

BE 2346
624 Maxwell Court
Germantown, OH 45327

1 Story Slab

Inside water meter setup

Do not set water heater on rough

2 hose bibs with valves

ice maker

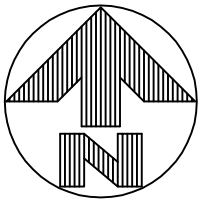
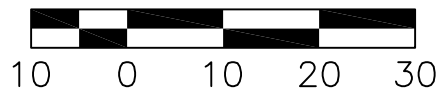
1 tub

1 shower

Gas Furnace

PLOT PLAN

LOT 2346 (11,160 SF) 0.2582 ACRES
 CREEKSIDE AT BERRYVIEW ESTATES
 CITY OF GERMANTOWN
 MONTGOMERY COUNTY, OHIO
 FOR: CRISTO HOMES



PROPOSED RESIDENCE
 624 MAXWELL COURT

SETBACKS: C23
 FRONT YARD=35' R=230.00'
 REAR YARD=30' L=0.41'
 SIDE YARD=10'

M.R.O.E.=714.4

TOP OF WINDOW WELLS OR
 BOTTOM OF BASEMENT WINDOWS
 TO BE AT OR ABOVE THE M.R.O.E.

SUGGESTED FF=717.0

TOPOGRAPHY FROM APEX FIELD SURVEY,
 SEPTEMBER 2021, AND MAY NOT MATCH
 CURRENT CONDITIONS

FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS.
 UTILITIES SHOWN HEREON ARE FOR GRAPHICAL
 PURPOSES ONLY AND MAY NOT REFLECT CURRENT
 SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION
 OF THE LOCATION AND DEPTH OF WATER, SANITARY
 AND OTHER UTILITY MAINS AND SERVICES BEFORE
 CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS
 ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO
 CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH
 AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE
 FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION
 IS CONTRACTOR'S RESPONSIBILITY.

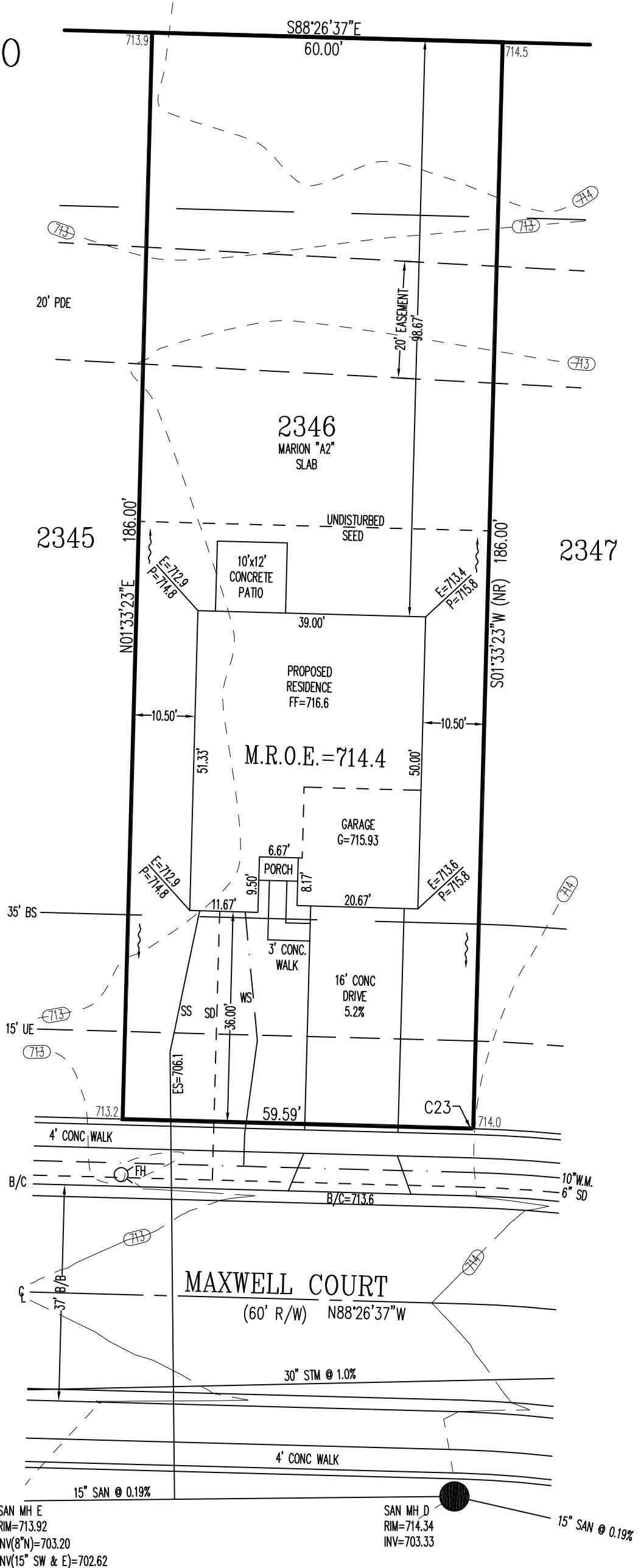
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED
 BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL
 RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE
 AROUND/AWAY FROM HOUSES AND APPROPRIATE
 FINAL GRADING TO INSURE PROPER DRAINAGE OF THE
 LOT.
 SWALE ARROWS AND DRAINAGE ROUTES ARE SUBJECT
 TO CHANGE.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL
 CONDITIONS, GROUND WATER CONDITIONS AND ANY
 POTENTIAL WATER INFILTRATION. CONTRACTOR IS
 RESPONSIBLE FOR ADEQUATE WATERPROOFING
 INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC.
 ADVISES AGAINST HOLDING THE MINIMUM REQUIRED
 DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR,
 AND SIDES. THE BUILDER ASSUMES ALL
 RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS
 THAT MAY OCCUR.

