

# BUILDING TYPE D-4 Bonus (Promenade Plus) - 2017 Bel Haven

8076 S. Bel Haven Lane, West Chester, OH 45069 - Lot #16



**EPCON**  
Communities

Where Life Comes Together™

**Bel Haven, LLC**  
(513) 868-9800

## INDEX TO DRAWINGS

**BUILDING D-4 BONUS**

A100 FOUNDATION PLAN  
A100-OPT FOUNDATION PLAN OPTIONS  
A101 FIRST FLOOR PLAN  
A101-OPT FIRST FLOOR PLAN OPTIONS  
A102 SECOND FLOOR PLAN  
A102B COVERED PORCH OPTION  
~~A102C SCREENED PORCH OPTION~~  
~~A102D OFFICE PORCH OPTION~~  
~~A102E 4 SEASON PORCH OPTION~~  
~~A102F ELEVATIONS-BONUS ROOM-INTERIOR ELEVATIONS~~  
~~A102G ELEVATIONS-BONUS ROOM-INTERIOR ELEVATIONS-ALTERNATE~~  
~~A102H OFFICE ROOM-INTERIOR DESIGN OPTION~~  
~~A102I TEMPORARY SALES OFFICE~~  
~~A102J DESIGN MASTER SUITE PLAN 4 ELECTRICAL~~  
~~A102K DESIGN MASTER SUITE ELEVATIONS 4 ROOF PLANS~~  
A102M EXTENDED MASTER SUITE PLANS 4 ELECTRICAL  
A102N EXTENDED MASTER SUITE ELEVATIONS 4 ROOF PLANS

A102 ROOF PLAN

A.201 ELEVATIONS- EXTERIOR ELEVATIONS

S100 FIRST FLOOR FRAMING PLAN  
S101 ROOF FRAMING PLAN  
S102 ROOF TRUSS PROFILES  
S102A ROOF TRUSS PROFILES  
S103 SHEAR WALL PLAN  
S104 SHEAR WALL DETAILS

A.301 WALL SECTIONS  
A.302 WALL SECTIONS  
A.303 WALL SECTIONS  
A.303B WALL SECTIONS  
A.304 DETAILS

A.401 INTERIOR ELEVATIONS  
A.402 INTERIOR ELEVATIONS

A.501 INTERIOR FINISH PLAN AND SCHEDULES  
A.502 WINDOW ELEVATIONS AND NOTES  
A.502A WINDOW ELEVATIONS AND NOTES

H100 HVAC SCHEDULES 4 DETAILS  
H101 HVAC PLANS  
E100 ELECTRICAL SCHEDULES AND DIAGRAMS  
E101 ELECTRICAL PLAN  
E101A ELECTRICAL PLAN OPTIONS

## CODE REVIEW INFORMATION

GOVERNING BUILDING CODE: CHAPTER II (ENERGY EFFICIENCY):	2014 RESIDENTIAL CODE OF OHIO COMPLIANCE PATH 2 - SIMULATED PERFORMANCE APPROACH
CONSTRUCTION TYPE:	WOOD FRAME
NUMBER OF STORIES:	1 STORY (2 STORY WITH BONUS ROOM)
BUILDING AREAS:	2,546 SF TOTAL AREA - FIRST FLOOR

## GENERAL BUILDING INFORMATION

THIS BUILDING IS A (1) UNIT SINGLE FAMILY DWELLING STRUCTURE. THE DWELLING UNIT CONTAINS:

2,059 SF OF LIVING SPACE AND 449 SF GARAGE IN EACH UNIT. TOTAL = 2,546 SF. THE TYPE D-4 BONUS UNIT IS A SINGLE STORY DESIGN OR A TWO STORY DESIGN WITH THE BONUS ROOM OPTION.

THE OPTIONS BELOW WILL EACH ADD THE FOLLOWING SQUARE FOOTAGE:

~~SHIPPING ROOM - 105 SF~~  
EXTENDED OWNER SUITE - 69 SF  
Additional Storage Room in Bonus Suite - 140 SF  
TOTAL SQUARE FOOTAGES WITH BONUS ROOM OPTION:

FIRST FLOOR - 2,059 SF  
GARAGE - 449 SF  
SECOND FLOOR - 178 SF  
Total Interior Area (Not Including Garage) - 3,035 SF

## GENERAL NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL BUILDING CODES, AND THE BUILDING STANDARDS REFERENCED THEREIN.
- ALL WORK SHALL CONFORM TO THE HIGHEST LEVELS OF THE APPROPRIATE INDUSTRY STANDARDS FOR CUSTOM WORK.
- ALL WORK TO BE COORDINATED AND SCHEDULED BY THE OWNER.
- PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING OR MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR WALLS INCLUDE 1/8" EXT. SHEATHING, ROUNDED TO THE NEAREST 1/4".
- FINISH FLOOR ELEVATION @ FIRST FLOOR LEVEL IS SET AT 100'-0". SEE SITE PLAN FOR ACTUAL FIRST FLOOR ELEVATION @ EACH BUILDING.
- ALL INTERIOR PARTITIONS SHALL BE 2 x 4 STUDS @ 16" O.C. WITH 1/2" DRYWALL EACH SIDE. PLAN DIMENSION IS ASSUMED TO BE 3 1/2" UNLESS NOTED OTHERWISE. PROVIDE SOLID LUMBER BLOCKING FOR ALL WALL MOUNTED ITEMS.
- SUBSTRATE (BACKER) FOR TILE IN SHOWERS/TUBS SHALL BE FIBER-CEMENT OR SIMILAR PER APPLICABLE CODE.
- ALL INTERIOR COLORS AND FINISHES, NOT SPECIFIED HEREIN, TO BE SELECTED BY THE OWNER.

## GENERAL SPECIFICATIONS

### GENERAL

- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETE. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACINGS OR GUYS THAT MIGHT BE NECESSARY.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS:
 

ATTICS WITHOUT STORAGE	10 PSF
ATTICS WITH LIMITED STORAGE	20 PSF
HABITABLE ATTICS	30 PSF
ATTICS WITH FIXED STAIRS	30 PSF
BALCONIES 4 DECKS	40 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF
ROOF	25 PSF (GROUND SNOW LOAD)
CEILING JOISTS (HIGH SLOPE RAFTERS)	20 PSF
CEILING JOISTS (LOW SLOPE/NO STORAGE)	10 PSF
WIND	Vult 115 MPH, Vasec 84 MPH, Exp. B

### CONCRETE

- STRUCTURAL CONCRETE:
 

FOOTINGS, INTERIOR SLABS	FG = 3000 PSI
EXPOSED WALLS, GARAGE SLABS AND EXTERIOR SLABS ON GRADE	FG = 4000 PSI (5%-1% ENTRAINED AIR)
ALL DEFORMED REINFORCING BARS	FY = 60,000 PSI
- CONCRETE TO BE MIXED AND PLACED PER ACI SPECIFICATIONS.

### MASONRY

- MASONRY VENEER SHALL BE ANCHORED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES EMBEDDED IN MORTAR OR GROUT, AND EXTENDING INTO THE VENEER A MINIMUM OF 1-1/2", WITH NOT LESS THAN 5/8" MORTAR OR GROUT COVER TO OUTSIDE FACE.
- WHERE VENEER IS ANCHORED TO WOOD BACKINGS BY CORRUGATED SHEET METAL TIES, THE DISTANCE SEPARATING THE VENEER FROM THE SHEATHING MATERIAL SHALL BE A MAXIMUM OF 1".
- SHEET METAL TIES SHALL BE NOT LESS THAN NO. 22 U.S. GAGE BY 1/8" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24" ON CENTER HORIZONTALLY AND VERTICALLY, AND SHALL SUPPORT NOT MORE THAN 2.67 SF OF WALL AREA.
- ADDITIONAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16" IN EITHER DIMENSION. METAL TIES AROUND THE PERIMETER OF OPENINGS SHALL BE SPACED NOT MORE THAN 3'-0" O.C. AND PLACED WITHIN 12" OF THE WALL OPENING.

### VINYL SIDING

- VINYL SIDING SHALL BE CERTIFIED AND LABELED AS CONFORMING TO THE REQUIREMENTS OF ASTM D 3679 BY AN APPROVED QUALITY CONTROL AGENCY.
- VINYL SIDING, SOFFIT, AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- SOFFIT PANELS SHALL BE INDIVIDUALLY FASTENED TO A SUPPORTING COMPONENT SUCH AS A NAILING STRIP, FASCIA, OR SUBFASCIA COMPONENT, OR AS SPECIFIED BY THE MANUFACTURER.

### ASPHALT SHINGLES

- SHINGLE PACKAGING SHALL BEAR A LABEL TO INDICATE COMPLIANCE TO:
 

MAXIMUM BASIC WIND SPEED	CLASSIFICATION REQUIREMENT PER ASTM D 7158
40 MPH	D, G OR H
100 MPH	G OR H
110 MPH	G OR H

### STRUCTURAL LUMBER

- JOISTS, BEAMS, RAFTERS, AND 2 x 6 STUDS ARE TO BE A MINIMUM GRADE OF SPRUCE-PINE-FIR (SOUTH) NO. 2, WITH THE FOLLOWING MINIMUM PROPERTIES:
 

FB = 750 PSI
FV = 10 PSI
FG = 335 PSI (PERPENDICULAR)
FC = 475 PSI (PARALLEL)
E = 1,000,000 PSI
- 2 x 4 STUDS, UNLESS NOTED OTHERWISE, ARE TO BE A MINIMUM GRADE OF HEM-FIR STUD GRADE, WITH THE FOLLOWING MINIMUM PROPERTIES:
 

FB = 675 PSI FT
FV = 75 PSI
FG = 405 PSI (PERPENDICULAR)
FC = 800 PSI
E = 1,200,000 PSI
- LAMINATED VENEER LUMBER (LVL) SHALL BE "1.9 E MICROLAM LVL" AS MANUFACTURED BY TRUS JOIST MACMILLAN (OR EQUAL), WITH THE FOLLOWING DESIGN PROPERTIES:
 

FB = 2,800 PSI (SINGLE 12" MEMBER)
FV = 225 PSI
FG = 750 PSI (PERPENDICULAR)
FC = 2,000 PSI (PARALLEL TO GRAIN)
E = 1,900,000 PSI
- UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
  - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PRODUCT STANDARD PS-1-88 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD
  - APA PRF-108 FOR STRUCTURAL USE PANELS, OR
  - PS 2-42 FOR WOOD-BASED STRUCTURAL USE PANELS
  - APA RESIDENTIAL CONSTRUCTION GUIDE
- TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS, AND JOISTS SHALL BE SUPPORTED LATERALLY AS REQUIRED BY THE MANUFACTURER.
- ANY DRILLING OR NOTCHING OF THE WALL DOUBLE TOP PLATES SHALL BE IN COMPLIANCE WITH THE BUILDING CODE.

