

PLOT PLAN
 LOT 4714 (10,010 SF) 0.2298 ACRES
 CENTENNIAL RUN, SECTION THREE, BLOCK "B"
 SECTION 31, TOWN 2, RANGE 4
 CITY OF TRENTON, BUTLER COUNTY, OHIO
 FOR: CRISTO HOMES

ANGEL RESIDENCE
 835 PRESCOT CIRCLE

SETBACKS:

FRONT YARD=35'
 REAR YARD=40'
 SIDE YARD=8' MIN/20' TOTAL

MS=662.78
 MFOE=669.1
 MROE=668.4

QUANTITIES

| | |
|-------------------|----------------|
| TOTAL LOT AREA | 10,010 sq. ft. |
| CITY WALK | 270 sq. ft. |
| HOUSE WALK | 39 sq. ft. |
| DRIVE | 656 sq. ft. |
| APRON | 111 sq. ft. |
| PATIO AND PORCHES | 152 sq. ft. |
| DECK | - sq. ft. |
| SEEDING AREA | 8243 sq. ft. |



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

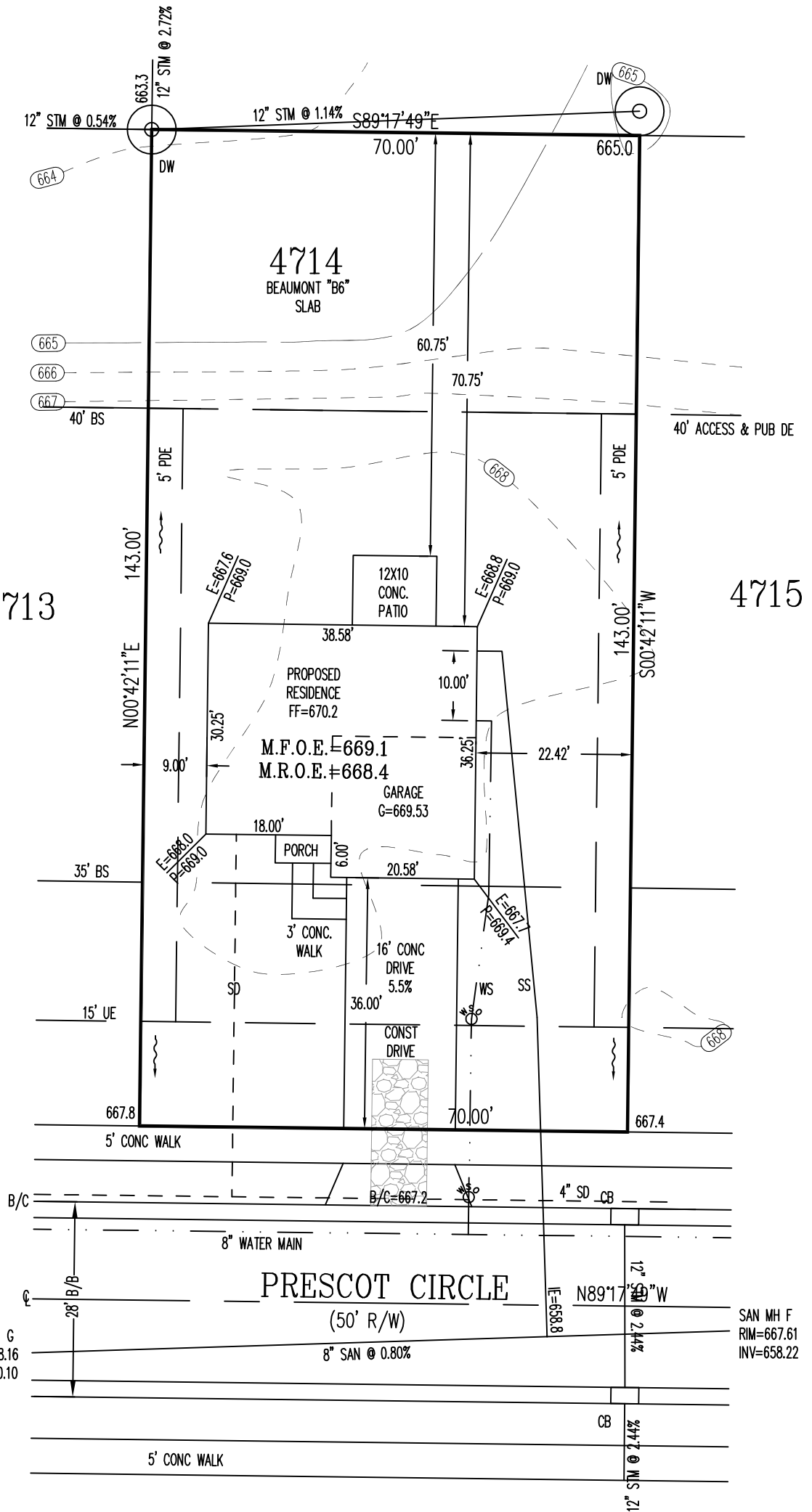
GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

