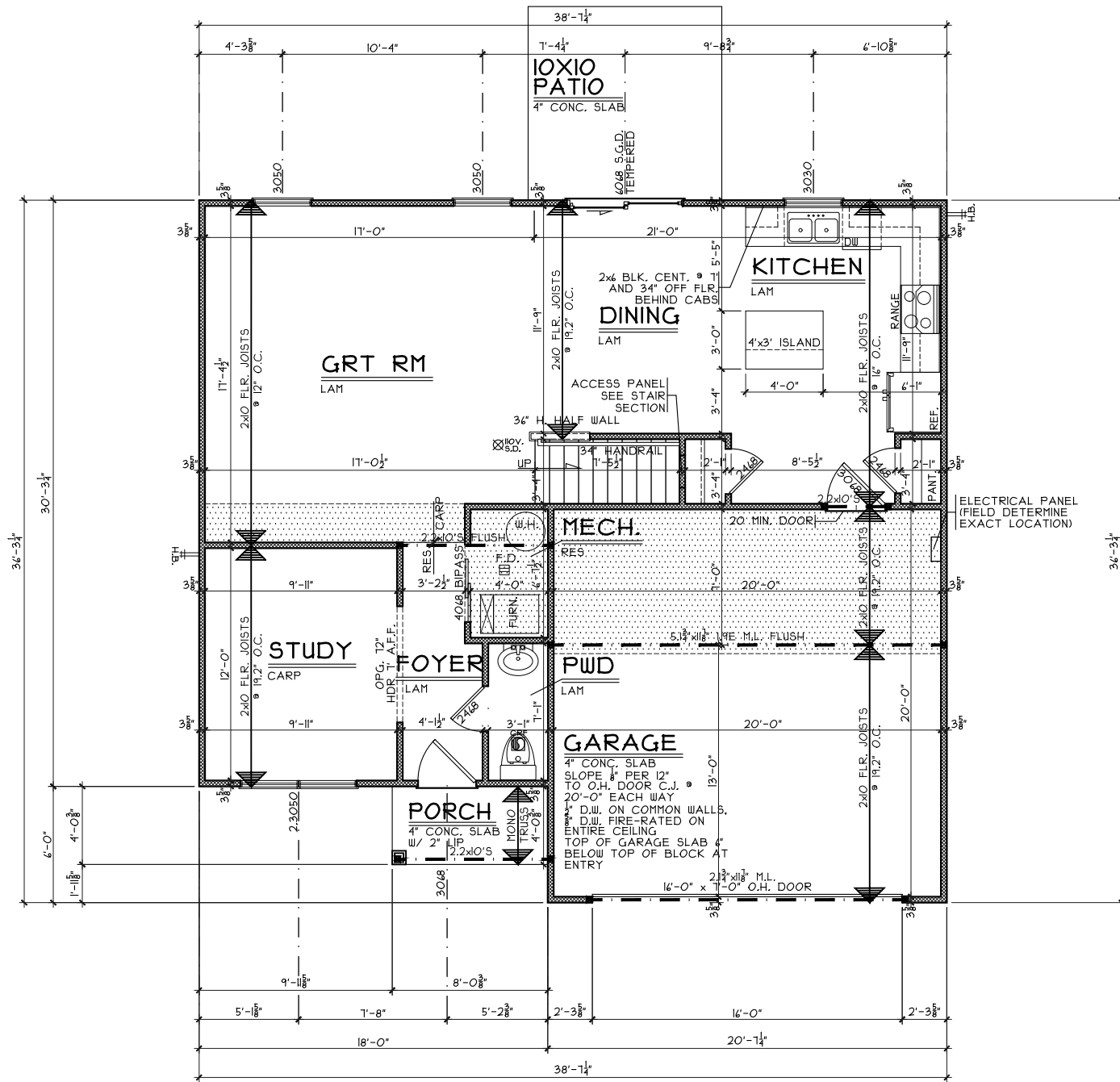
DOOR FRAMING DTL.

SCALE: 1/4" = 1'-0"



DROP CLG. DETAIL

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0" 818 S.F.