### MISCELLANEOUS

- USE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8'-0" O/C FOR CEILING JOISTS. USE SOLID BLOCKING AT BEARINGS.
- USE ONE CRIPPLE (JACK) STUD AND ONE FULL HEIGHT (KING) STUD UNDER BEAM AND HEADER BEARING LESS THAN 4'-0" AND ONE CRIPPLE STUD (JACK) AND TWO FULL HEIGHT STUDS (KINGS) UNDER BEAM AND HEADER BEARING 4'-0" OR GREATER, UNLESS SHOWN OTHERWISE.
- APPLY CONTINUOUS BEAD OF GLUE ON JOISTS AND GROOVE OF TONGUE-AND-GROOVE PANELS.
- BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE DEMONSTRATED TO COMPLY WITH ONE OF THE FOLLOWING OPTIONS:
  - A. TESTING OPTION: TESTED AIR LEAKAGE WITH A BLOWER DOOR TEST
  - B. VISUAL INSPECTION OPTION: INSPECTION OF ITEMS LISTED IN TABLE 102.4.2. (SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION)
- FRAMING LUMBER IN CONTACT WITH CONCRETE OR MASONRY, OR EXPOSED TO THE EXTERIOR SHALL BE PRESERVATIVE PRESSURE TREATED.
- ANY WOOD, INCLUDING EXTERIOR SHEATHING, WITHIN 6" OF FINISHED GRADE SHALL BE PRESERVATIVE-PRESSURE TREATED OR PVC EQUIVALENT.
- WALL COVERINGS, BACKING MATERIALS, AND THEIR ATTACHMENTS SHALL BE CAPABLE OF RESISTING WIND LOADS IN ACCORDANCE WITH THE FOLLOWING TABLES:
  - A. SEISMIC DESIGN CATEGORIES
  - B. WEATHERING PROBABILITY MAP FOR CONCRETE
- AN APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER SHEATHING OF ALL EXTERIOR WALLS. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2". WHERE JOINTS OCCUR, BARRIER SHALL BE LAPPED NOT LESS THAN 6". THE BARRIER SHALL BE CONTINUOUS TO THE TOP OF THE WALL, AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVELOPE.
- ALL PANEL EDGES (SHEATHING) MUST BE SUPPORTED - SOLID BLOCKED WITH 2X FRAMING MEMBER.

### STRUCTURAL STEEL

- ANCHOR BOLTS AND OTHER BOLTS EXCEPT AS MAY BE NOTED: ASTM A307.
- STRUCTURAL STEEL TO BE ASTM A36 WITH A SHOP COAT OF RUST-INHIBITIVE PAINT, EXCEPT FOR CORROSION-RESISTANT STEEL, AND STEEL TREATED WITH COATINGS TO PROVIDE CORROSION RESISTANCE.
- STEEL BELOW GRADE TO BE PROTECTED BY A MINIMUM OF 3" OF CONCRETE OR 4" OF MASONRY.
- COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. COLUMNS SHALL NOT BE LESS THAN 3" DIAMETER, SCHEDULE 40 PIPE, MANUFACTURED IN ACCORDANCE WITH ASTM A 83 GRADE B, OR APPROVED EQUIVALENT.
- STEEL LINTELS SHALL BE SHOP COATED WITH A RUST-INHIBITIVE PAINT, EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL, OR STEEL TREATED WITH COATINGS TO PROVIDE CORROSION RESISTANCE. THE ALLOWABLE SPAN SHALL NOT EXCEED THE FOLLOWING VALUES, WITH THE LONG LEG OF THE ANGLE IN THE VERTICAL POSITION:
 

ANGLE SIZE	NO STORY ABOVE	ONE STORY ABOVE
3" X 3" X 1/4"	6'-0"	4'-6"
4" X 3" X 1/4"	8'-0"	6'-0"
5" X 3-1/2" X 5/16"	10'-0"	8'-0"
6" X 3-1/2" X 5/16"	14'-0"	9'-6"

### CONNECTIONS & FASTENERS

- JOISTS TO BEAMS OR JOISTS TO TRUSSES - 16 GA. STD. JOIST HANGERS, UNLESS SHOWN OTHERWISE - AS MANUFACTURED BY SIMPSON STRONG TIE.
- ROOF TRUSSES TO SUPPORTING TOP PLATES OR BEAMS - USE HURRICANE TIES, EQUAL TO SIMPSON HD, WITH ALL NAIL HOLES FILLED, ONE PER TRUSS END.
- ROOF SHEATHING TO JOISTS/TRUSSES-- USE 8D NAILS AT 6" O/C AT PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS.
- FASTENERS AND CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED WOOD AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF:
  - HOT DIPPED ZINC-COATED GALVANIZED STEEL
  - STAINLESS STEEL
  - SILICON BRONZE
  - COPPER

### TRUSS NOTES

- LUMBER AS REQUIRED BY THE TRUSS MANUFACTURER, MINIMUM GRADE TO BE SYP NO. 2, KD 15 PERCENT MC.
- CONNECTIONS: ALL INTERNAL TRUSS CONNECTIONS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER. CONNECTORS SHALL BE DEFORMED PLATE TYPE, OF MINIMUM 20 GAUGE GALVANIZED STEEL SHEET. ALL JOINTS ARE TO BE DESIGNED USING METHODS AS SET FORTH IN TPI STANDARDS 1976.
- HANGERS: ALL TRUSS TO TRUSS HANGERS ARE TO BE DESIGNED AND SUPPLIED BY THE TRUSS SUPPLIER.
- SPECIFICATIONS AND REFERENCE STANDARDS, UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION, ERECTION, HANDLING AND BRACING REQUIREMENTS ARE TO BE GOVERNED BY THE LATEST REVISIONS OF:
  - NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS
  - TRUSS CONSTRUCTION STANDARDS
  - DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES
  - TRUSS PLATE INSTITUTE PUBLICATION-B7M BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS
- ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE FOLLOWING LOADS:
 

TOP CHORD LIVE LOAD:	25 PSF (GROUND SNOW)
DEAD LOAD:	0 PSF
BOTTOM CHORD LIVE LOAD:	10 PSF
- WHERE TRUSSES ARE REQUIRED TO FRAME INTO OTHER TRUSSES, THE DESIGN OF THE HANGERS SHALL BE THE RESPONSIBILITY OF THE TRUSS SUPPLIER. THIS IS TO INCLUDE THE DESIGN OF THE HANGERS AND PROVISION IN THE SUPPORTING TRUSS TO ACCEPT THE TYPE OF HANGER PROVIDED.
- TRUSS DESIGNS ARE TO BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. TRUSS SUBMITTAL SHALL INCLUDE THE FOLLOWING INFORMATION:
  - DESIGN INFORMATION FOR EACH TYPE OF TRUSS SUPPLIED
  - TRUSS HANGER TYPE AND LOCATION FOR ALL TRUSSES FRAMING INTO TRUSSES
  - TRUSS DESIGN DRAWINGS SHALL BE STAMPED BY A REGISTERED ENGINEER
- ALL MEMBERS OF MULTIPLE TRUSSES ARE TO BE NAILED TOGETHER WITH 10D COMMON NAILS AT 8" O.C. FOR DOUBLE TRUSSES, OR WITH 16D COMMON NAILS AT 8" O.C. FROM EACH SIDE, FOR TRIPLE TRUSSES.

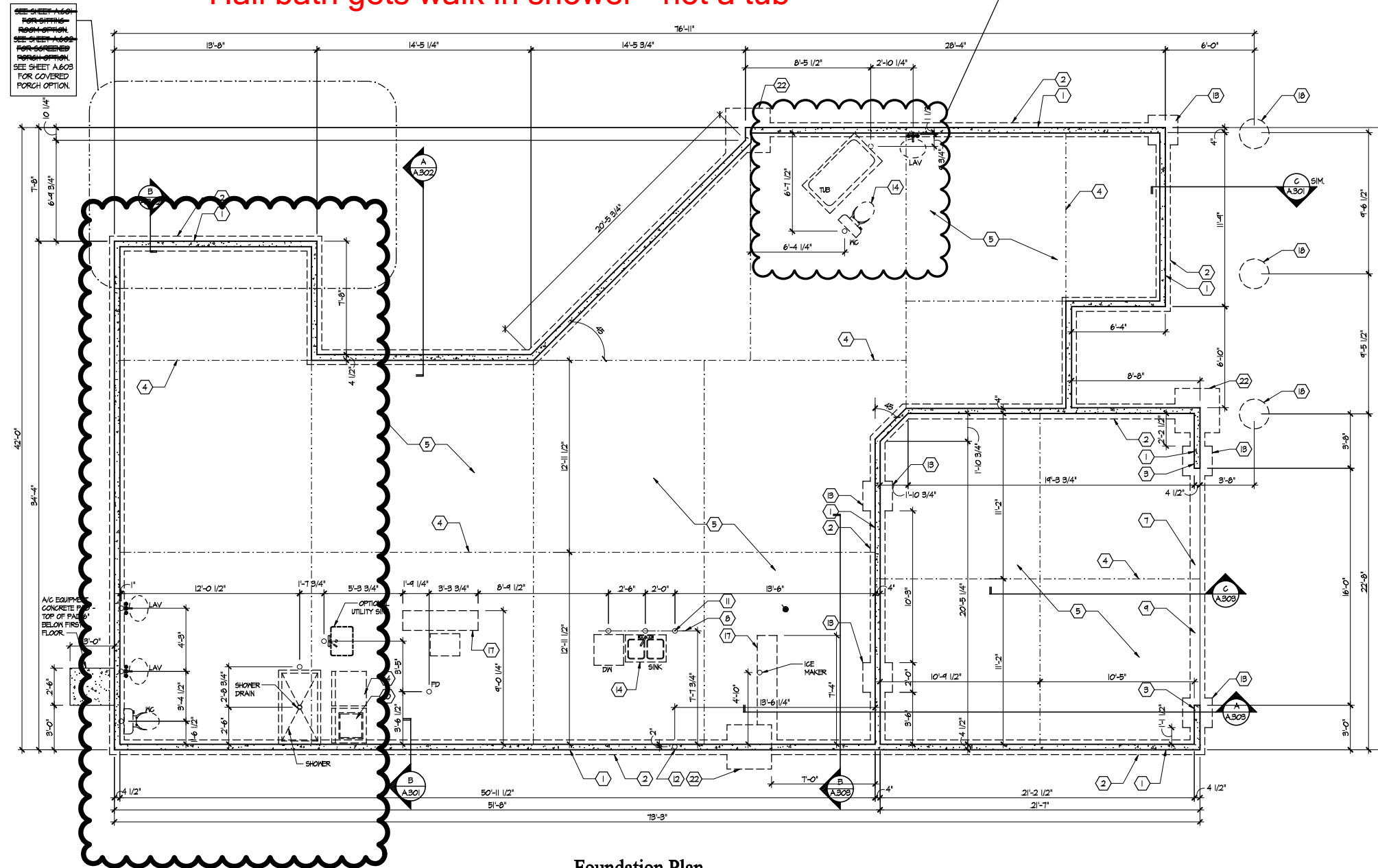
**DEAN A. WENZ**

ARCHITECTS  
2463 E. Main Street, Bexley, Ohio 43209  
(614) 239-6868 www.wenz-architects.com

