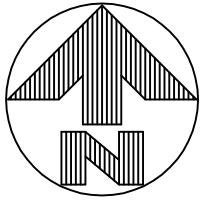
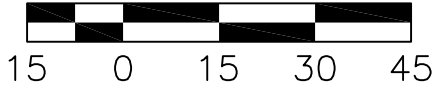


PLOT PLAN
LOT 2349 (31,845 SF) 0.3178 ACRES
CREEKSIDE AT BERRYVIEW ESTATES
CITY OF GERMANTOWN
MONTGOMERY COUNTY, OHIO
FOR: CRISTO HOMES



SETBACKS:
 FRONT YARD=35'
 REAR YARD=30'
 SIDE YARD=10'

C27
 R=170.00'
 L=73.02'

QUANTITIES

TOTAL LOT AREA	31,845 sq. ft.
CITY WALK	276 sq. ft.
HOUSE WALK	43 sq. ft.
DRIVE	726 sq. ft.
APRON	121 sq. ft.
PATIO AND PORCHES	27 sq. ft.
DECK	- sq. ft.
SEEDING AREA	11,592 sq. ft.

M.R.O.E.=714.4

TOP OF WINDOW WELLS OR
 BOTTOM OF BASEMENT WINDOWS
 TO BE AT OR ABOVE THE M.O.E.

SUGGESTED FF=720.0

PLOT PLAN PREPARED
 FROM AN UNRECORDED
 RECORD PLAT



FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

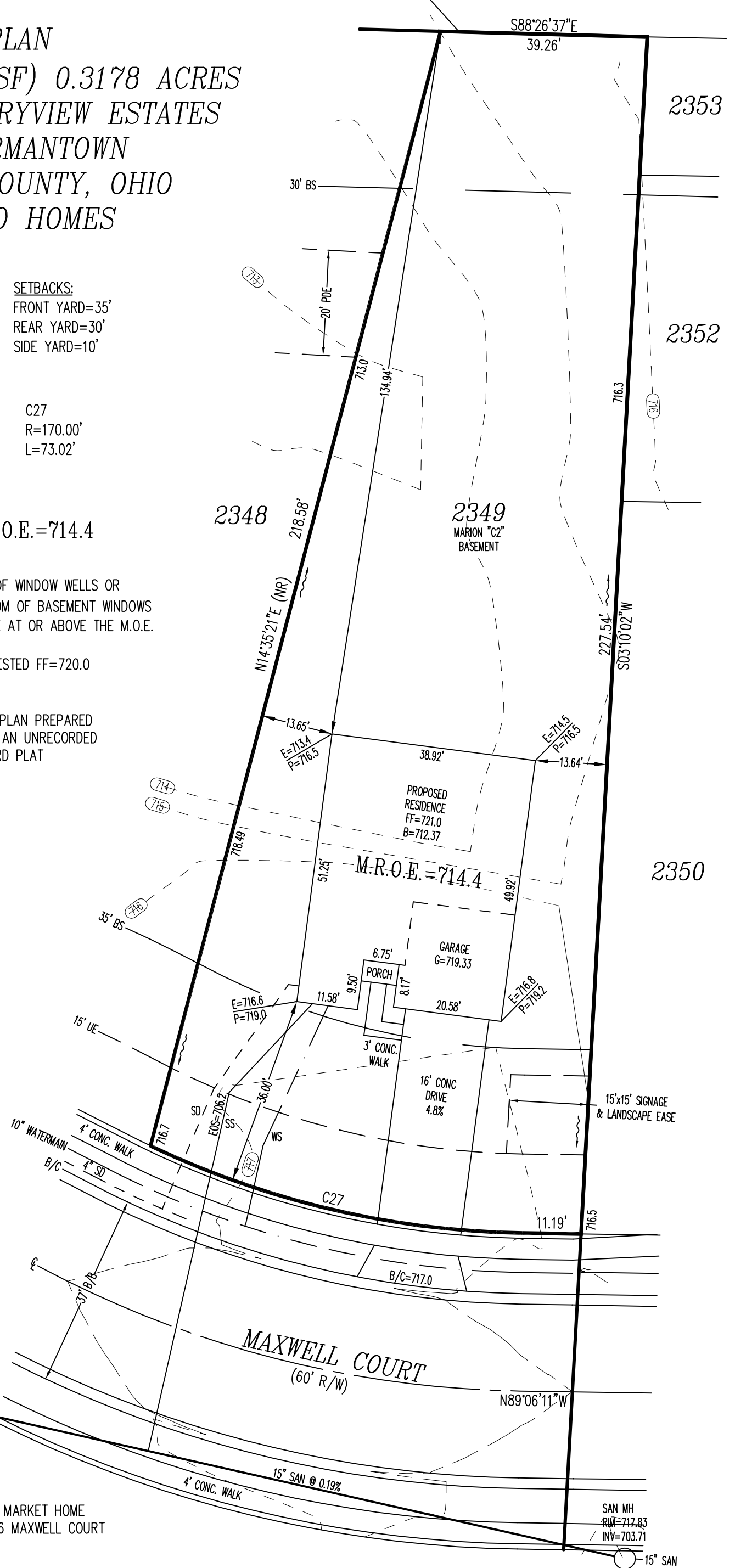
CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