QUANTITIES		
TOTAL LOT AREA	11160	sq. ft.
CITY WALK	176	sq. ft.
HOUSE WALK	43	sq. ft.
DRIVE	678	sq. ft.
APRON	121	sq. ft.
PATIO AND PORCHES	171	sq. ft.
DECK	0	sq. ft.
SEEDING AREA	3712	sq. ft.
UNDISTURBED AREA	5020	sq. ft.

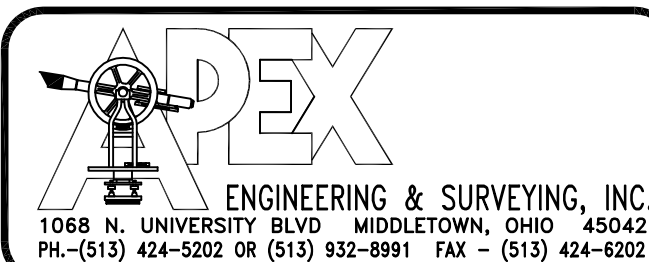


SAN MH E
 RIM=713.92
 INV(8"N)=703.20
 INV(15" SW & E)=702.62

SAN MH D
 RIM=714.34
 INV=703.33



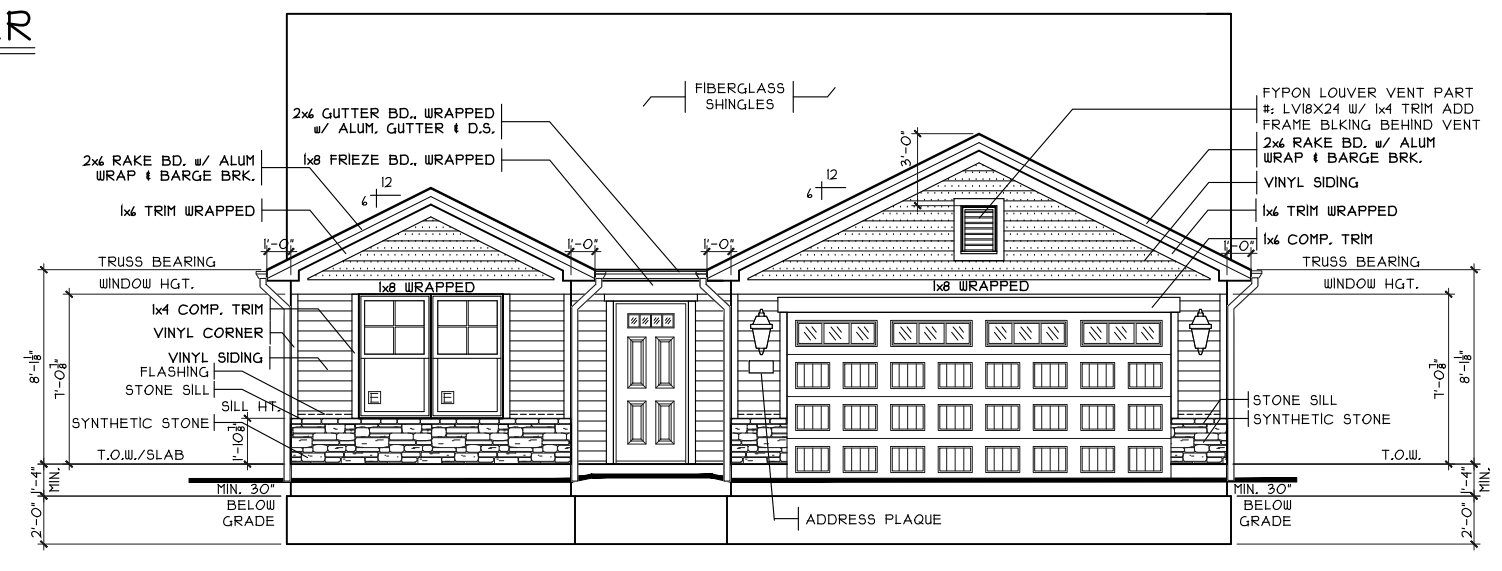
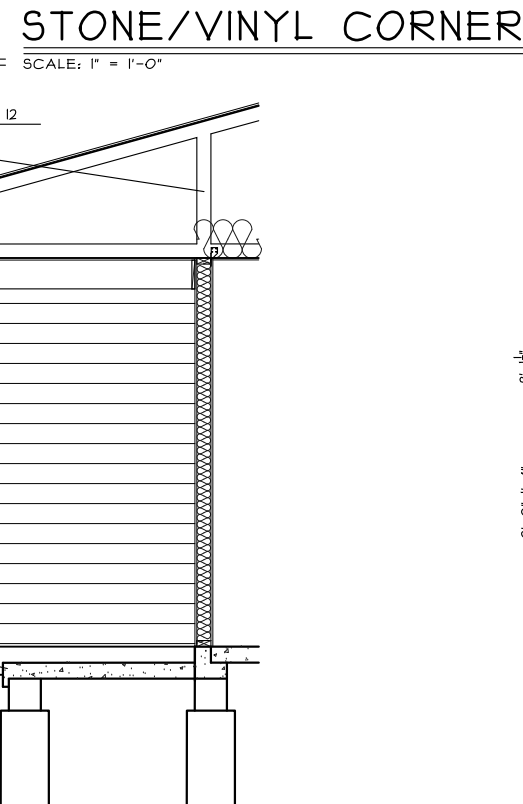
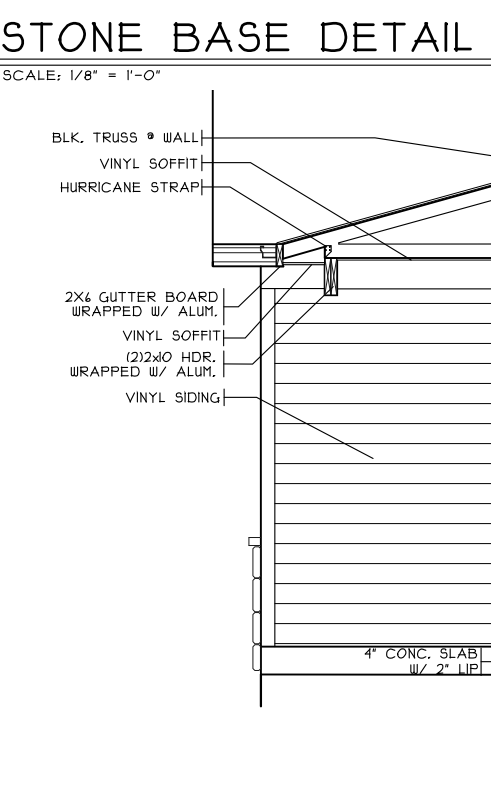
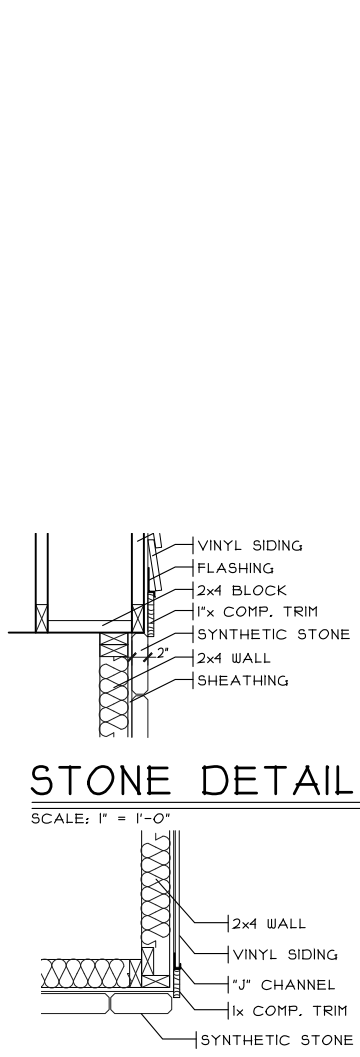
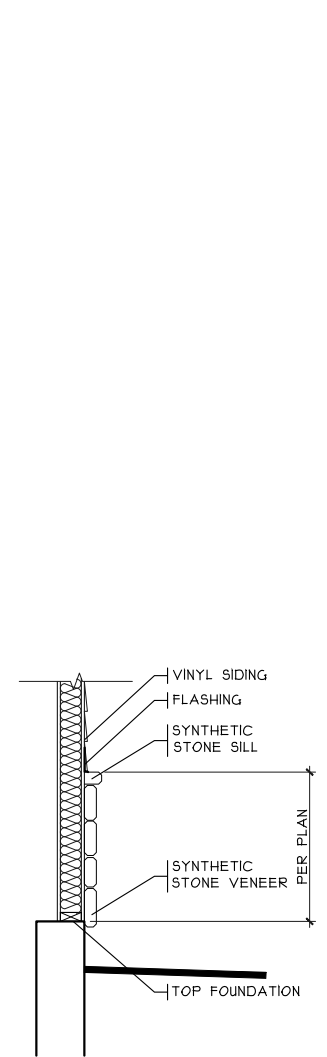
SCALE: 1"=20'
 DATE: 3/9/2023
 DRAWN: REW
 DESIGNED: -
 CHECKED: JLS



