

PLOT PLAN
LOT 2326 (9,010 SF) 0.2068 ACRES
CREEKSIDE AT BERRYVIEW ESTATES
CITY OF GERMANTOWN
MONTGOMERY COUNTY, OHIO
FOR: CRISTO HOMES

TINCHER RESIDENCE
 601 MAXWELL COURT

SETBACKS:
 FRONT YARD=35'
 REAR YARD=30'
 SIDE YARD=10'

QUANTITIES

TOTAL LOT AREA	9,010	sq. ft.
CITY WALK	179	sq. ft.
HOUSE WALK	49	sq. ft.
DRIVE	657	sq. ft.
APRON	121	sq. ft.
PATIO AND PORCHES	24	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	7482	sq. ft.

PLOT PLAN PREPARED FROM AN
 UNRECORDED RECORD PLAT

C12
 R=630.00'
 L=33.30'

M.R.O.E.=713.8

TOP OF WINDOW WELLS OR
 BOTTOM OF BASEMENT WINDOWS
 TO BE AT OR ABOVE THE M.O.E.

SUGGESTED FF=716.7



FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES
 SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND
 MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE
 LOCATION AND DEPTH OF WATER, SANITARY AND OTHER
 UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE
 ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT
 SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN
 "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH
 FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS
 CONTRACTOR'S RESPONSIBILITY.

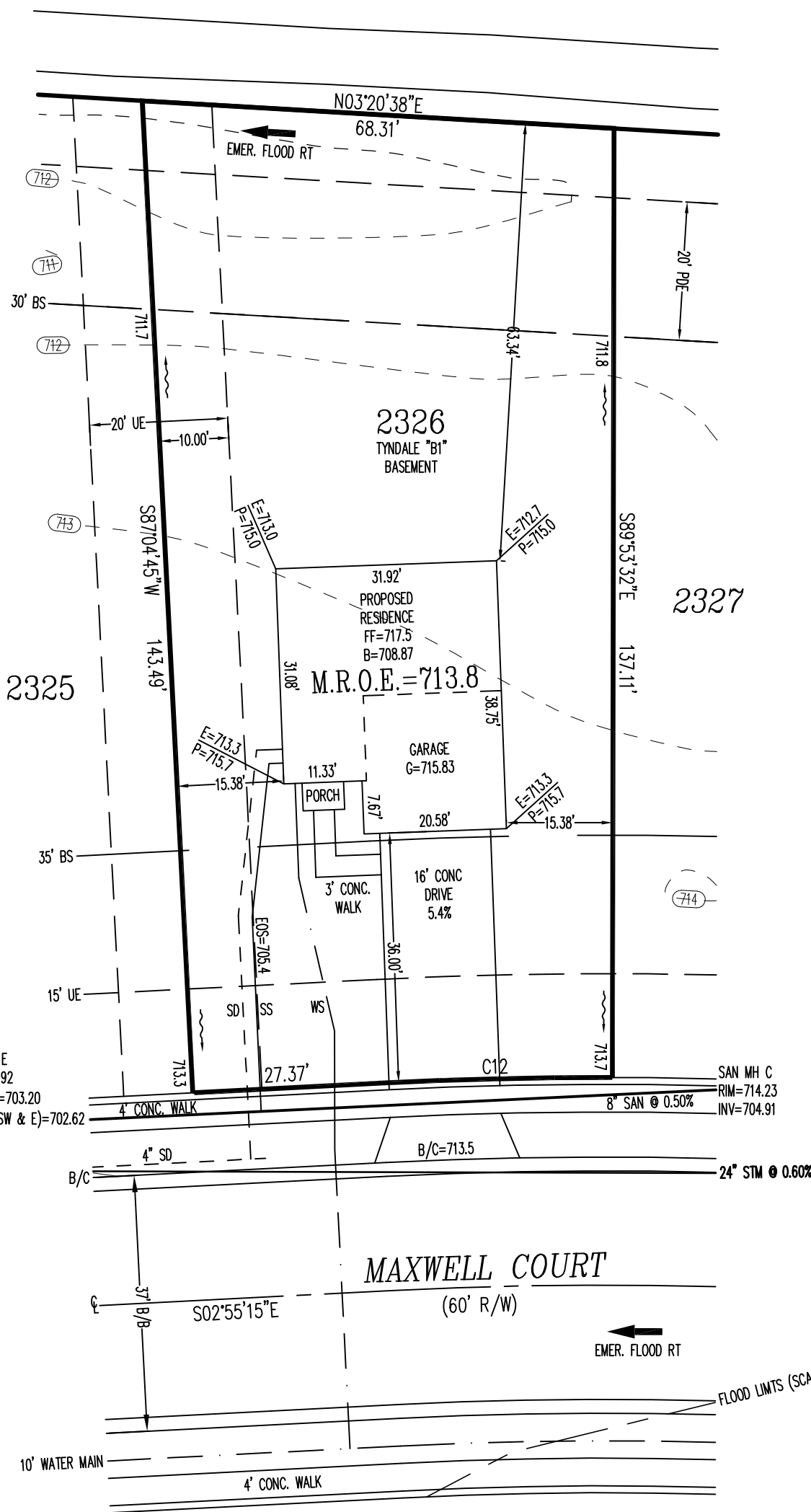
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN
 ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY
 FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE
 AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL
 GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS,
 GROUND WATER CONDITIONS AND ANY POTENTIAL WATER
 INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE
 WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC.
 ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE
 ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE
 BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING
 ENCROACHMENTS THAT MAY OCCUR.