TOPOGRAPHY FROM (CONSTRUCTION PLANS) OR (FIELD LOCATIONS), DATED SEPT. 2021 MAY NOT REFLECT CURRENT CONDITIONS.

MARKET HOME
 636 MAXWELL COURT



2 WORKING DAYS
BEFORE YOU DIG

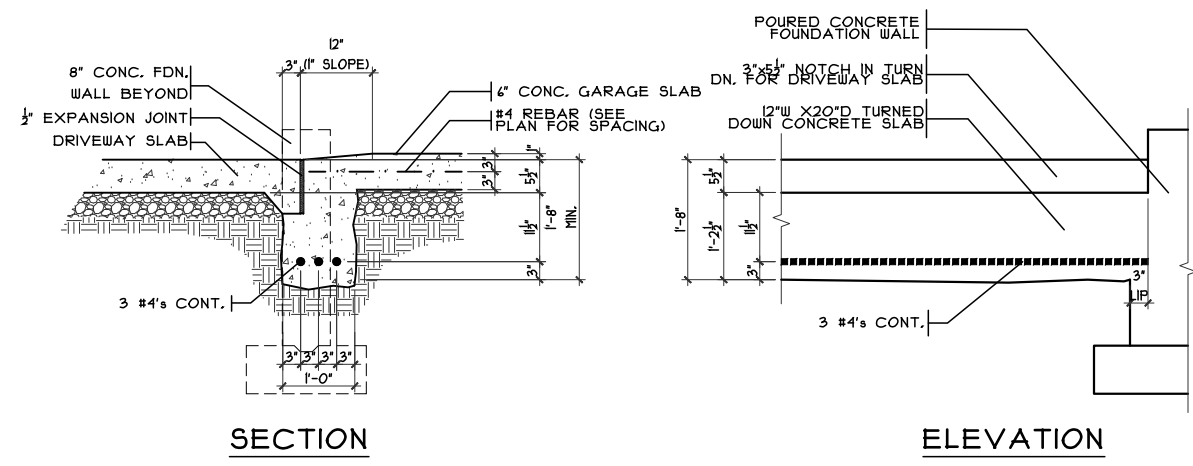
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE

SCALE: 1"=20'
 DATE: 11/12/2021
 DRAWN: JLS
 DESIGNED: -
 CHECKED: .

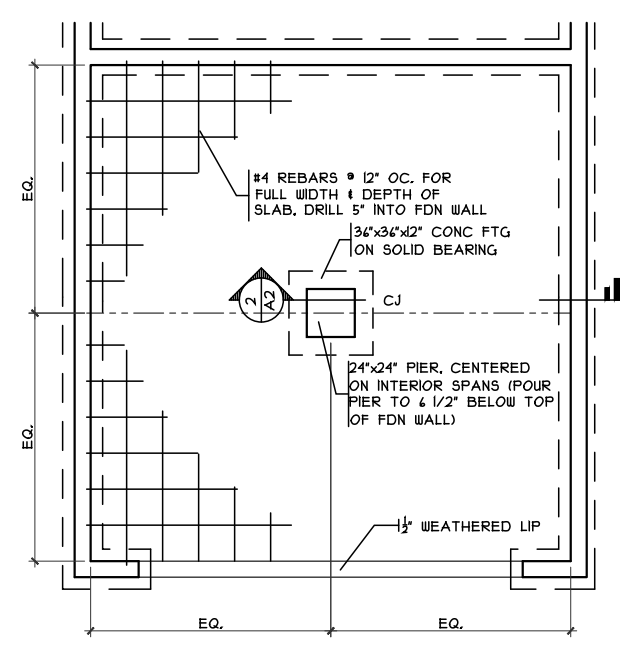
ENGINEERING & SURVEYING, INC.
 1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
 PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:
 1. 12-21-21 REMOVE PATIO
 2.
 3.
 4.