2019-044

BUILDING TYPE D-4 Bonus - 2017  
Prototype Revision Date: 3/20/18  
2019-044 20 DEC 2019

2 Story Slab  
 Laundry Tub  
 Irrigation Line  
 Humidifier Valve  
 Gas Furnace , Heater , Fireplace, Range and Generator  
 Hall bath gets walk in shower - not a tub



Foundation Plan  
 Scale: 1/4" = 1'-0"

- FOUNDATION CODED NOTES**  
 FOUNDATION PLAN ONLY  
 (ALL NOTES NOT APPLICABLE TO ALL SHEETS/UNIT TYPES)
- POURED CONCRETE FOUNDATION STEM WALL (TYPICAL) - SEE WALL SECTIONS SHEETS.
  - 12" WIDE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR - TYPICAL.
  - PROVIDE MIN. 2 ANCHOR BOLTS EACH SIDE OF GARAGE DOORS.
  - SAW CUT CONTROL JOINT IN CONCRETE SLAB, 1/8" WIDE x 1/4" DEEP - TYPICAL.
  - 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER AND 4" GRAVEL BASE - TYPICAL.
  - 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 4" GRAVEL BASE.
  - PROVIDE WEATHERLIP @ GARAGE DOOR OPENING - SEE DETAIL D, SHEET A.301.
  - PIPE LOCATION CENTERED ON WALL ABOVE.
  - NO STEM WALL AT GARAGE DOOR OPENINGS.
  - WASHER ALWAYS LOCATED LEFT OF DRYER. OPTIONAL UTILITY SINK ALWAYS LOCATED LEFT OF WASHER.
  - ELECTRICAL CONDUIT UNDER SLAB FOR ELECTRICAL OUTLET AT KITCHEN ISLAND.
  - ELECTRICAL CONDUIT SLAB PENETRATION.
  - 24" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - DASHED LINES INDICATE LOCATION OF PLUMBING FIXTURES ABOVE - SHOWN FOR REFERENCE ONLY.
  - 10" WIDE x 10" DEEP CONCRETE PIER WITH 24" DIA. FOOTING. MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF PIER SET 6" BELOW FINISHED FLOOR.
  - DOTTED LINE INDICATES WALL LINE OF BASE UNIT.
  - 8" DEEP X 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS.
  - 24" DIA. FOOTING - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE.
  - 12" DEEP CONCRETE FOOTING WITH (2) NO. 5 REBAR EACH WAY - SEE PLANS FOR SIZE - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE. 12" THICKENED SLAB EDGE TO CONTINUE DOWN TO FOOTING.
  - 24" WIDE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - 12" DEEP X 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS. TYPICAL UNDER ALL INTERIOR SHEAR WALLS.
  - 36" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - 30" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - 24" SQUARE X 8" DEEP THICKENED SLAB WITH (3) NO. 4 REBAR CONTINUOUS EACH WAY.
- GENERAL FOUNDATION NOTES**
- SOIL BEARING CAPACITY ASSUMED TO BE 2500 PSF AND SHALL BE VERIFIED BY SOILS ENGINEER PRIOR TO PLACEMENT OF BUILDING FOUNDATION. CONSULT ARCHITECT WHEN INADEQUATE SOIL CAPACITIES ARE FOUND.
  - ALL DIMENSIONS ARE TO FACE OF FOUNDATION / BASEMENT WALL UNLESS NOTED OTHERWISE.
  - HOLD DOWN TOP OF FOUNDATION WALL 8" AT ALL ENTRY DOORS TO ALLOW FOR EXTENSION OF FLOOR SLAB UNDER THE DOOR THRESHOLDS.
  - PLUMBING CONTRACTOR TO USE ROUND BUCKETS FOR FORMED SLAB PENETRATIONS.
  - CONCRETE CONTRACTOR TO INSTALL 1/2" EXP. JT. AROUND THE PERIMETER OF GARAGES.
  - CONCRETE CONTRACTOR COORDINATE WITH PLUMBING FOR LOCATION OF BLOCKOUTS FOR UNDERSLAB LINES.
  - CONCRETE CONTRACTOR - SEE FIRST FLOOR PLAN FOR SIDEWALKS AND PATIOS.
  - CONCRETE CONTRACTOR TO VERIFY SLAB PENETRATION AT TUB/SINKER OPTIONS.
  - SEE WALL SECTION SHEETS FOR ANCHOR BOLT SPECIFICATIONS.



Foundation Development  
 Group, LLC & Bel Haven, LLC  
 Bel Haven  
 Beckett Road  
 West Chester, Ohio 45069

**PROPRIETARY RIGHTS NOTICE**  
 COPYRIGHT 2017 EPCON COMMUNITIES FRANCHISING, INC.  
 ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SPECIFICATIONS, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC. 800 STOREHOUSE PARKWAY, DUBLIN, OHIO 43017, TELEPHONE (614)883-2827. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.  
 THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHAL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

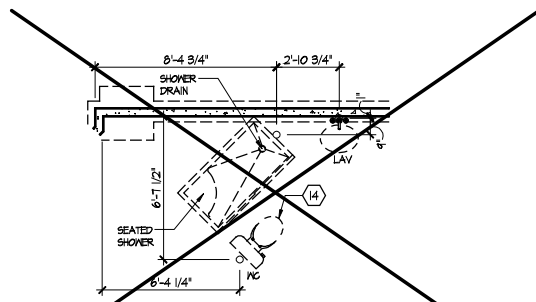
Prototype Disk No.	Interim Page Revisions Revision	Date
		1/2/19

Architect Project Number  
 2019-044

Community Dates & Revisions	
Date Originated	20 DEC 2019
Bid	
Permit	
Construction	
Revisions	
▲	▲
▲	▲
▲	▲

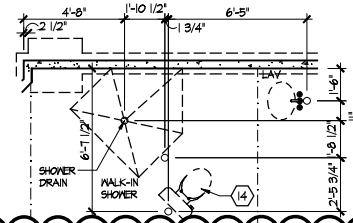
Drawing Title  
 Foundation Plan

Architectural Style  
 European Country  
 Sheet Number  
 A.100  
 D4 Bonus - 2017



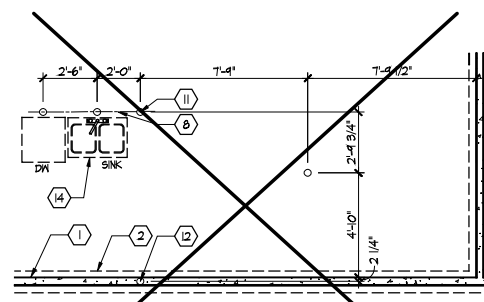
**Bath 2 - Optional Shower w/ Built-in Seat**

Scale: 1/4" = 1'-0"



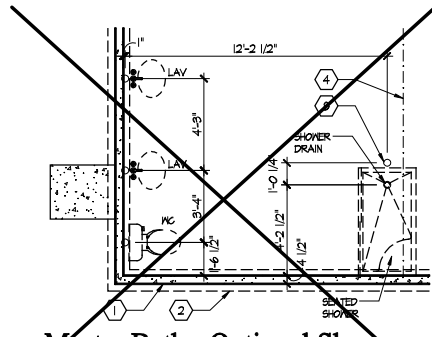
**Bath 2 - Optional Walk-in Shower**

Scale: 1/4" = 1'-0" **YES**



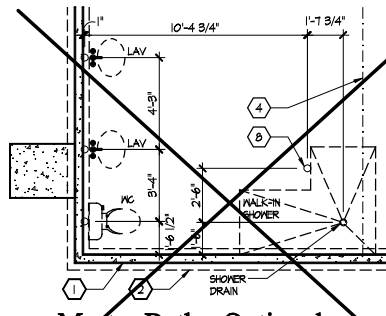
**Kitchen - Extended Option**

Scale: 1/4" = 1'-0"



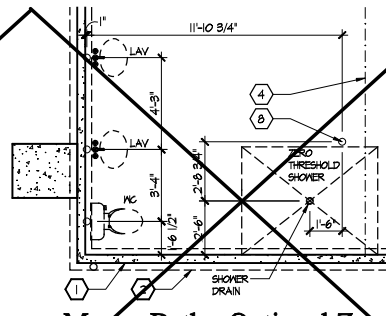
**Master Bath - Optional Shower w/ Built-in Seat**

Scale: 1/4" = 1'-0"



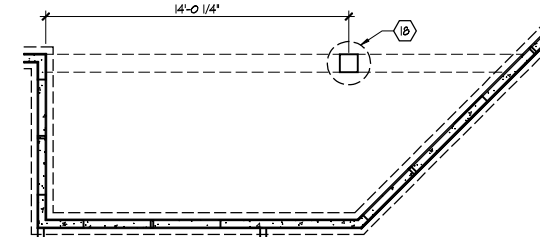
**Master Bath - Optional Walk-in Shower**

Scale: 1/4" = 1'-0"



**Master Bath - Optional Zero Threshold Shower**

Scale: 1/4" = 1'-0"



**Courtyard - Covered Porch Option**

Scale: 1/4" = 1'-0" **YES**

**FOUNDATION CODED NOTES**

FOUNDATION PLAN ONLY

(ALL NOTES NOT APPLICABLE TO ALL SHEETS/UNIT TYPES)

- POURED CONCRETE FOUNDATION STEM WALL (TYPICAL) - SEE WALL SECTIONS SHEETS.
- 12" WIDE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR - TYPICAL.
- PROVIDE MIN. 2 ANCHOR BOLTS EACH SIDE OF GARAGE DOORS.
- SAW CUT CONTROL JOINT IN CONCRETE SLAB, 1/8" WIDE x 1/4" DEEP - TYPICAL.
- 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER AND 4" GRAVEL BASE - TYPICAL.
- 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 4" GRAVEL BASE.
- PROVIDE WEATHERLIP @ GARAGE DOOR OPENINGS - SEE DETAIL D, SHEET A301.
- PIPE LOCATION CENTERED ON WALL ABOVE.
- NO STEM WALL AT GARAGE DOOR OPENINGS.
- WASHER ALWAYS LOCATED LEFT OF DRYER. OPTIONAL UTILITY SINK ALWAYS LOCATED LEFT OF WASHER.
- ELECTRICAL CONDUIT UNDER SLAB FOR ELECTRICAL OUTLET AT KITCHEN ISLAND.
- ELECTRICAL CONDUIT SLAB PENETRATION.
- 24" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
- DASHED LINES INDICATE LOCATION OF PLUMBING FIXTURES ABOVE - SHOWN FOR REFERENCE ONLY.
- 10" WIDE x 10" DEEP CONCRETE PIER WITH 24" DIA. FOOTING. MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF PIER SET 6" BELOW FINISHED FLOOR.
- DOTTED LINE INDICATES WALL LINE OF BASE UNIT.
- 8" DEEP X 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS.
- 24" DIA. FOOTING - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE.
- 12" DEEP CONCRETE FOOTING WITH (2) NO. 5 REBAR EACH WAY - SEE PLANS FOR SIZE - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE. 12" THICKENED SLAB EDGE TO CONTINUE DOWN TO FOOTING.
- 24" WIDE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
- 12" DEEP X 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS. TYPICAL UNDER ALL INTERIOR SHEAR WALLS.
- 36" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
- 30" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
- 24" SQUARE X 8" DEEP THICKENED SLAB WITH (3) NO. 4 REBAR CONTINUOUS EACH WAY.