REVISIONS:
 1.
 2.
 3.
 4.

PROJECT: CREEKSIDE@BERRYVIEW
 DRAWING: 212880PA

SHEET
 1 OF 1



SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A4	Typical Wall Sections
A5	Typical Framing Details (Aluminum)
G1	General Notes

NOTE:
PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

Marion Slab - A2 - Vinyl

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

Renaissance - BE-2346

Proposed Residence:
Market Home
624 Maxwell Court
Berryview Estates, Lot 2346

Germentown
Montgomery County

R1500B3 PLAN INFO

3 BDRMS
2 BATHS
CAR GARAGE
1ST FLR. CLG.

SQUARE FOOTAGE

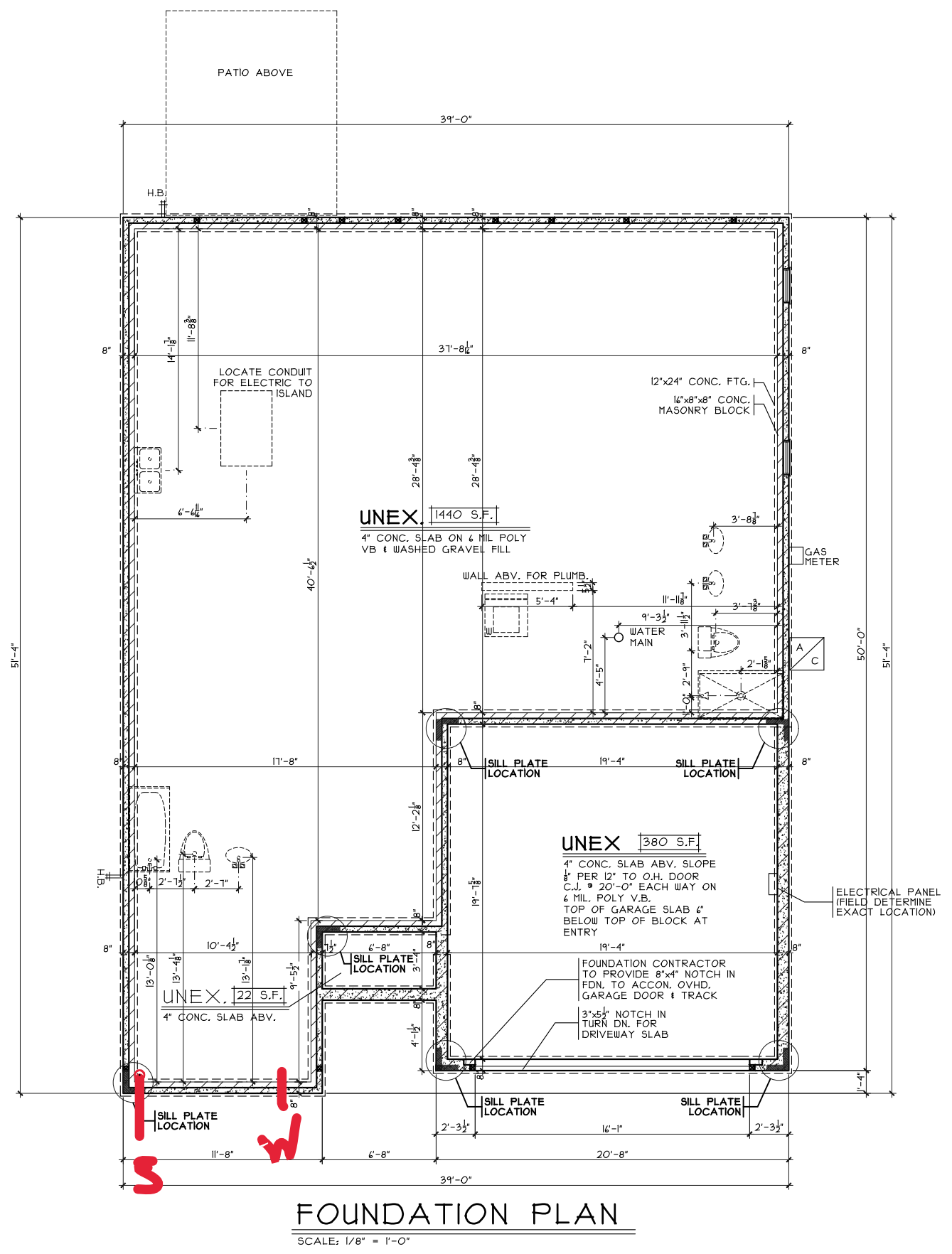
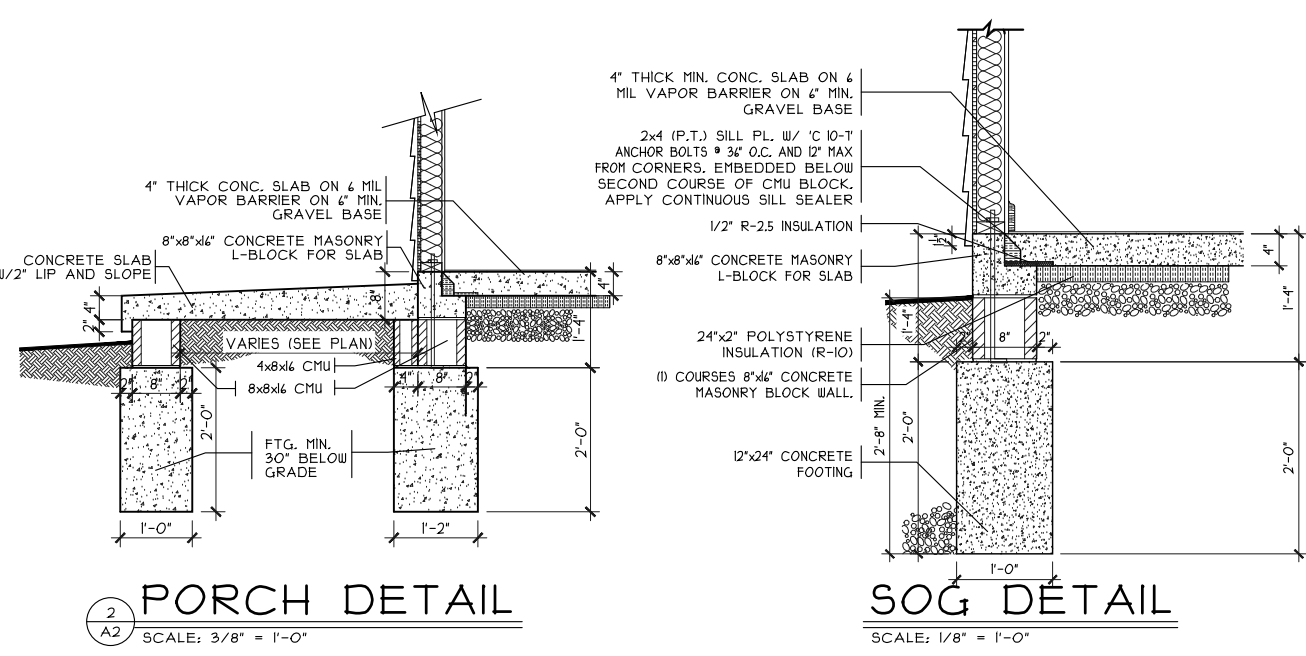
TOTAL	1500
MAIN	1500
UPPER	N/A
LOWER (SLAB)	1440
GARAGE (SLAB)	380