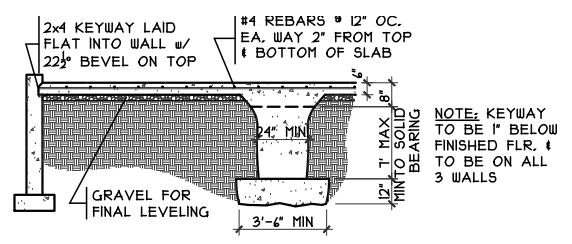
PROJECT: CREEKSIDE AT BERRYVIEW SHEET 1 OF 1
 DRAWING: 212649PA



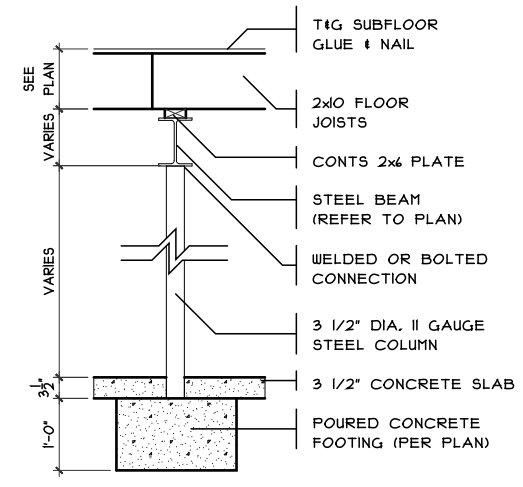
SECTION
ELEVATION
GARAGE DOOR GRADE BM
SCALE: 3/8" = 1'-0"



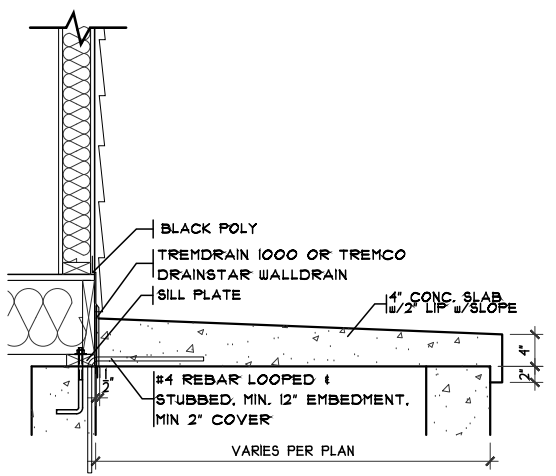
GRADE BM DETAIL
SCALE: 1/8" = 1'-0"