**GENERAL FOUNDATION NOTES**

- SOIL BEARING CAPACITY ASSIGNED TO BE 2500 PSF AND SHALL BE VERIFIED BY SOILS ENGINEER PRIOR TO PLACEMENT OF BUILDING FOUNDATION. CONSULT ARCHITECT WHEN INADEQUATE SOIL CAPACITIES ARE FOUND.
- ALL DIMENSIONS ARE TO FACE OF FOUNDATION / BASEMENT WALL UNLESS NOTED OTHERWISE.
- HOLD DOWN TOP OF FOUNDATION WALL 8" AT ALL ENTRY DOORS TO ALLOW FOR EXTENSION OF FLOOR SLAB UNDER THE DOOR THRESHOLDS.
- PLUMBING CONTRACTOR TO USE ROUND BUCKETS FOR FORMED SLAB PENETRATIONS.
- CONCRETE CONTRACTOR TO INSTALL 1/2" EXP. JT. AROUND THE PERIMETER OF GARAGES.
- CONCRETE CONTRACTOR COORDINATE WITH PLUMBING FOR LOCATION OF BLOCKOUTS FOR UNDERSLAB LINES.
- CONCRETE CONTRACTOR - SEE FIRST FLOOR PLAN FOR SIDEWALKS AND PATIOS.
- CONCRETE CONTRACTOR TO VERIFY SLAB PENETRATION AT TUBSHOWER OPTIONS.
- SEE WALL SECTION SHEETS FOR ANCHOR BOLT SPECIFICATIONS.



**Foundation Development  
Group, LLC & Bel Haven, LLC**  
Bel Haven  
Beckett Road  
West Chester, Ohio 45069

**PROPRIETARY RIGHTS NOTICE**  
COPYRIGHT 2017 EPCON COMMUNITIES FRANCHISING, INC.  
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SKETCHES, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC., 800 STONEHOUSE PARKWAY, DUBLIN, OHIO 43017, TELEPHONE (614) 883-3827. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY WAY WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.  
THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHAL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

Prototype Disk No.	Interim Page Revisions Revision	Date
		1/2/19

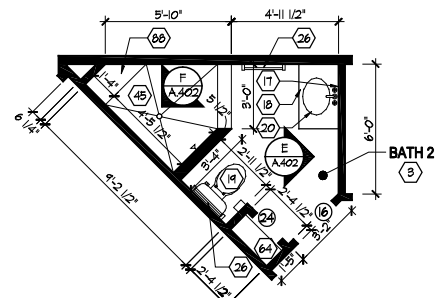
**Architect Project Number**  
2019-044

Community Dates & Revisions	
Date Originated	20 DEC 2019
Permit	
Construction	
Revisions	
▲	▲
▲	▲

**Drawing Title**  
Foundation Plan  
Options

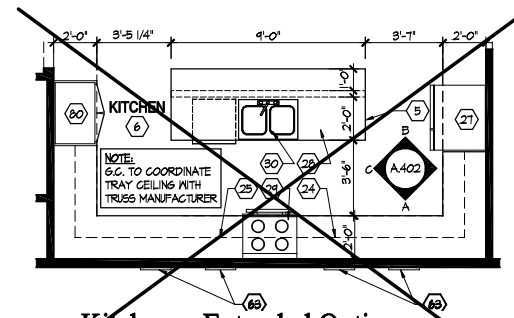
Architectural Style  
European Country  
Sheet Number  
**A.100-OPT**  
D4 Bonus - 2017





**Bath 2 - Optional Walk-in Shower**

Scale: 1/4" = 1'-0" YES



**Kitchen - Extended Option**

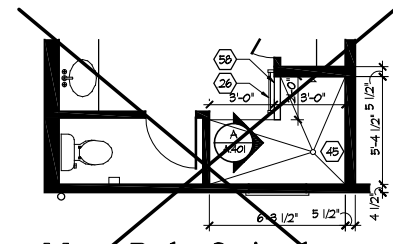
Scale: 1/4" = 1'-0"

**GENERAL NOTES**

1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS.
4. USE ONE CRIPPLE (JACK) STUD AND ONE FULL HEIGHT (KING) STUD UNDER BEAM AND HEADER BEARING LESS THAN 4'-0" AND ONE CRIPPLE STUD AND TWO FULL HEIGHT STUDS UNDER BEAM AND HEADER BEARING 4'-0" OR GREATER, UNLESS SHOWN OTHERWISE.
5. OPTIONAL GAS ROUGH-IN FOR COURTYARDS - LOCATION PER 6.C.