TOPOGRAPHY FROM (CONSTRUCTION PLANS) OR (FIELD
 LOCATIONS), DATED SEPT. 2021
 MAY NOT REFLECT CURRENT CONDITIONS.



2 WORKING DAYS
 BEFORE YOU DIG

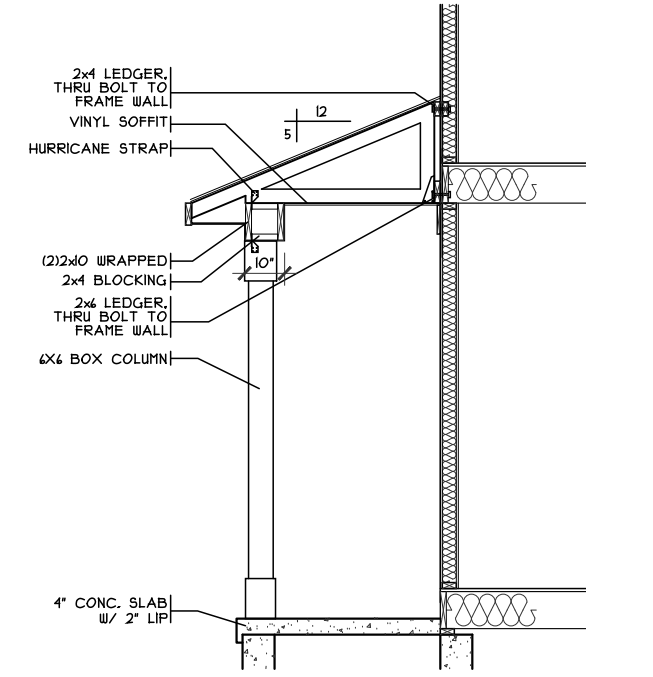
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE

SCALE: 1"=20'
 DATE: 12/17/2021
 DRAWN: JLS/STBV
 DESIGNED: -
 CHECKED: .

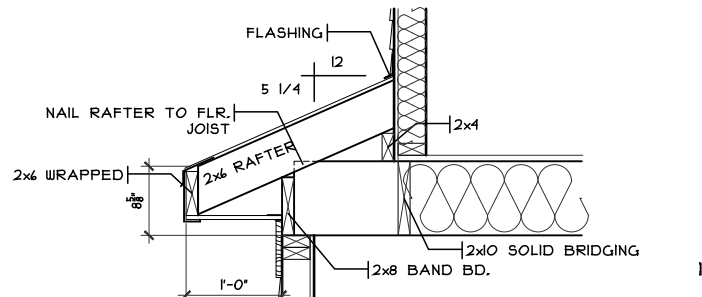
ENGINEERING & SURVEYING, INC.
 1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
 PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:
 1.
 2.
 3.
 4.