OPTIONS

First Floor Plan

Plan: Beaumont Slab  
Date: 7/9/2019  
Drawn: KMA  
Scale: As Noted  
Revised:  
Sheet: 4 of 11



7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.755.0570 www.cristohomes.com

BE-2073

Proposed Residence:

Melody Popp  
706 Maxwell Court  
Berryview Estates Lot #2073

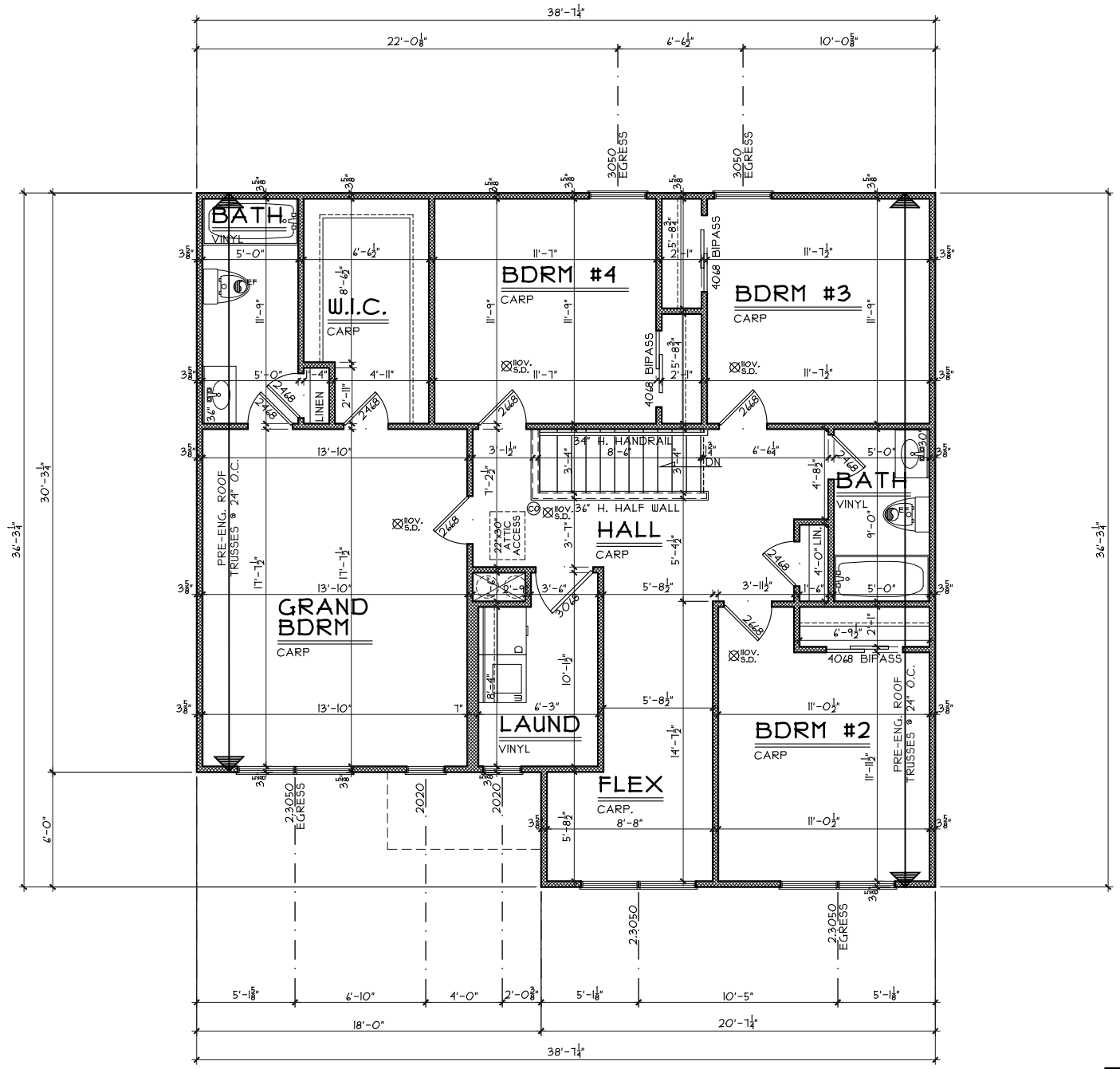
Germentown  
Montgomery

Beaumont Slab - A4 - Vinyl

Issue Dates

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**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1294 S.F

OPTIONS

Second Floor Plan

Plan: Beaumont Slab  
Date : 7/9/2019  
Drawn: KMA  
Scale : As Noted  
Revised:  
Sheet : 5 of 11



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West Chester, OH 45069  
513.755.0570 www.cristohomes.com

BE-2073

Proposed Residence:  
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Berryview Estates Lot #2073

Beaumont Slab - A4 - Vinyl

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Issue Dates

| Review | Issue Dates |
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Germentown  
Montgomery

A4