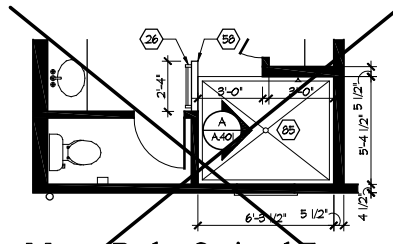
**FIRST FLOOR PLAN CODED NOTES**

- (FIRST FLOOR UNIT PLANS ONLY)  
(ALL NOTES NOT APPLICABLE TO ALL SHEETS/UNIT TYPES)
1. EXTERIOR STUD WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES, AND 1" ZIP SYSTEM "R-SHEATHING" ON EXTERIOR SURFACES. TYPICAL UNLESS NOTED OTHERWISE.
  2. INTERIOR STUD WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL FINISHED SURFACES - TYPICAL.
  3. FLAT DRYWALL CEILING @ 9'-0" A.F.F. - TYPICAL UNLESS NOTED OTHERWISE.
  4. 12" DEEP CERAMIC TILE HEARTH EXTENSION - CENTERED ON FIREBOX. SEE FLOOR PLAN FOR WIDTH.
  5. ISLAND BASE CABINETS & COUNTERTOP - FINISH ALL EDGES OF CABINETS & COUNTERTOP.
  6. TRAY CEILING @ 10'-0" A.F.F.
  7. PROVIDE FIBERGLASS BATT INSULATION IN GARAGE WALLS COMMON TO LIVING SPACE.
  8. GARAGE SLAB & FIRST FLOOR FLUSH AT BACK OF GARAGE - SLOPE 6" TO GARAGE DOOR.
  9. (OPTIONAL) PREFABRICATED METAL FIREBOX UNIT, PROVIDE GAS LINE, GAS LOG SET AND SCREEN. CONFIRM ROUGH OPENING OF FIREPLACE WITH PROJECT MANAGER.
  10. OPTIONAL CABINETS - SEE INTERIOR ELEVATIONS.
  11. WASHER LOCATION - PROVIDE WASHER BOX ON BACK WALL. WASHER ALWAYS LOCATED LEFT OF DRYER.
  12. DRYER LOCATION - DRYER VENT IN WALL.
  13. OPTIONAL UTILITY SINK AND FAUCET - INSTALL ROUGH-IN PLUMBING ONLY.
  14. SINGLE CLOSET ROD & SHELF (61 1/2" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACINGS.
  15. ARCHED OPENING: SPRING POINT @ T-8" A.F.F. TOP OF ARCH 8'-6" ABOVE SPRING POINT.
  16. LOCATION OF DOUBLE 2 x 4 STUD WALL.
  17. FRAMELESS MIRROR LOCATION - 42" HIGH x 2" SHORTER THAN VANITY TOP (1" EACH SIDE) - SET BOTTOM OF MIRROR AT TOP OF BACKSPLASH.
  18. VANITY BASE AND COUNTERTOP @ 11/2" A.F.F.
  19. TOILET & SEAT.
  20. SELF-RIMMING COUNTER LAVATORY AND FAUCET.
  21. 32" x 60" STANDARD TUB/SHOWER & FAUCET WITH CERAMIC TILE SURROUND.
  22. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
  23. 22" x 54" OPTIONAL FULL DOWN STAIR LOCATED BETWEEN TRUSSES ABOVE. DRYWALL ON STAIR SHALL BE MOUNTED WITH SCREWS INTO THE TOP & BOTTOM DOOR CROSS SUPPORTS WITH THE CENTER GLEED LEAVING NO SCREWS EXPOSED. (ATTIC ACCESS PANEL REQUIRED IF FULL-DOWN STAIR OPTION IS NOT CHOSEN. SEE NOTE #73 FOR MORE INFORMATION.)
  24. BASE CABINETS AND COUNTERTOP.
  25. LINE OF WALL CABINETS ABOVE.
  26. 24" LONG TONEL BAR - 54" A.F.F. (50" A.F.F. ABOVE TOILET).
  27. REFRIGERATOR LOCATION.
  28. DOUBLE BOWL SINK AND FAUCET.
  29. RANGE LOCATION.
  30. DISHWASHER LOCATION.
  31. 10" x 10" BUILT-UP COLUMN - TYPICAL. SEE DETAIL D, SHEET A304 FOR MORE INFORMATION.
  32. TOILET PAPER DISPENSER.
  33. (4) 12" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACINGS. TYPICAL AT LINEN CLOSETS AND PANTRIES, UNLESS NOTED OTHERWISE.
  34. FURNACE LOCATION.
  35. TANKLESS WATER HEATER.
  36. 10" x 10" BUILT-UP COLUMN / PILASTER - TYPICAL. SEE DETAIL F, SHEET A304 FOR MORE INFORMATION.
  37. 16'-0" x 8'-0" ATTIC STORAGE ABOVE - PROVIDE 3/4" APA RATED SUB-FLOORING ON BOTTOM CHORD OF TRUSSES. OSB SHEATHING RATED FOR 20 PSF LIVE LOAD IS PERMITTED AS AN ALTERNATE.
  38. 34" TALL FRAMED 1/2" WALL TO UNDERSIDE OF BAR COUNTERTOP.
  39. HOSE BIBB LOCATION.
  40. SURFACE MOUNTED ELECTRIC PANEL LOCATION. SEE DETAIL ON SHEET A304.
  41. PROVIDE (2) CRIPPLE STUDS (JACKS) UNDER ALL HEADERS IN OPENINGS OVER 48" WIDE - TYPICAL. SEE GENERAL NOTES FOR MORE INFORMATION.
  42. OK INDICATES NUMBER OF FULL-HEIGHT (KING) STUDS AT BEARING LOCATIONS.
  43. MINIMUM 1/2" DRYWALL ON GARAGE SIDE.
  44. 32" x 60" STANDARD SHOWER BASE.
  45. CUSTOM TILED ROLL-IN SHOWER BASE - SEE PLAN FOR SIZE.
  46. WOOD GUARD RAIL - SEE DETAIL K ON SHEET A304.
  47. 12" WIDE (BOTTOM) x 8" WIDE (TOP) FYPON PVC TAPERED COLUMN WRAP GYMEX12X12FIT WITH CRAFTSMAN STYLE CAP AND BASE. SEE DETAIL P, SHEET A304 FOR DETAILS.
  48. FLAT DRYWALL CEILING ON UNDERSIDE OF BOTTOM CHORD OF ROOF TRUSSES OR FLOOR JOISTS.
  49. FLAT DRYWALL CEILING @ 8'-4" A.F.F.
  50. SOAP DISH - 5" HIGH x 7" WIDE.
  51. DOWNSPOUT LOCATION.
  52. DOWNSPOUT DISCHARGED INTO BLACK PIPE AND ROUTED UNDER WALKS OR PATIO.
  53. EDGE OF DRIVEWAY.
  54. 4" THICK SLAB TYPICAL @ CONCRETE WALKS/PORCHES/PATIOS.
  55. CONTROL JOINTS - TYPICAL.
  56. DASHED LINES INDICATE BOXED BEAM ABOVE - WIDTH TO MATCH COLUMN.
  57. 12" DEEP SHELF (60" A.F.F.) - VINYL COATED WIRE - STANDARD SPACINGS.
  58. SHOWER WALL - 6'-0" A.F.F.
  59. OPTIONAL GARAGE SHELVING.
  60. OPTIONAL DESK.
  61. COURTYARD GATE AND FENCE LOCATION.
  62. DASHED LINE INDICATES OPTIONAL PATIO SECTION.
  63. OPTIONAL WINDOW.
  64. (4) 12" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACINGS.
  65. 32" x 60" SHOWER BASE WITH BUILT-IN SEAT.
  66. HARDBOARD TREADS AND RISERS.
  67. WOOD HANDRAIL - 34" ABOVE STAIR TREADS. RETURN ENDS TO WALL OR NEVEL POST.
  68. SINGLE BOWL SINK AND FAUCET.
  69. 20" RANGE LOCATION.
  70. FLAT DRYWALL CEILING @ 8'-0" A.F.F.
  71. LINE OF BREAK OF SLOPED DRYWALL CEILING - FOLLOW BOTTOM CHORD OF ROOF TRUSSES OR RAFTERS ABOVE.
  72. SLOPED CEILING AREA ABOVE.
  73. ATTIC ACCESS PANEL: 22" x 30" MINIMUM. PANEL TO BE 6" MIN. ABOVE BASE IF LOCATED IN KNEE WALL. PANEL TO HAVE 1" QUARTER ROUND MOULDING AROUND EDGE. PANEL SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. IF IN THE CEILING, A BAFFLE IS REQUIRED TO CONTAIN LOOSE-FILL INSULATION.
  74. UNDER THE COUNTER REFRIGERATOR LOCATION.
  75. FLAT DRYWALL CEILING @ 7'-0" A.F.F.
  76. HALF WALL @ 56" A.F.F. WITH 1 x 6 HARDWOOD CAP.
  77. SINGLE CLOSET ROD & SHELF (48" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACINGS.
  78. KNEE WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES, AND 1/4" O.S.B. BACKER PANEL ON EXTERIOR SURFACES - TYPICAL. RUN FROM FLOOR STRUCTURE BELOW TO UNDERSIDE OF ROOF FRAMING.
  79. WIDTH OF HEADER TO MATCH WIDTH OF COLUMN AND BOXED BEAMS (OR DIMS. AS SHOWN).
  80. FULL HEIGHT PANTRY CABINET - SEE INTERIOR ELEVATIONS.
  81. DASHED LINE INDICATES 9' CEILING SOFFIT FOR SANITARY LINES FROM BONUS ROOM.
  82. 10 x 10 P.T. SOLID WOOD COLUMN WITH BEVELED TOP.
  83. PRESERVATIVE PRESSURE TREATED 2 x 8 PERGOLA RAFTERS @ 16" O.C. - SEE SECTIONS FOR MORE DETAIL.
  84. PRESERVATIVE PRESSURE TREATED 2 x 12 PERGOLA BEAMS - SEE SECTIONS FOR MORE DETAIL.
  85. ZERO-THRESHOLD SHOWER. SEE DETAIL ON SHEET A304.
  86. BUILT-IN BOOKSHELVES.
  87. CONCRETE PATIO - SEE LANDSCAPING PLANS FOR OPTIONS & DETAILS.
  88. BUILT-IN TILED SHOWER BENCH - SEE DETAIL ON SHEET A304.
  89. OPTIONAL 42" WIDE x 18" DEEP BASE CABINET PER 6.C.
  90. OPTIONAL 42" BUILT-IN BENCH PER 6.C.
  91. DOG WASH SHOWER BASE WITH 6" HIGH TILED STEP AND 18" HIGH TILED HALF WALL PER 6.C.
  92. OPTIONAL UNDER THE COUNTER WINE REFRIGERATOR.
  93. PROVIDE INSULATION IN SALES OFFICE WALLS AND CEILINGS - SEE WALL SECTION.
  94. 2 x 4 WALL WITH GLASS INSERTS AND WOOD GAP - SEE DETAILS ON SHEET A.614 FOR MORE INFORMATION.
  95. DOTTED LINE INDICATES AREA OF REQUIRED CLEARANCE FOR A.D.A. COMPLIANCE.
  96. CABINETS BY OWNER.
  97. TONEL RING.



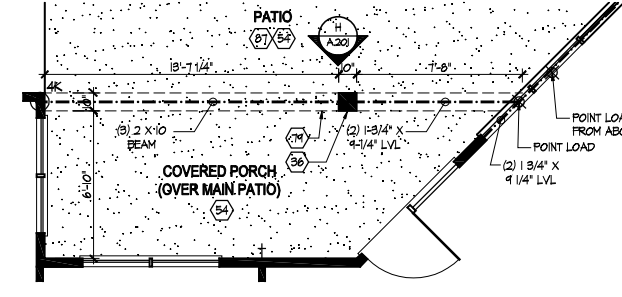
**Master Bath - Optional Walk-in Shower**

Scale: 1/4" = 1'-0"



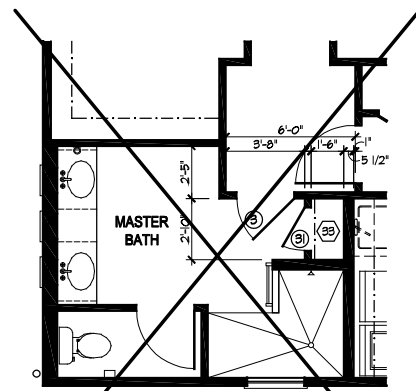
**Master Bath - Optional Zero Threshold Shower**

Scale: 1/4" = 1'-0"



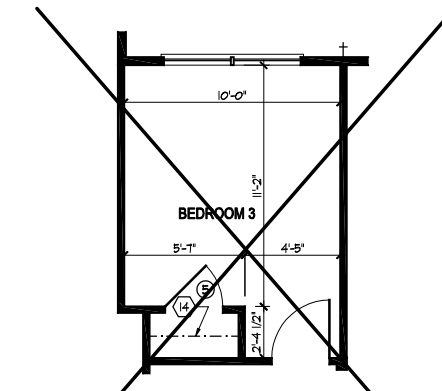
**Courtyard - Covered Porch Option**

Scale: 1/4" = 1'-0" YES



**Master Bath - Optional Entry**

Scale: 1/4" = 1'-0"



**Bedroom 3 option**

Scale: 1/4" = 1'-0"

Foundation Development  
Group, LLC & Bel Haven, LLC  
Bel Haven  
Beckett Road  
West Chester, Ohio 45069

PROPRIETARY RIGHTS NOTICE  
COPYRIGHT 2017 EPCON COMMUNITIES FRANCHISING, INC.  
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SECTIONS, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC. NO STORAGE, REPRODUCTION, DISTRIBUTION, OR ANY OTHER USE OF THIS INFORMATION IS PERMITTED WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.  
THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHAL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

Prototype Disk No.	Interim Page Revisions Revision	Date
		8/10/20

Architect Project Number  
2019-044

Community Dates & Revisions	
Date Originated	20 DEC 2019
Bid Permit Construction	
Revisions	
▲	▲
▲	▲
▲	▲

Drawing Title  
First Floor Plan  
Options

Architectural Style  
European Country  
Sheet Number  
A.101-OPT  
D4 Bonus - 2017



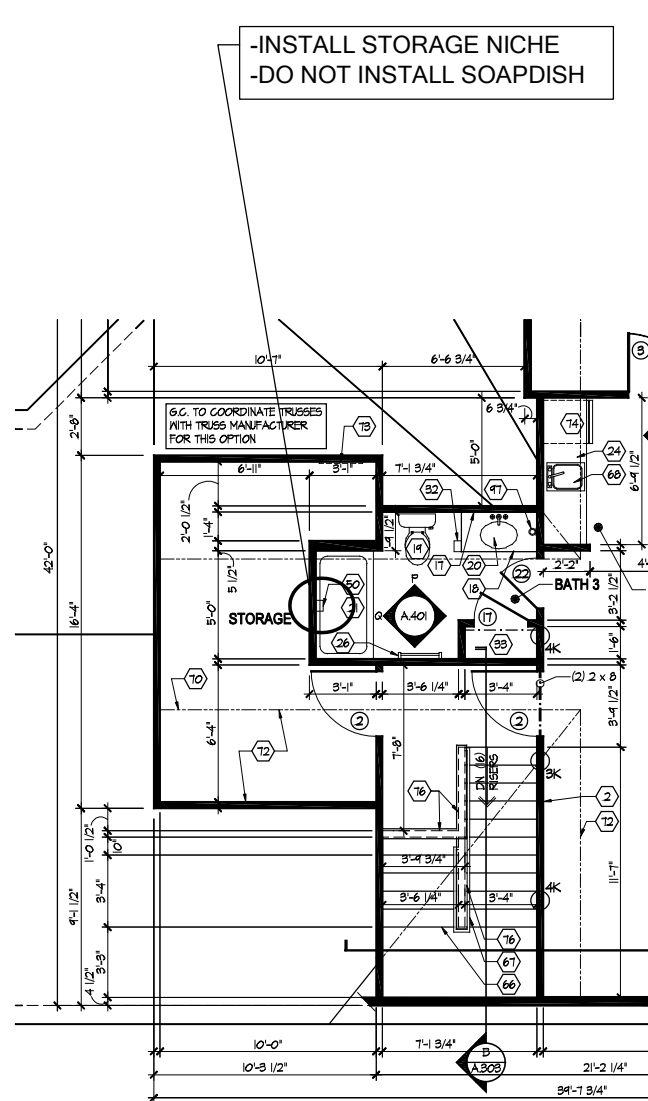
**GENERAL NOTES**

1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS.
4. USE ONE CRIPPLE (JACK) STUD AND ONE FULL HEIGHT (KING) STUD UNDER BEAM AND HEADER BEARING LESS THAN 4'-0" AND ONE CRIPPLE STUD AND TWO FULL HEIGHT STUDS UNDER BEAM AND HEADER BEARING 4'-0" OR GREATER, UNLESS SHOWN OTHERWISE.
5. OPTIONAL GAS ROUGH-IN FOR COURTYARDS - LOCATION PER 6.C.