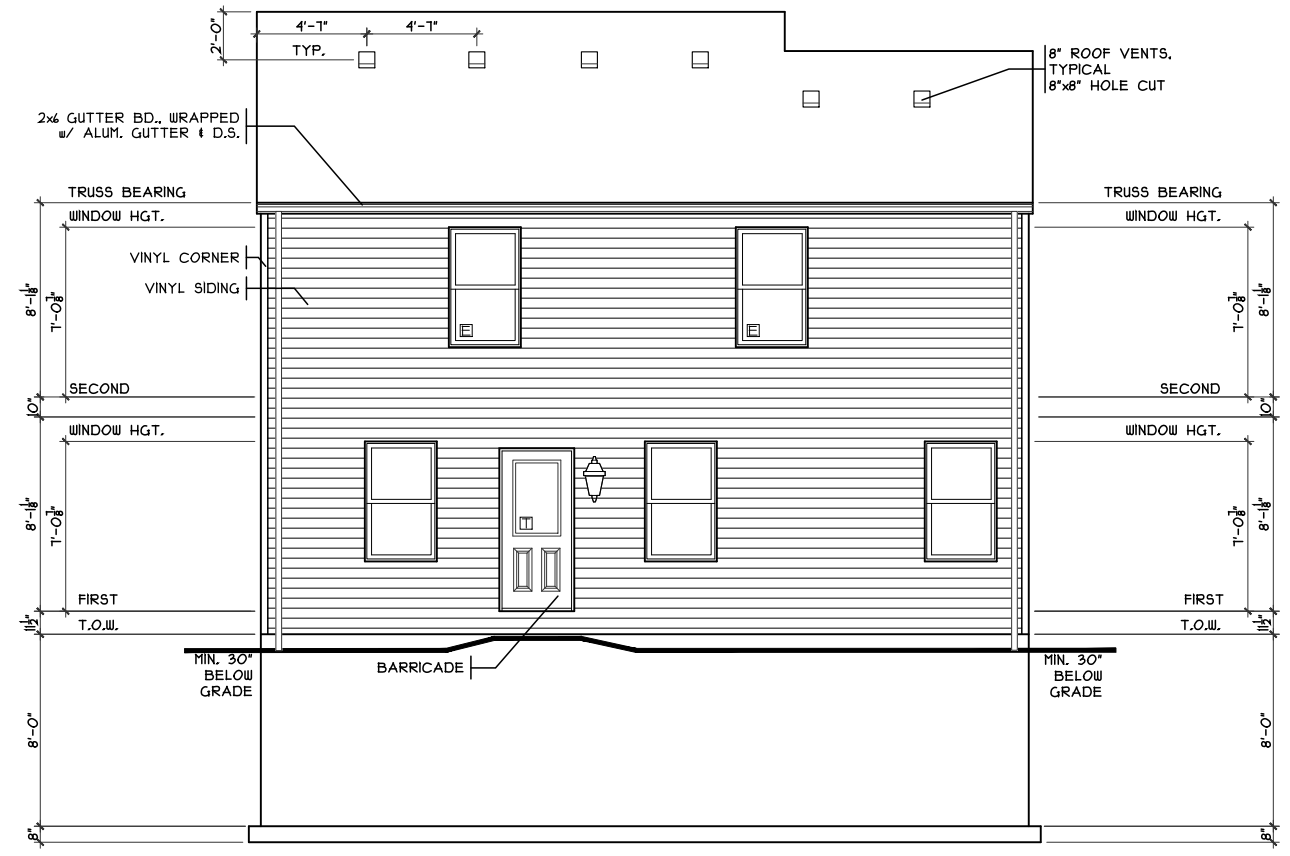
PROJECT: CREEKSIDE AT BERRYVIEW SHEET
 DRAWING: 213014PA 1 OF 1



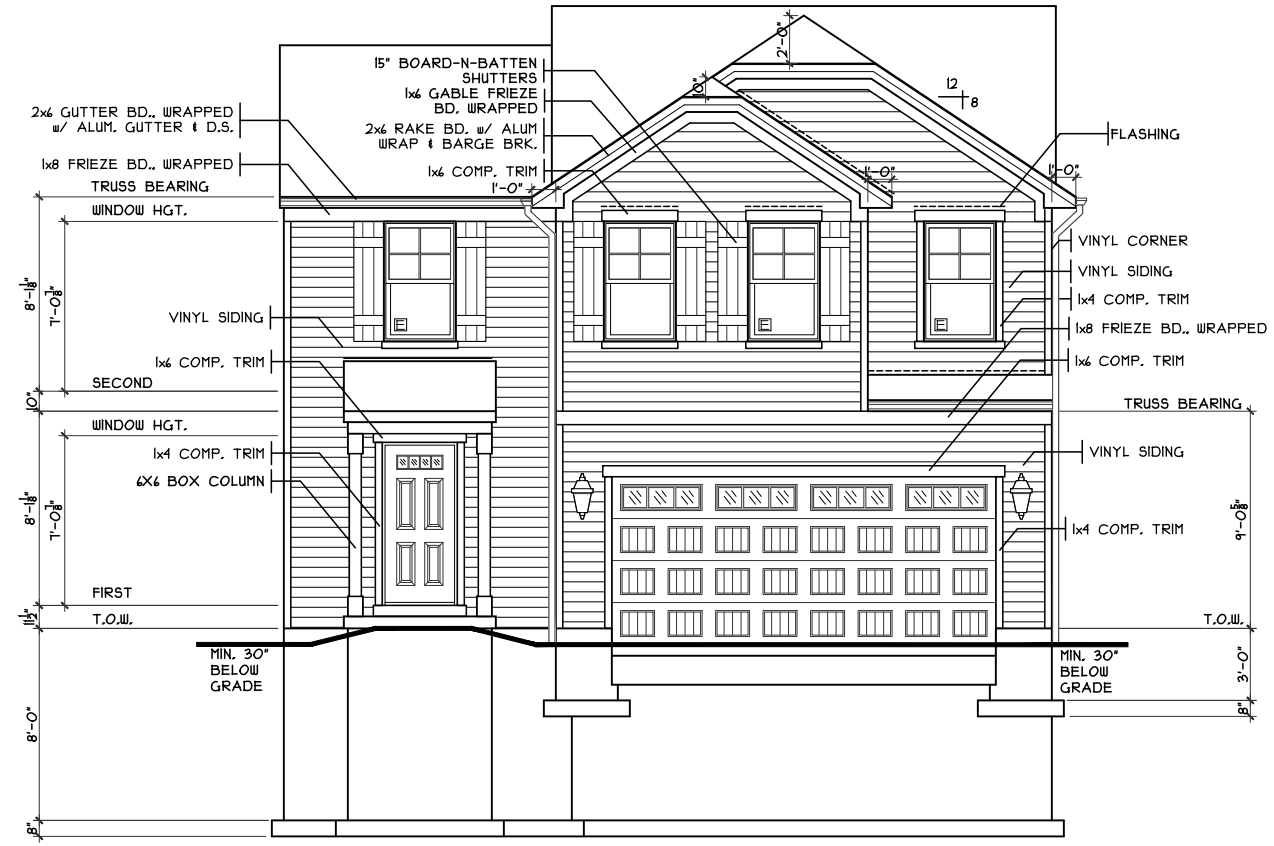
PORCH DETAIL
 SCALE: 1/4" = 1'-0"



GARAGE DETAIL
 SCALE: 1/2" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

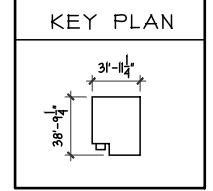


FRONT ELEVATION
 SCALE: 1/8" = 1'-0" ELEVATION A

SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A4	Second Floor Plan