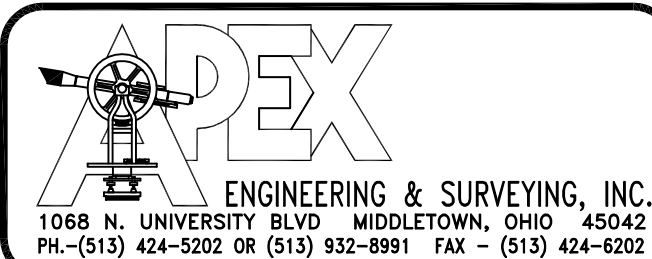
APEX IS NOT RESPONSIBLE FOR SOIL CONDITIONS OR GROUND WATER CONDITIONS.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



TOPOGRAPHY FROM APEX FIELD SURVEY, DATED DEC. 5, 2019, AND MAY NOT REFLECT CURRENT CONDITIONS.

SCALE: 1"=20'
 DATE: 09-18-20
 DRAWN: JLL
 DESIGNED:
 CHECKED: KRC

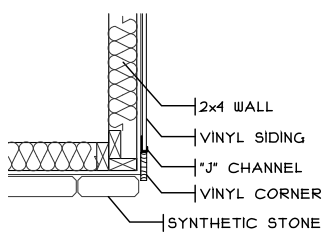


REVISIONS:

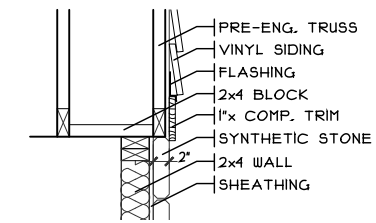
- 1.
- 2.
- 3.
- 4.

PROJECT: CENTENNIALRUN
 DRAWING: 202173PA

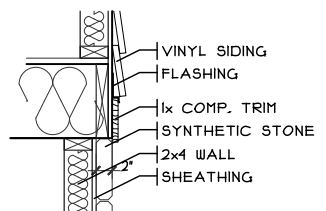
SHEET
 1 OF 1



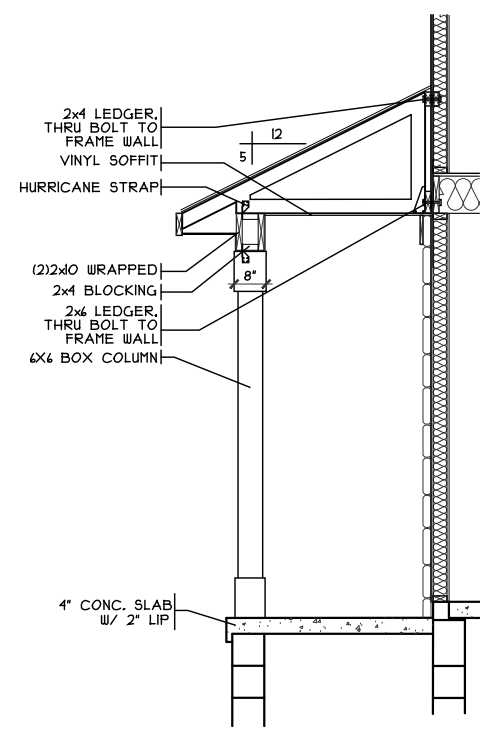
STONE/VINYL CORNER
SCALE: 1" = 1'-0"