**FIRST FLOOR PLAN CODED NOTES**

- (FIRST FLOOR UNIT PLANS ONLY)  
(ALL NOTES NOT APPLICABLE TO ALL SHEETS/UNIT TYPES)
1. EXTERIOR STUD WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES, AND 1" ZIP SYSTEM "R-SHEATHING" ON EXTERIOR SURFACES. TYPICAL UNLESS NOTED OTHERWISE.
  2. INTERIOR STUD WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL FINISHED SURFACES - TYPICAL.
  3. FLAT DRYWALL CEILING @ 9'-0" A.F.F. - TYPICAL UNLESS NOTED OTHERWISE.
  4. 12" DEEP CERAMIC TILE HEARTH EXTENSION - CENTERED ON FIREBOX. SEE FLOOR PLAN FOR WIDTH.
  5. ISLAND BASE CABINETS & COUNTERTOP - FINISH ALL EDGES OF CABINETS & COUNTERTOP.
  6. TRAY CEILING @ 10'-0" A.F.F.
  7. PROVIDE FIBERGLASS BATT INSULATION IN GARAGE WALLS COMMON TO LIVING SPACE.
  8. GARAGE SLAB & FIRST FLOOR FLUSH AT BACK OF GARAGE - SLOPE 6" TO GARAGE DOOR.
  9. (OPTIONAL) PREFABRICATED METAL FIREBOX UNIT, PROVIDE GAS LINE, GAS LOG SET AND SCREEN. CONFIRM ROUGH OPENING OF FIREPLACE WITH PROJECT MANAGER.
  10. OPTIONAL CABINETS - SEE INTERIOR ELEVATIONS.
  11. WASHER LOCATION - PROVIDE WASHER BOX ON BACK WALL. WASHER ALWAYS LOCATED LEFT OF DRYER.
  12. DRYER LOCATION - DRYER VENT IN WALL.
  13. OPTIONAL UTILITY SINK AND FAUCET - INSTALL ROUGH-IN PLUMBING ONLY.
  14. SINGLE CLOSET ROD & SHELF (61 1/2" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACINGS.
  15. ARCHED OPENING: SPRING POINT @ T-8" A.F.F. TOP OF ARCH 8'-6" ABOVE SPRING POINT.
  16. LOCATION OF DOUBLE 2 x 4 STUD WALL.
  17. FRAMELESS MIRROR LOCATION - 42" HIGH x 2' SHORTER THAN VANITY TOP (1" EACH SIDE) - SET BOTTOM OF MIRROR AT TOP OF BACKSPLASH.
  18. VANITY BASE AND COUNTERTOP @ 11/2" A.F.F.
  19. TOILET & SEAT.
  20. SELF-RIMMING COUNTER LAVATORY AND FAUCET.
  21. 32" x 60" STANDARD TUB/SHOWER & FAUCET WITH CERAMIC TILE SURROUND.
  22. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
  23. 22" x 54" OPTIONAL FULL DOWN STAIR LOCATED BETWEEN TRUSSES ABOVE. DRYWALL ON STAIR SHALL BE MOUNTED WITH SCREWS INTO THE TOP & BOTTOM DOOR CROSS SUPPORTS WITH THE CENTER GLED LEAVING NO SCREWS EXPOSED. (ATTIC ACCESS PANEL REQUIRED IF FULL-DOWN STAIR OPTION IS NOT CHOSEN. SEE NOTE #78 FOR MORE INFORMATION.)
  24. BASE CABINETS AND COUNTERTOP.
  25. LINE OF WALL CABINETS ABOVE.
  26. 24" LONG TONEL BAR - 54" A.F.F. (50" A.F.F. ABOVE TOILET).
  27. REFRIGERATOR LOCATION.
  28. DOUBLE BOWL SINK AND FAUCET.
  29. RANGE LOCATION.
  30. DISHWASHER LOCATION.
  31. 10" x 10" BUILT-UP COLUMN - TYPICAL. SEE DETAIL D, SHEET A304 FOR MORE INFORMATION.
  32. TOILET PAPER DISPENSER.
  33. (4) 16" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACINGS. TYPICAL AT LINEN CLOSETS AND PANTRIES, UNLESS NOTED OTHERWISE.
  34. FURNACE LOCATION.
  35. TANKLESS WATER HEATER.
  36. 10" x 10" BUILT-UP COLUMN / PILASTER - TYPICAL. SEE DETAIL F, SHEET A304 FOR MORE INFORMATION.
  37. 16'-0" x 8'-0" ATTIC STORAGE ABOVE - PROVIDE 3/4" APA RATED SUB-FLOORING ON BOTTOM CHORD OF TRUSSES. OSB SHEATHING RATED FOR 20 PSF LIVE LOAD IS PERMITTED AS AN ALTERNATE.
  38. 34" TALL FRAMED 1/2 WALL TO UNDERSIDE OF BAR COUNTERTOP.
  39. HOSE BIBB LOCATION.
  40. SURFACE MOUNTED ELECTRIC PANEL LOCATION. SEE DETAIL ON SHEET A304.
  41. PROVIDE (2) CRIPPLE STUDS (JACKS) UNDER ALL HEADERS IN OPENINGS OVER 48" WIDE - TYPICAL. SEE GENERAL NOTES FOR MORE INFORMATION.
  42. ○K INDICATES NUMBER OF FULL-HEIGHT (KING) STUDS AT BEARING LOCATIONS.
  43. MINIMUM 1/2" DRYWALL ON GARAGE SIDE.
  44. 32" x 60" STANDARD SHOWER BASE.
  45. CUSTOM TILED ROLL-IN SHOWER BASE - SEE PLAN FOR SIZE.
  46. WOOD GUARD RAIL - SEE DETAIL K ON SHEET A304.
  47. 12" WIDE (BOTTOM) x 8" WIDE (TOP) FIBERGLASS TAPERED COLUMN WRAP (GFMX12X12FIT) WITH CRAFTSMAN STYLE CAP AND BASE. SEE DETAIL P, SHEET A304 FOR DETAILS.
  48. FLAT DRYWALL CEILING ON UNDERSIDE OF BOTTOM CHORD OF ROOF TRUSSES OR FLOOR JOISTS.
  49. FLAT DRYWALL CEILING @ 8'-4" A.F.F.
  50. SOAP DISH - 5" HIGH x 7" WIDE.
  51. DOWNSPOUT LOCATION.
  52. DOWNSPOUT DISCHARGED INTO BLACK PIPE AND ROUTED UNDER WALKS OR PATIO.
  53. EDGE OF DRIVEWAY.
  54. 4" THICK SLAB TYPICAL @ CONCRETE WALKS/PORCHES/PATIOS.
  55. CONTROL JOINTS - TYPICAL.
  56. DASHED LINES INDICATE BOXED BEAM ABOVE - WIDTH TO MATCH COLUMN.
  57. 12" DEEP SHELF (60" A.F.F.) - VINYL COATED WIRE - STANDARD SPACINGS.
  58. SHOWER WALL - 6'-0" A.F.F.
  59. OPTIONAL GARAGE SHELVING.
  60. OPTIONAL DECK.
  61. COURTYARD GATE AND FENCE LOCATION.
  62. DASHED LINE INDICATES OPTIONAL PATIO SECTION.
  63. OPTIONAL WINDOW.
  64. (4) 12" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACINGS.
  65. 32" x 60" SHOWER BASE WITH BUILT-IN SEAT.
  66. HARDBOARD TREADS AND RISERS.
  67. WOOD HANDRAIL - 34" ABOVE STAIR TREADS. RETURN ENDS TO WALL OR NEVEL POST.
  68. SINGLE BOWL SINK AND FAUCET.
  69. 20" RANGE LOCATION.
  70. FLAT DRYWALL CEILING @ 8'-0" A.F.F.
  71. LINE OF BREAK OF SLOPED DRYWALL CEILING - FOLLOW BOTTOM CHORD OF ROOF TRUSSES OR RAFTERS ABOVE.
  72. SLOPED CEILING AREA ABOVE.
  73. ATTIC ACCESS PANEL - 22" x 30" MINIMUM. PANEL TO BE 6" MIN. ABOVE BASE IF LOCATED IN KNEE WALL. PANEL TO HAVE 1" QUARTER ROUND MOLDING AROUND EDGE. PANEL SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. IF IN THE CEILING, A BAFFLE IS REQUIRED TO CONTAIN LOOSE-FILL INSULATION.
  74. UNDER THE COUNTER REFRIGERATOR LOCATION.
  75. FLAT DRYWALL CEILING @ 7'-0" A.F.F.
  76. HALF WALL @ 56" A.F.F. WITH 1 x 6 HARDWOOD CAP.
  77. SINGLE CLOSET ROD & SHELF (48" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACINGS.
  78. KNEE WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES, AND 1/4" OSB BACKER PANEL ON EXTERIOR SURFACES - TYPICAL. RUN FROM FLOOR STRUCTURE BELOW TO UNDERSIDE OF ROOF FRAMING.
  79. WIDTH OF HEADER TO MATCH WIDTH OF COLUMN AND BOXED BEAMS (OR DIMS. AS SHOWN).
  80. FULL HEIGHT PANTRY CABINET - SEE INTERIOR ELEVATIONS.
  81. DASHED LINE INDICATES CEILING SCOFF FOR SANITARY LINES FROM BONUS ROOM.
  82. 10 x 10 F.T. SOLID WOOD COLUMN WITH BEVELED TOP.
  83. PRESERVATIVE PRESSURE TREATED 2 x 8 PERGOLA RAFTERS @ 16" O.C. - SEE SECTIONS FOR MORE DETAIL.
  84. PRESERVATIVE PRESSURE TREATED 2 x 12 PERGOLA BEAMS - SEE SECTIONS FOR MORE DETAIL.
  85. ZERO-THRESHOLD SHOWER. SEE DETAIL ON SHEET A304.
  86. BUILT-IN BOOKSHELVES.
  87. CONCRETE PATIO - SEE LANDSCAPING PLANS FOR OPTIONS & DETAILS.
  88. BUILT-IN TILED SHOWER BENCH - SEE DETAIL ON SHEET A304.
  89. OPTIONAL 42" WIDE x 18" DEEP BASE CABINET PER 6.C.
  90. OPTIONAL 42" BUILT-IN BENCH PER 6.C.
  91. DOG WASH SHOWER BASE WITH 6" HIGH TILED STEP AND 18" HIGH TILED HALF WALL PER 6.C.
  92. OPTIONAL UNDER THE COUNTER WINE REFRIGERATOR.
  93. PROVIDE INSULATION IN SALES OFFICE WALLS AND CEILINGS - SEE WALL SECTION.
  94. 2 x 4 WALL WITH GLASS INSERTS AND WOOD CAP - SEE DETAILS ON SHEET A304 FOR MORE INFORMATION.
  95. DOTTED LINE INDICATES AREA OF REQUIRED CLEARANCE FOR A.D.A. COMPLIANCE.
  96. CABINETS BY OWNER.
  97. TONEL RING.