A5	Typical Wall Sections/Stair Section
A6	Typical Framing Details (Aluminum)
G1	General Notes

NOTE:
 PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"
 PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

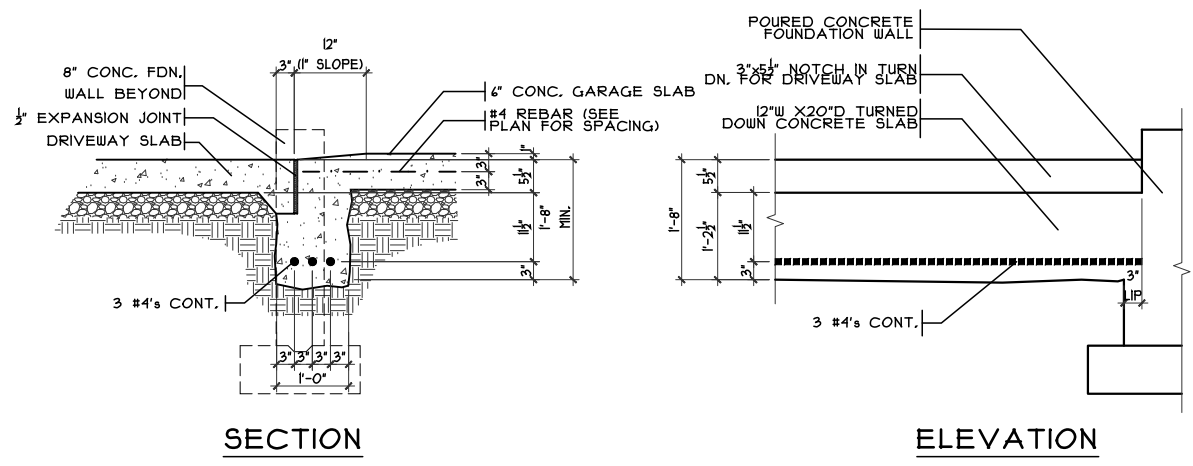
2S186OB4 PLAN INFO	
4	BDRMS
2.5	BATHS
2	CAR GARAGE
8'	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	1840
MAIN	1319
UPPER	1121
LOWER	466
BASEMENT	663
GARAGE	380