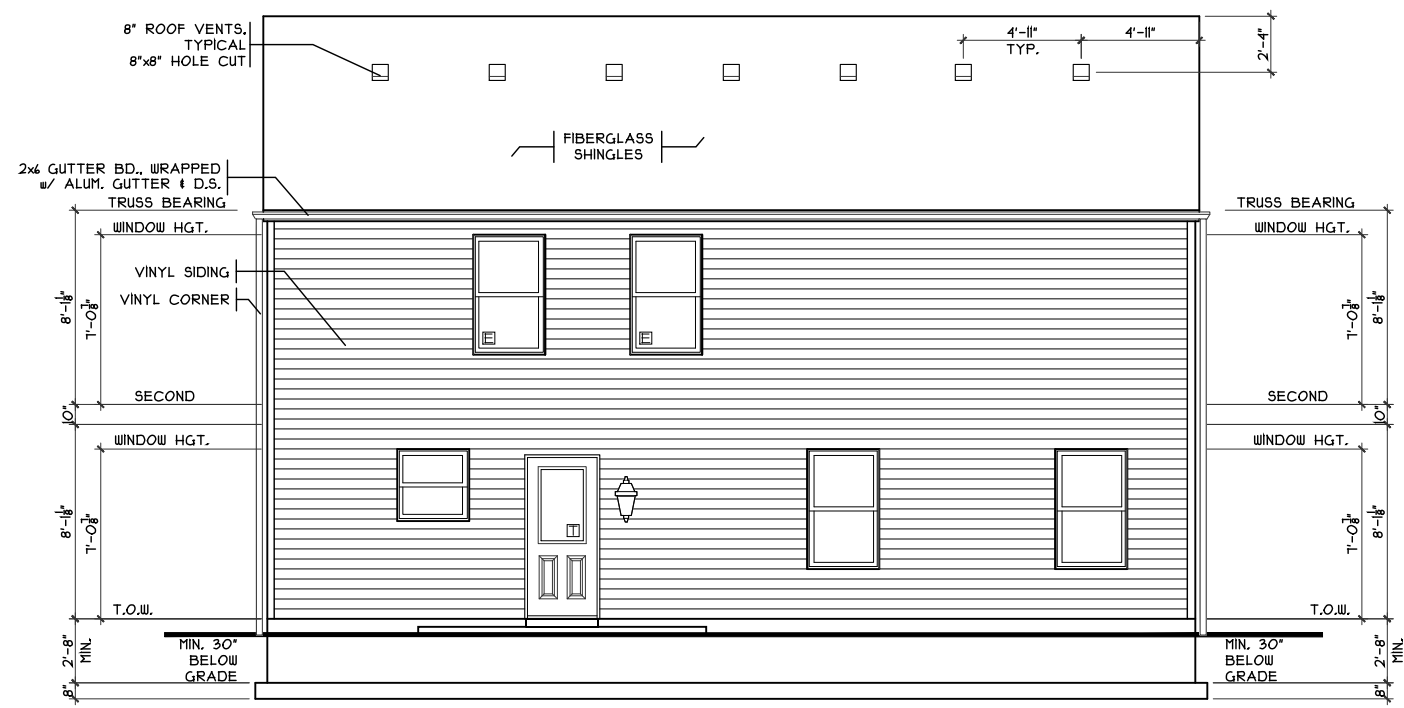
STONE DETAIL
SCALE: 1" = 1'-0"