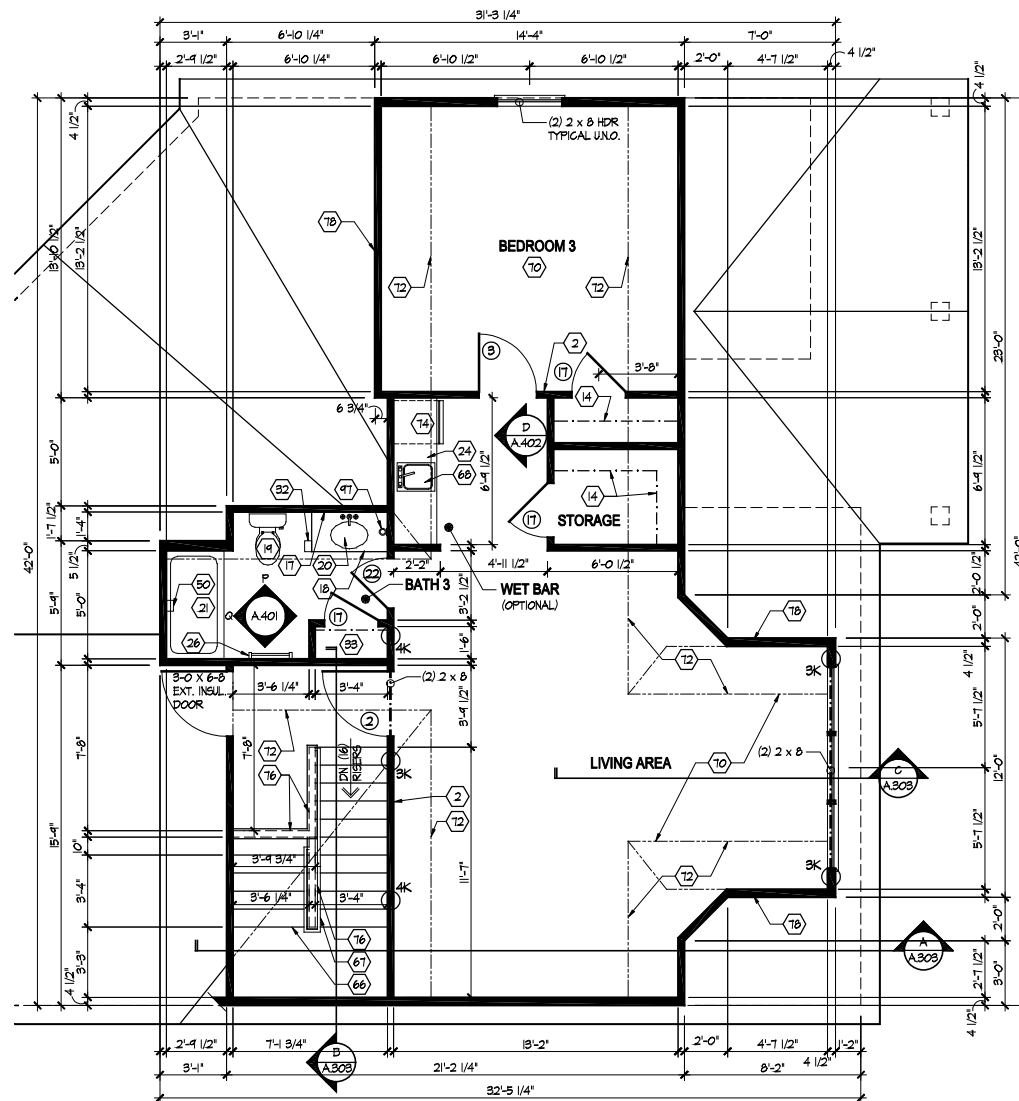
-INSTALL STORAGE NICHE  
-DO NOT INSTALL SOAPDISH



**Second Floor Plan - Additional Storage Option**

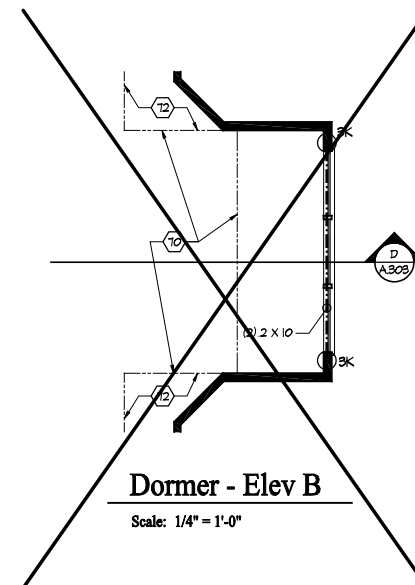
Scale: 1/4" = 1'-0"

YES



**Second Floor Plan - Elev A**

Scale: 1/4" = 1'-0"



**Dormer - Elev B**

Scale: 1/4" = 1'-0"



**Foundation Development  
Group, LLC & Bel Haven, LLC**  
Bel Haven  
Beckett Road  
West Chester, Ohio 45069

**PROPRIETARY RIGHTS NOTICE**  
COPYRIGHT 2017 EPICON COMMUNITIES FRANCHISING, INC.  
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATION, PLANS, BLUEPRINTS, SPECIFICATIONS, DRAWINGS OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPICON COMMUNITIES FRANCHISING, INC. NO STOREHOUSE, FRANCHISE, DUBLIN, OHIO 43017, TELEPHONE (614) 883-3827. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF EPICON COMMUNITIES FRANCHISING, INC.  
THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHAL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADA), AND THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

Prototype Disk No.	Interim Page Revisions Revision	Date
		8/7/20

**Architect Project Number**  
2019-044

**Community Dates & Revisions**  
Date Originated 20 DEC 2019  
Bid Permit Construction

Revisions  
▲  
▲  
▲

**Drawing Title**  
Second Floor Plan

Architectural Style  
European Country  
Sheet Number  
**A.101A**  
D4 Bonus - 2017

Foundation Development  
Group, LLC & Bel Haven, LLC  
Bel Haven  
Beckett Road  
West Chester, Ohio 45069

PROPRIETARY RIGHTS NOTICE  
COPYRIGHT 2017 EPCON COMMUNITIES FRANCHISING, INC.  
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL  
RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SKETCHES,  
DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS  
HEREOF, WHICH ARE THE PROPERTY OF EPCON  
COMMUNITIES FRANCHISING, INC. 880 STONEHURST  
PARWAY, DUBLIN, OHIO 43017, TELEPHONE 614.882.3827. NO  
ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR  
DUPLICATE THIS WORK IN ANY MANNER WITHOUT THE WRITTEN  
AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.  
THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL  
LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL  
CODERS AND SHALL MEET THE REQUIREMENTS OF THE HEALTH  
DEPARTMENT, FIRE MARSHALL, AMERICANS WITH DISABILITIES  
ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING  
ACT ACCESSIBILITY GUIDELINES (FHAAG), AND SHALL BE  
CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL  
ENERGY REQUIREMENTS.

Prototype Disk No.	Interim Page Revisions	Date
		8/10/20

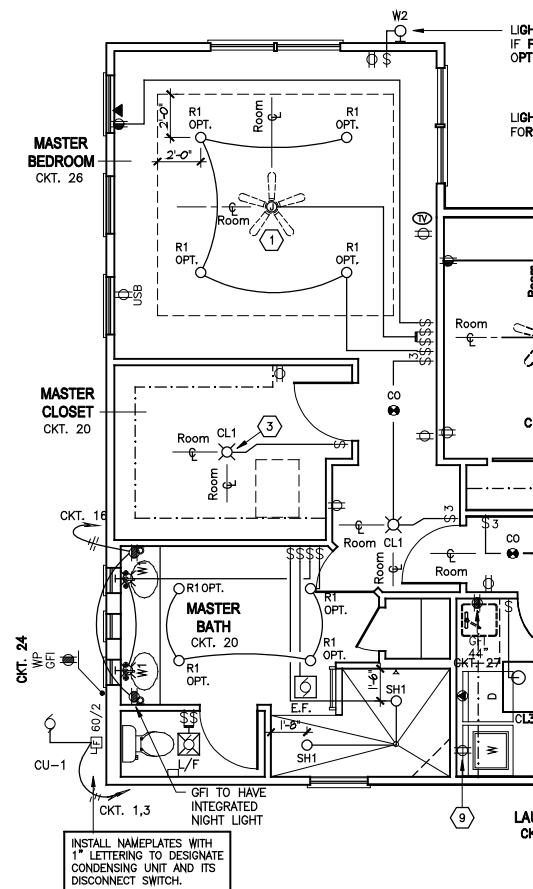
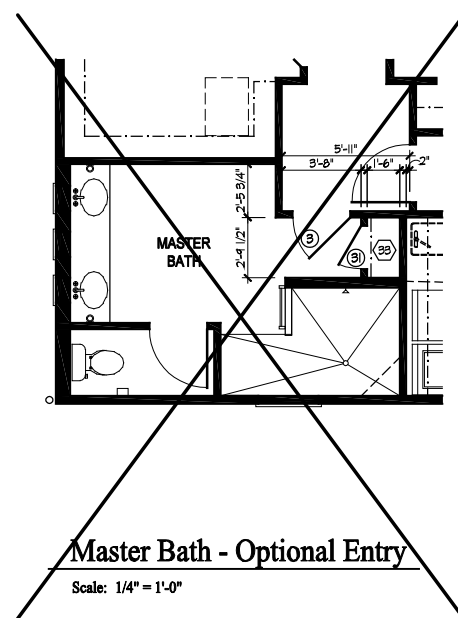
Architect Project Number  
2019-044