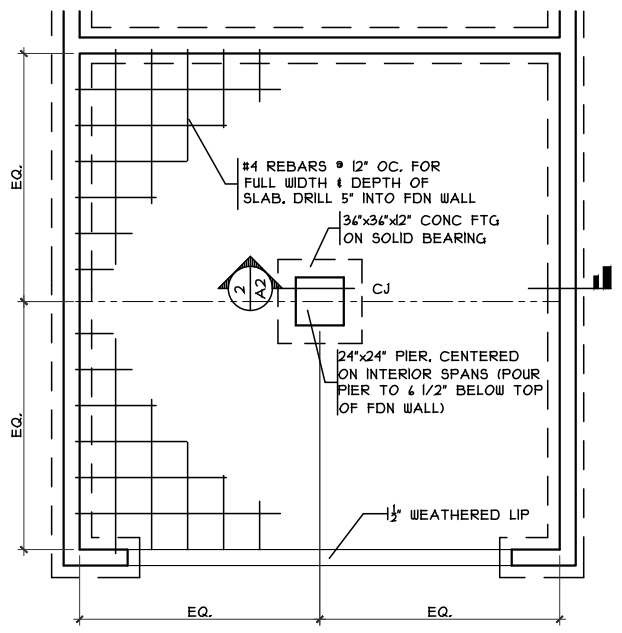
Issue Dates
 Tyndale - B1 - Vinyl
 Renaissance - BE-2326
 Proposed Residence:
 Darren Tincher
 601 Maxwell Court
 Berryview Estates
 Germantown
 Montgomery County

CRISTO HOMES
 7594-A Tylers Place Blvd.
 West Chester, OH 45069
 513.755.0570 www.cristohomes.com

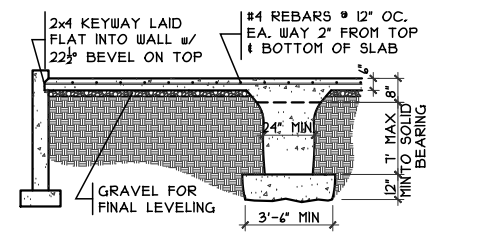
Front And Rear Elevations
 Plan: Tyndale Basement
 Date: 11.7.2018
 Drawn: DCI
 Scale: As Noted
 Revised:
 Sheet: 1 of 10



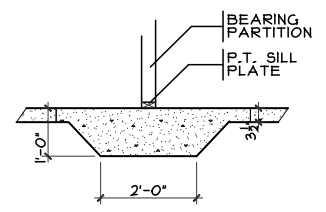
GARAGE DOOR GRADE BM
SCALE: 3/8" = 1'-0"



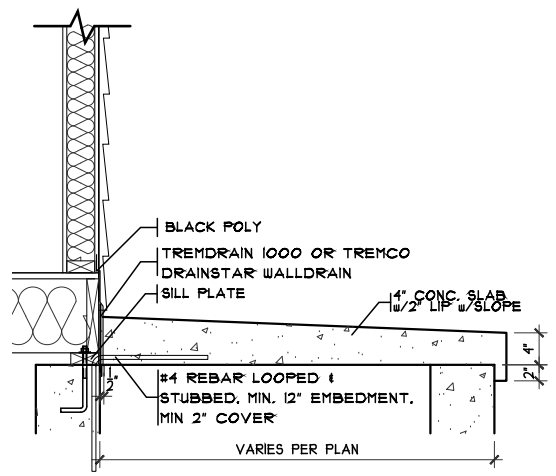
GRADE BM DETAIL
SCALE: 1/8" = 1'-0"