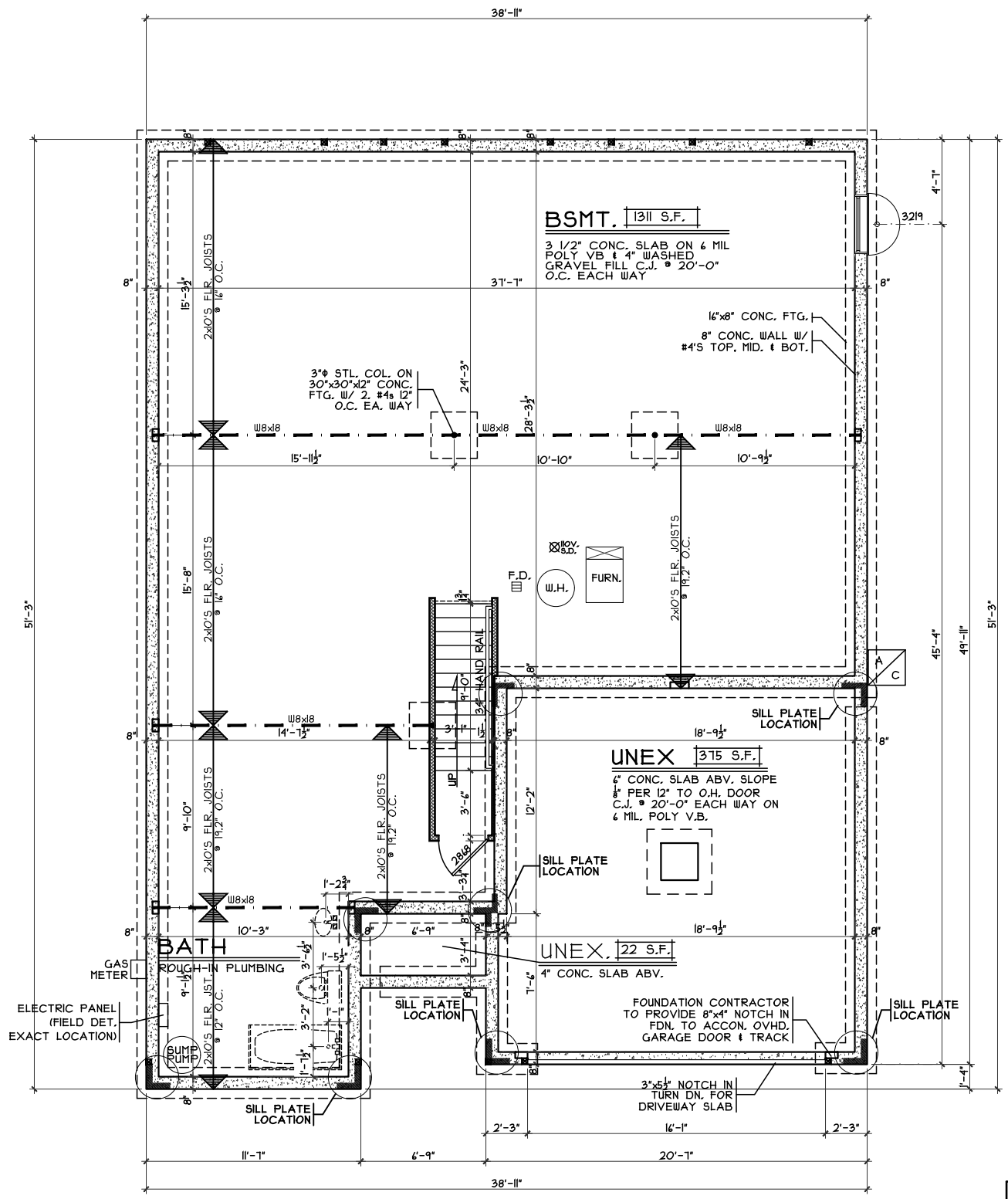
GRADE BM SECTION
SCALE: 1/8" = 1'-0"



COLUMN DETAIL
SCALE: 3/8" = 1'-0"



PORCH DETAIL
SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

OPTIONS

Foundation Plan
Plan: Marion Basement
Date: 10/12/21
Drawn: SMC
Scale: As Noted
Revised: 2/2/22
Sheet: 3 of 7

Proposed Residence:
Market Home
636 Maxwell Court
Berryview Estates Lot 2349

CRISTO HOMES
7594-A Tylers Place Blvd.
West Chester, OH 45069
513.795.0570 www.cristohomes.com

Rennaissance - BE-2349
Marion Basement - C2 - Vinyl

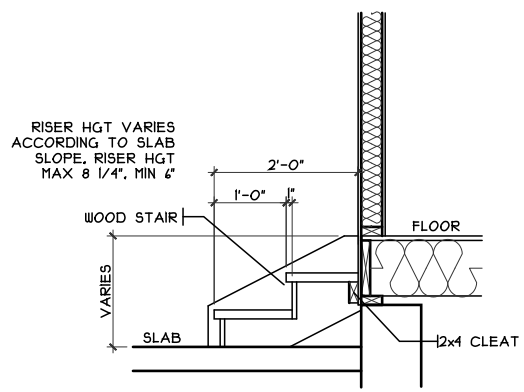
Issue Dates

Review	

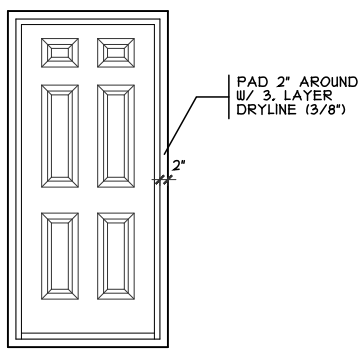
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Germentown
Montgomery