Community Dates & Revisions	
Date Originated	20 DEC 2019
Bid	
Permit	
Construction	
Revisions	
▲	▲
▲	▲
▲	▲

Drawing Title  
Extended Master Suite  
Plans and Electrical

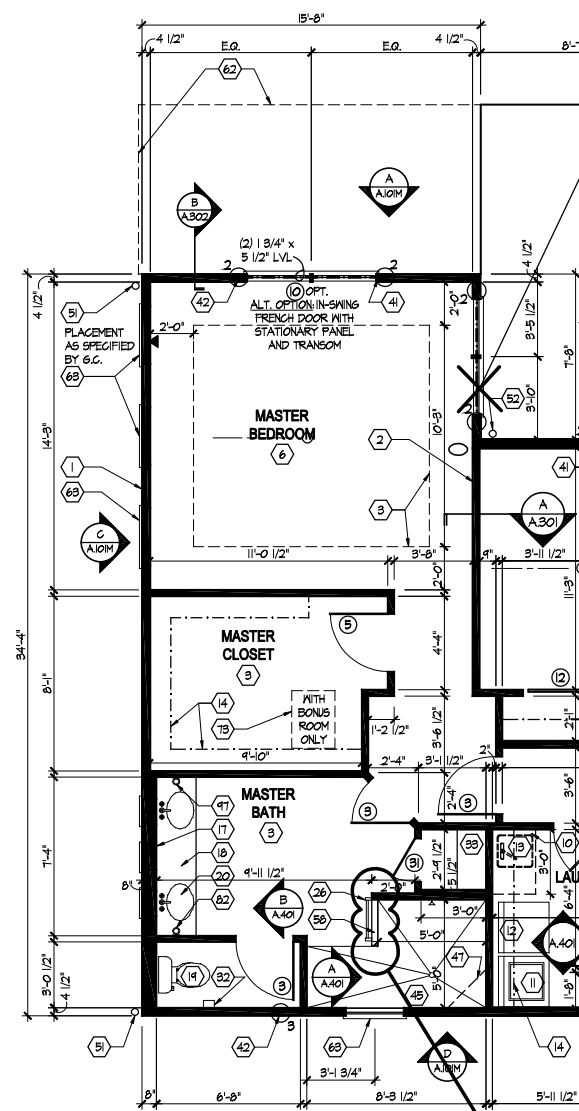
Architectural Style  
European Country

Sheet Number  
**A.101M**  
D4 Bonus - 2017



Electrical Plan - First Floor

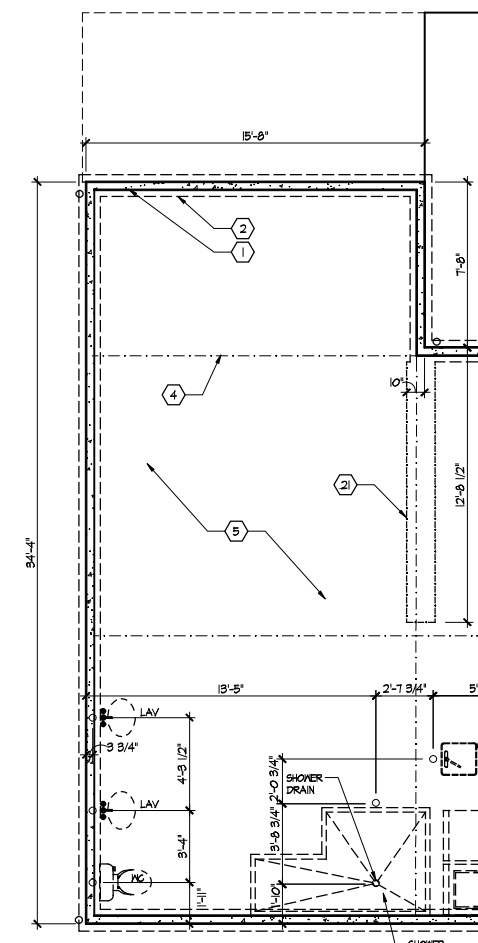
SEE SHEET E.100 FOR ELECTRICAL PLAN LEGEND AND BASE ELECTRICAL PLAN.



Partial First Floor Plan

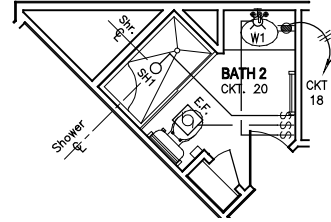
SEE SHEET A.101 FOR PLAN CODED NOTES AND BASE FLOOR PLAN AND S.103, S.104 FOR SHEAR WALL INFO.

INSTALL 3 STORAGE NICHE (APPROX. 12x12, INSTALL VERT. W/ BOTTOM NICHE 11" A.F.F.



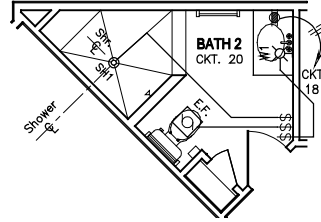
Partial Foundation Plan

SEE SHEET A.100 FOR FOUNDATION CODED NOTES AND BASE FOUNDATION PLAN.



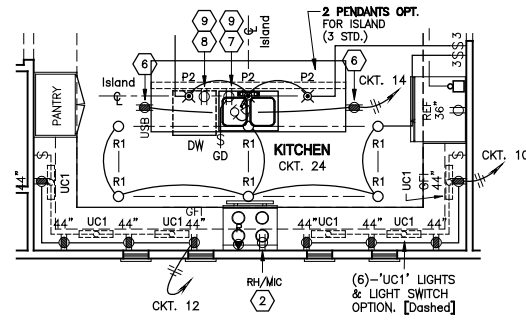
**Bath 2 - Optional Shower w/ Built-in Seat**

Scale: 1/4" = 1'-0"



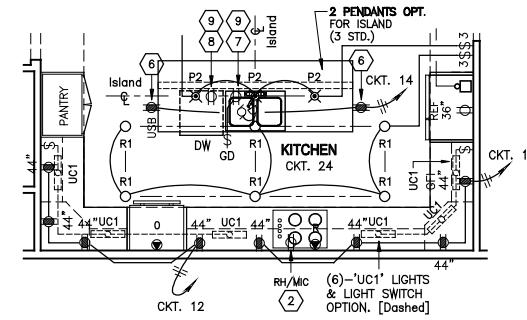
**Bath 2 - Optional Walk-in Shower**

Scale: 1/4" = 1'-0"



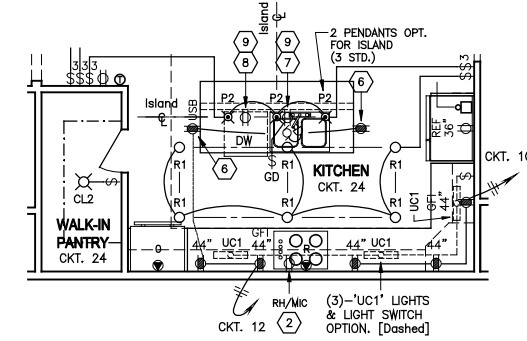
**Kitchen - Extended Option**

Scale: 1/4" = 1'-0"



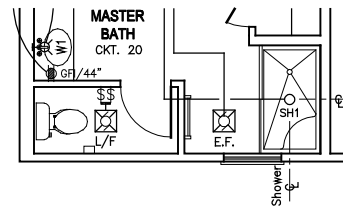
**Kitchen - Extended Deluxe Option**

Scale: 1/4" = 1'-0"



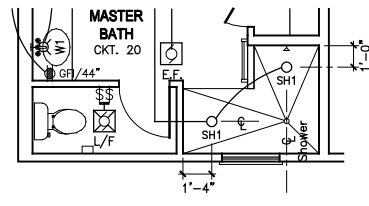
**Kitchen - Deluxe Option**

Scale: 1/4" = 1'-0"



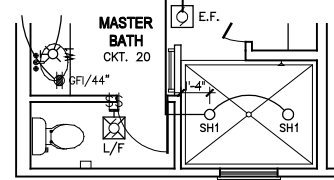
**Master Bath - Optional Shower w/ Built-in Seat**

Scale: 1/4" = 1'-0"



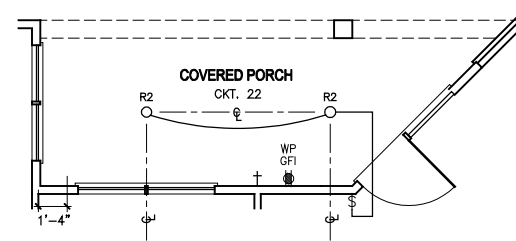
**Master Bath - Optional Walk-in Shower**

Scale: 1/4" = 1'-0"



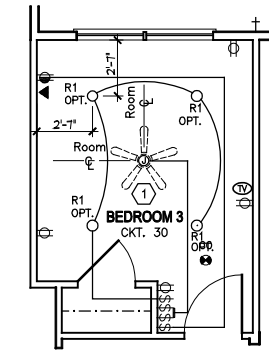
**Master Bath - Optional Zero Threshold Shower**

Scale: 1/4" = 1'-0"



**Courtyard - Covered Porch Option**

Scale: 1/4" = 1'-0"



**Bedroom 3 Option**

Scale: 1/4" = 1'-0"



Foundation Development  
Group, LLC & Bel Haven, LLC  
Bel Haven  
Beckett Road  
West Chester, Ohio 45069

PROPRIETARY RIGHTS NOTICE  
COPYRIGHT 2017 EPCON COMMUNITIES FRANCHISING, INC.  
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SECTIONS, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC., 800 STOWESVILLE PARKWAY, DUBLIN, OHIO 43017, TELEPHONE 614.883.3827. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.  
THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHAL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

Prototype Disk No.	Interim Revision	Page Revisions Date
		6/21/18

Architect Project Number

Community Dates & Revisions	
Date Originated	20 DEC 2019
Bid	
Permit	
Construction	
Revisions	
▲	▲
▲	▲
▲	▲

Drawing Title  
**Electrical Plan**

Architectural Style  
European Country  
Sheet Number  
**E.101A**  
D4 Bonus - 2017