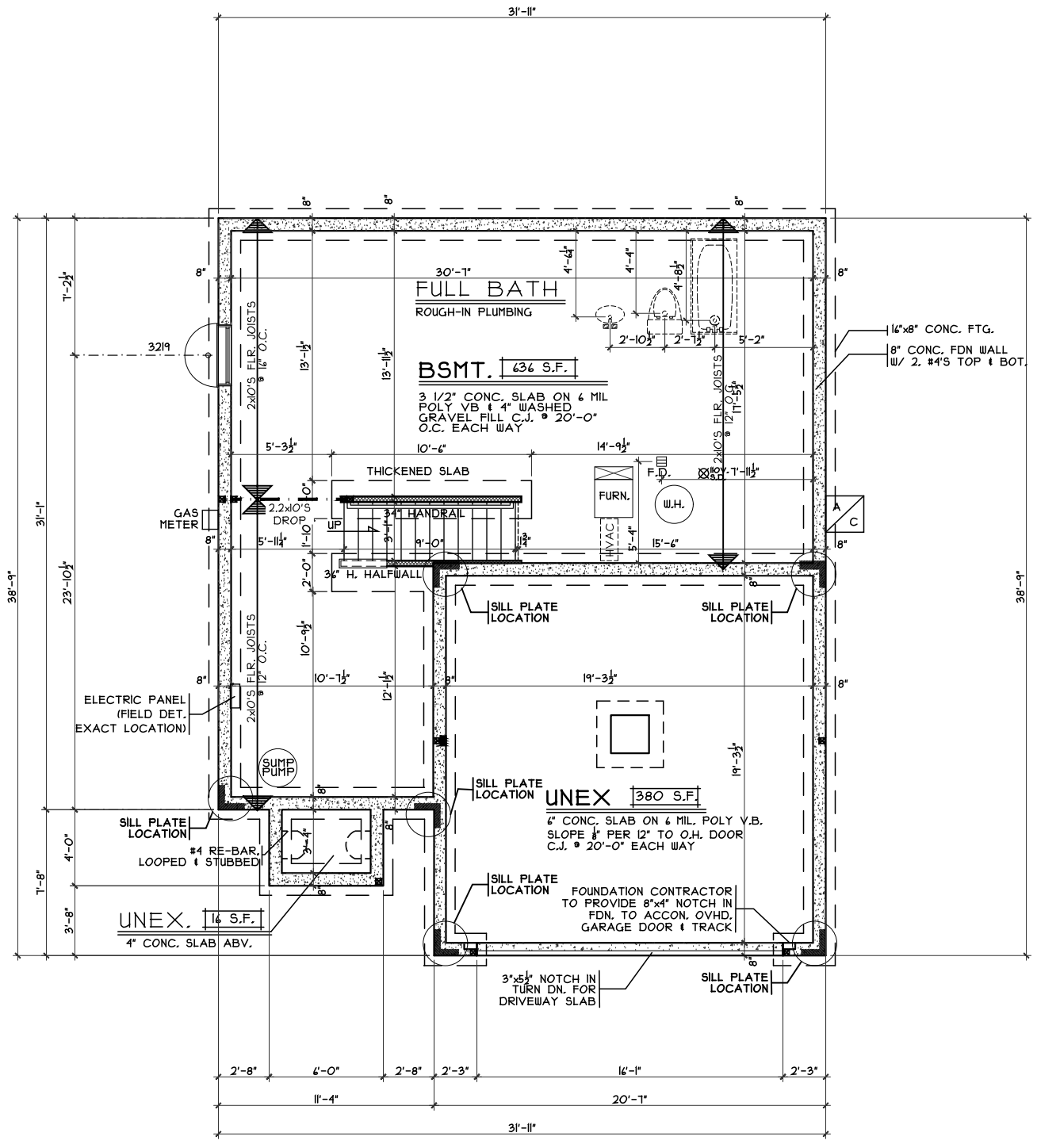
GRADE BM SECTION
SCALE: 1/8" = 1'-0"



THICKENED SLAB
SCALE: 1/4" = 1'-0"



PORCH DETAIL
SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

Foundation Plan
Plan: Tyndale Basement
Date: 11.7.2018
Drawn: DCI
Scale: As Noted
Revised: Sheet: 3 of 10

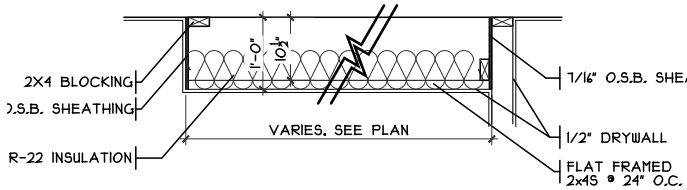
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Berryview Estates

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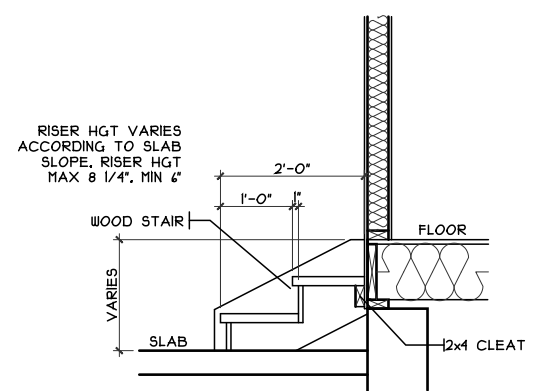
Tyndale - B1 - Vinyl
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Renaissance - BE-2326
Tyndale - B1 - Vinyl