KEY PLAN

Front And Rear Elevations

Plan: Marion Slab
Date: 2/27/23
Drawn: SDG
Scale: As Noted
Revised:
Sheet: 1 of 7

7594-A Tylers Place Blvd.
West Chester, OH 45069
513.795.0570 www.cristohomes.com



Foundation Plan
Plan: Marion Slab
Date: 2/27/23
Drawn: SDG
Scale: As Noted
Revised:
Sheet: 6 of 7

Proposed Residence:
Market Home
624 Maxwell Court
Berryview Estates, Lot 2346

Renaissance - BE-2346

Marion Slab - A2 - Vinyl

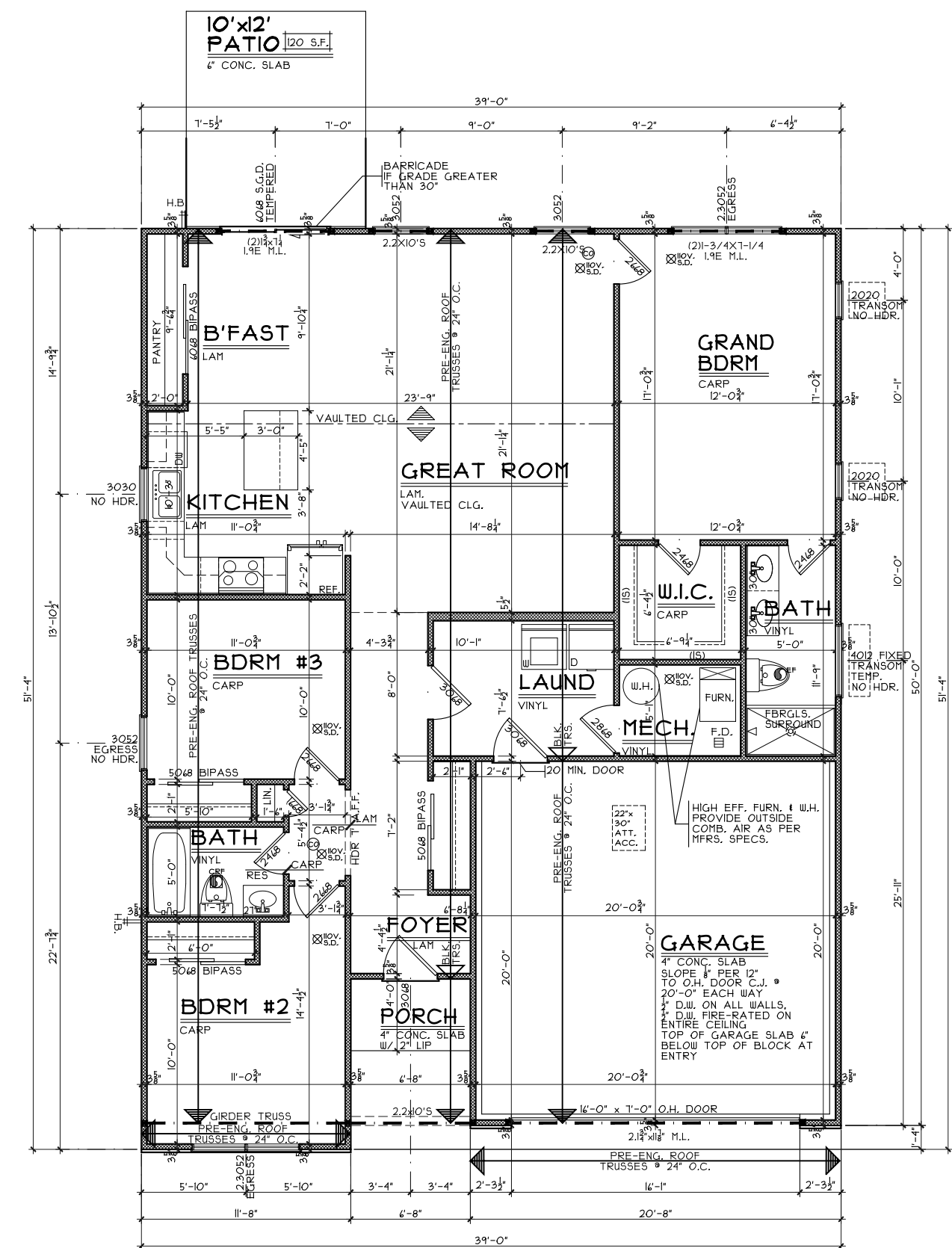
CRISTO HOMES
7594-A Tylers Place Blvd.
West Chester, OH 45069
513.955.0570 www.cristohomes.com

Issue Dates
Review

CRISTO HOMES reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from CRISTO HOMES. In the event these plans are used by a third party, CRISTO HOMES shall be held harmless.

Germentown
Montgomery County

A2



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0" 1500 S.F.

First Floor Plan

Plan: Marion Slab
 Date : 2/27/23
 Drawn: SDG
 Scale : As Noted
 Revised:
 Sheet : 4 of 7

Renaissance - BE-2346

Proposed Residence:
 Market Home
 624 Maxwell Court
 Berryview Estates, Lot 2346

Marion Slab - A2 - Vinyl

Proposed Residence:
 Germentown
 Montgomery County

Issue Dates

Review	Issue Dates

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.



7594-A Tylers Place Blvd.
 West Chester, OH 45069
 513.795.0570 www.cristohomes.com

A3