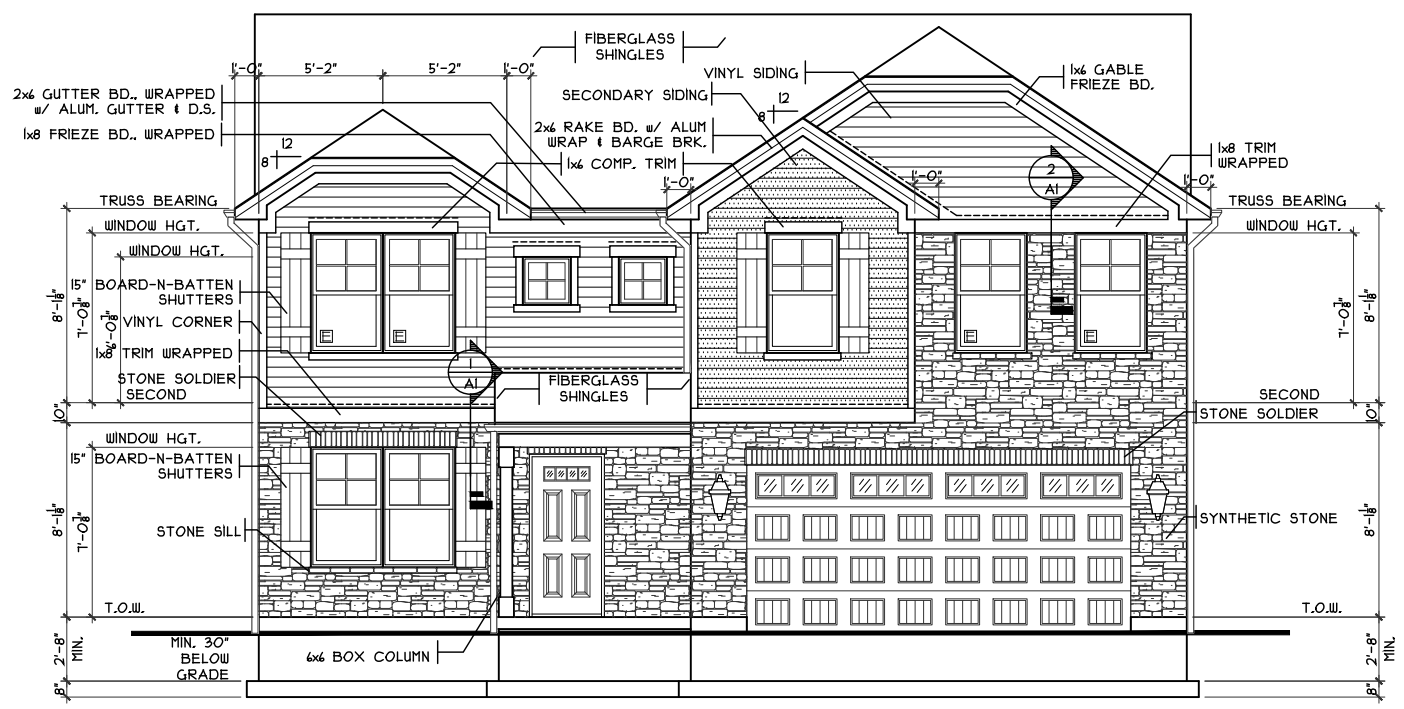
STONE DETAIL
SCALE: 1" = 1'-0"



PORCH DETAIL
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

| SHEET INDEX | |
|-------------|---|
| SHT# | DESCRIPTION |
| A1 | Front and Rear Elevations |
| A1a | Left and Right Elevations |
| A2 | Foundation Plan |
| A3 | First Floor Plan |
| A4 | Second Floor Plan |
| A5 | Typical Wall Sections/Stair Section/Portal Framing Detail |
| A6 | Typical Framing Details (Aluminum) |
| G1 | General Notes |

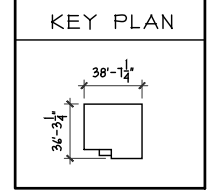
NOTE:
PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

| Issue Dates |
|-------------|
| Review |

Beaumont Slab - B6 - Vinyl
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Trenton
Butler County
Proposed Residence:
Angel Residence
835 Prescott Circle
Centennial Run-70's Lot #4714

| 2S2146B4 PLAN INFO | |
|-----------------------|---------------|
| 4 | BDRMS |
| 2.5 | BATHS |
| 2 | CAR GARAGE |
| 8 | 1ST FLR. CLG. |
| SQUARE FOOTAGE | |
| TOTAL | 2146 |
| MAIN | 878 |
| UPPER | 1268 |
| LOWER (SLAB) | 192 |
| GARAGE (SLAB) | 378 |