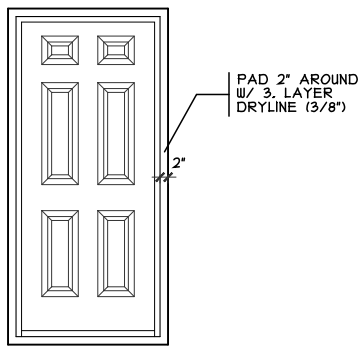
Germentown
Montgomery County



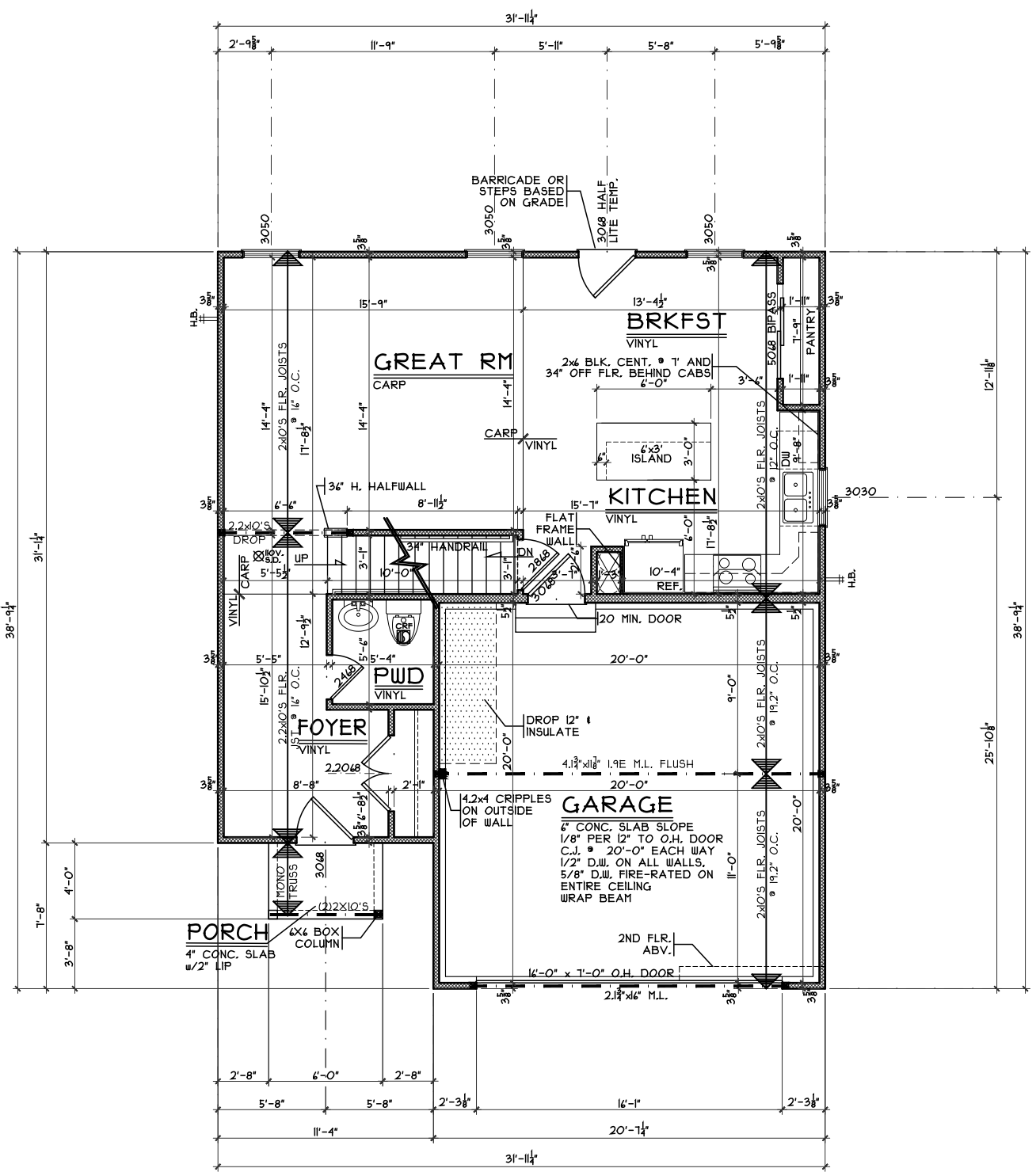
DROP CLG. DETAIL
SCALE: 1/8" = 1'-0"
AT GARAGE



GARAGE STEPS
SCALE: 1/8" = 1'-0"



DOOR FRAMING DTL.
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
139 S.F.