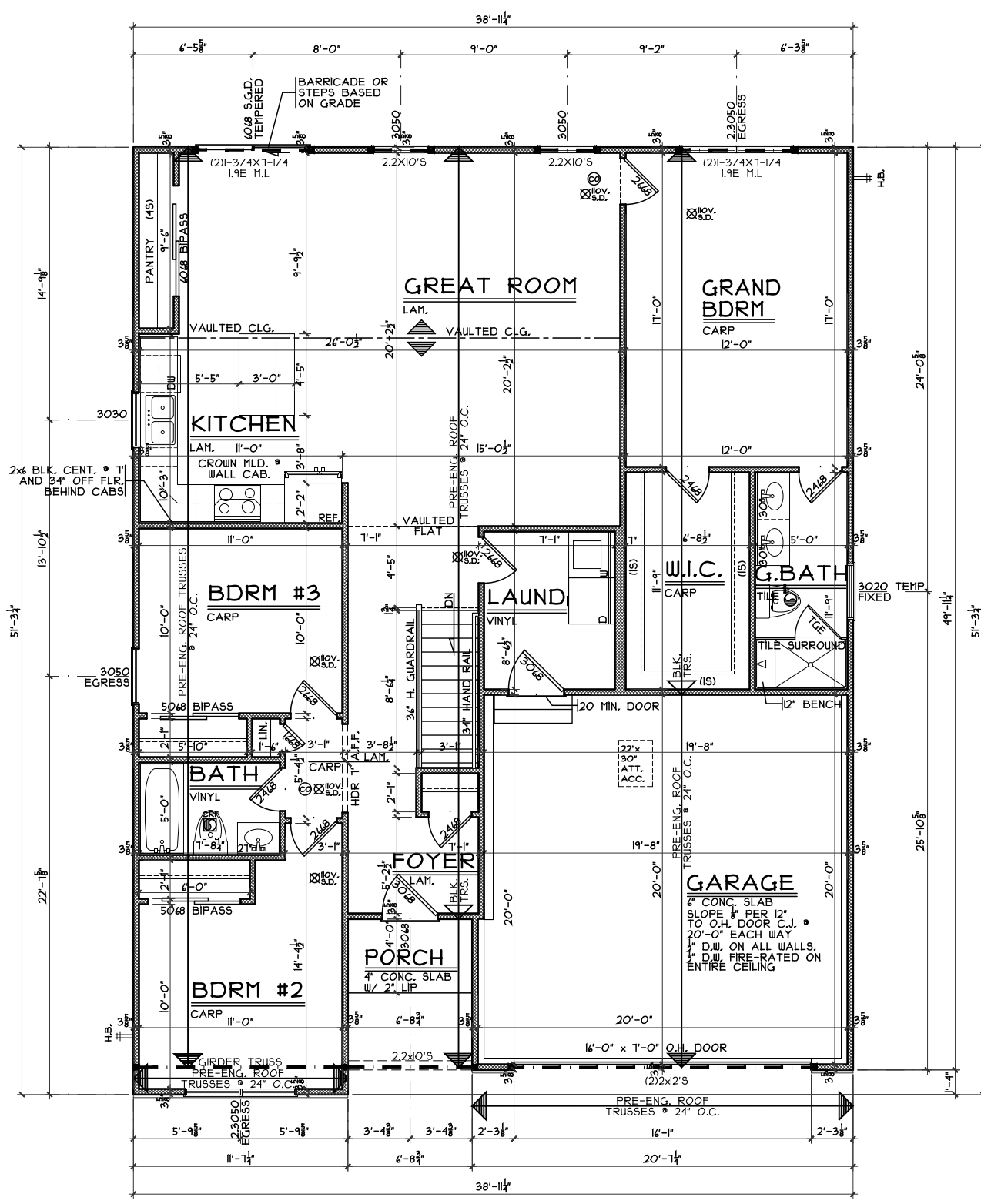
A2



GARAGE STEPS
SCALE: 1/8" = 1'-0"



DOOR FRAMING DTL.
SCALE: 1/4" = 1'-0"



OPTIONS

First Floor Plan
Plan: Marion Basement
Date: 10/12/21
Drawn: SMC
Scale: As Noted
Revised: 2/2/22
Sheet: 4 of 7

Renaissance - BE-2349
Proposed Residence:
Market Home
636 Maxwell Court
Berryview Estates Lot 2349

Germentown
Montgomery

Marion Basement - C2 - Vinyl

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Review	Issue Dates

A3

CRISTO HOMES
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West Chester, OH 45069
513.755.0570 www.cristohomes.com