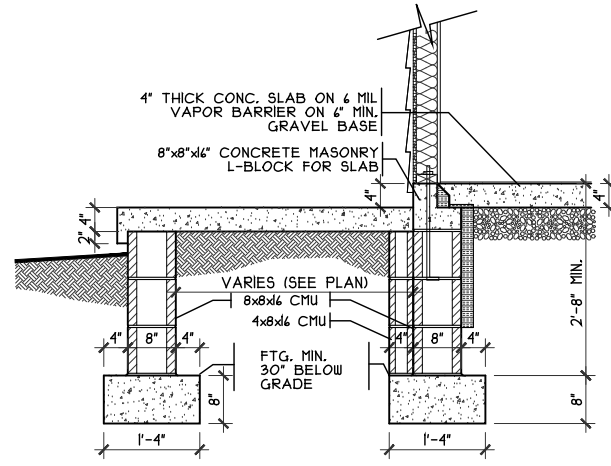
| OPTIONS |
|---------|
| |

Front And Rear Elevations
C7-4714
Plan: Beaumont Slab
Date: 9.2.2020
Drawn: KMA
Scale: As Noted
Revised: 9.15.2020
Sheet: 1 of 15

7594-A Tylers Place Blvd.
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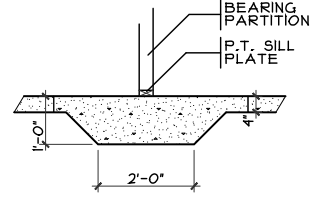
A1

CR20215.DWG • PLANS PREPARED BY SABO DESIGN ASSOCIATES • 550 WARDS CORNER ROAD SUITE 201, LOVELAND, OH 45140 • 513.683.1236 • SABODESIGNASSOC@SABODA.NET • COPYRIGHT 2020 SABO DESIGN ASSOCIATES
 H:\Archives\CRISTO\CR1 (110) Beaumont\SLAB\CONTRACTS\CR1 20235 CT1-4714 (Beaumont - Slab)\Fig\Thursday, November 08, 2018 8:07:18 AM



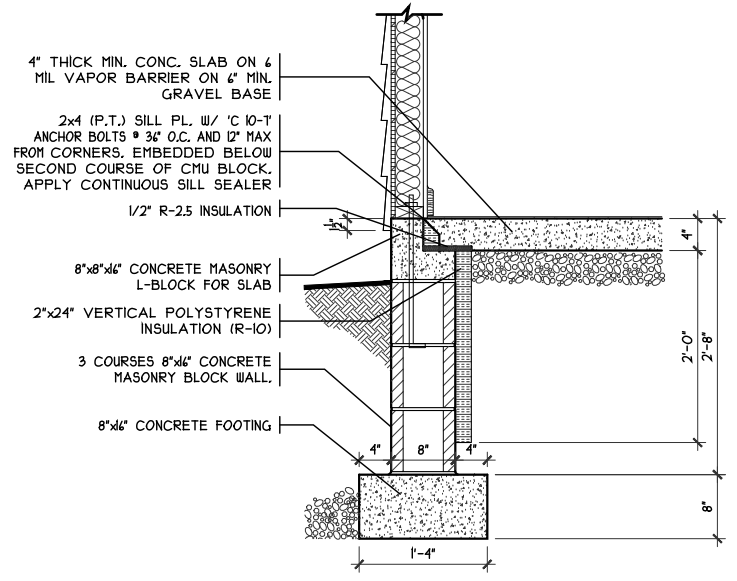
PORCH DETAIL

SCALE: 3/8" = 1'-0"