First Floor Plan
Plan: Tyndale Basement
Date: 11.7.2018
Drawn: DCI
Scale: As Noted
Revised:
Sheet: 4 of 10



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Berryview Estates

Tyndale - B1 - Vinyl

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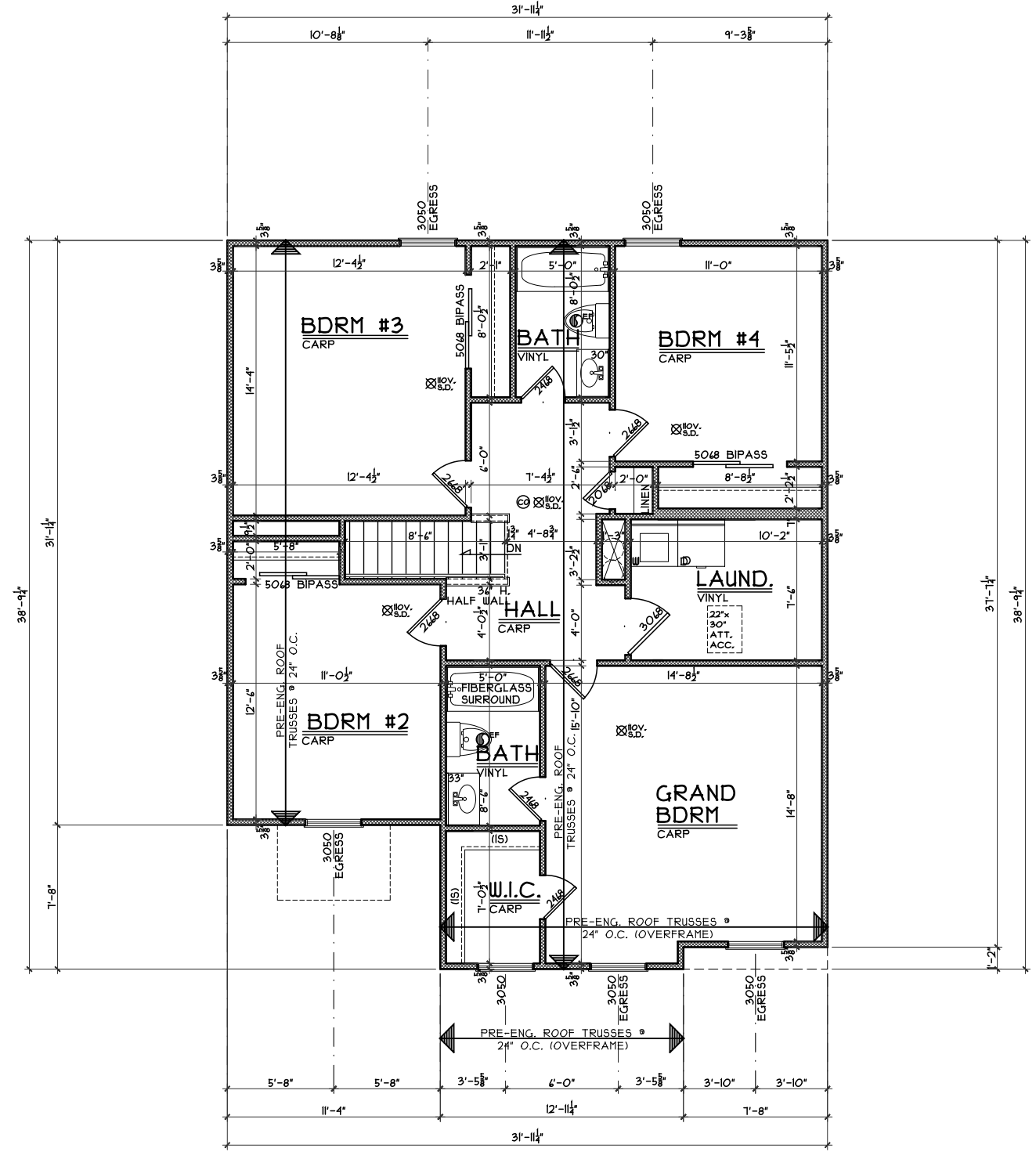
Issue Dates

Review	Issue Dates

Montgomery County
Germantown

A3

\\Sub-uses\1\Archives\Cristo\Cristo\11084_Tyndale Basement\CRI 2196_BE-2326_Tyndale Basement.dwg Wednesday, November 01, 2018 10:55:39 AM



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0" 1121 S.F

Second Floor Plan

Plan: Tyndale Basement
 Date: 11.7.2018
 Drawn: DCI
 Scale: As Noted
 Revised:
 Sheet: 9 of 10



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