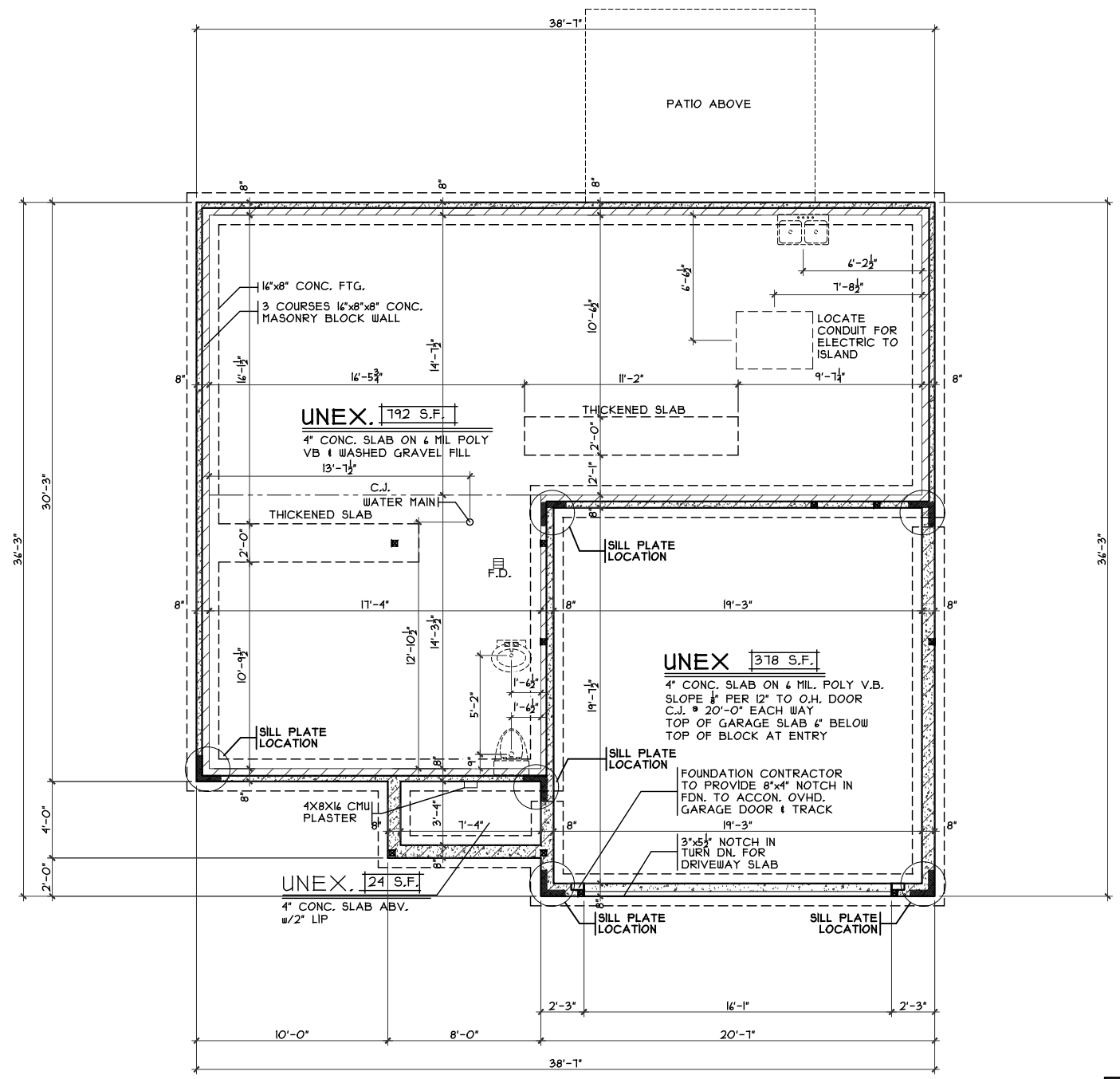
THICKENED SLAB

SCALE: 1/4" = 1'-0"



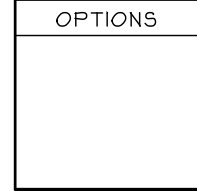
SOG DETAIL

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



Foundation Plan

Plan: Beaumont Slab

Date : 9.2.2020

Drawn: KMA

Scale : As Noted

Revised: 9.15.2020

Sheet : 6 of 15



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C7-4714

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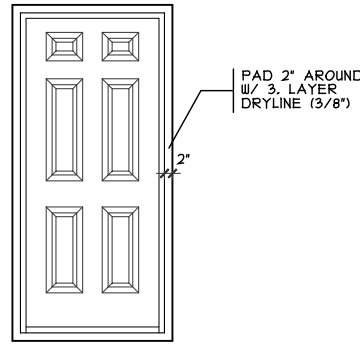
Trenton
Butler County

Beaumont Slab - B6 - Vinyl

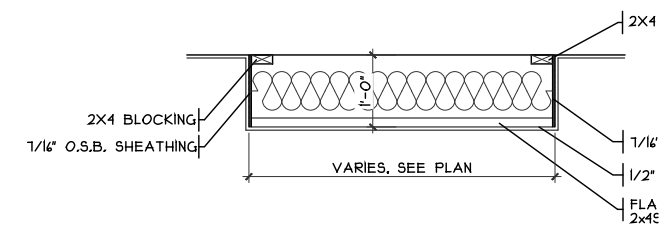
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| Issue Dates | Review |
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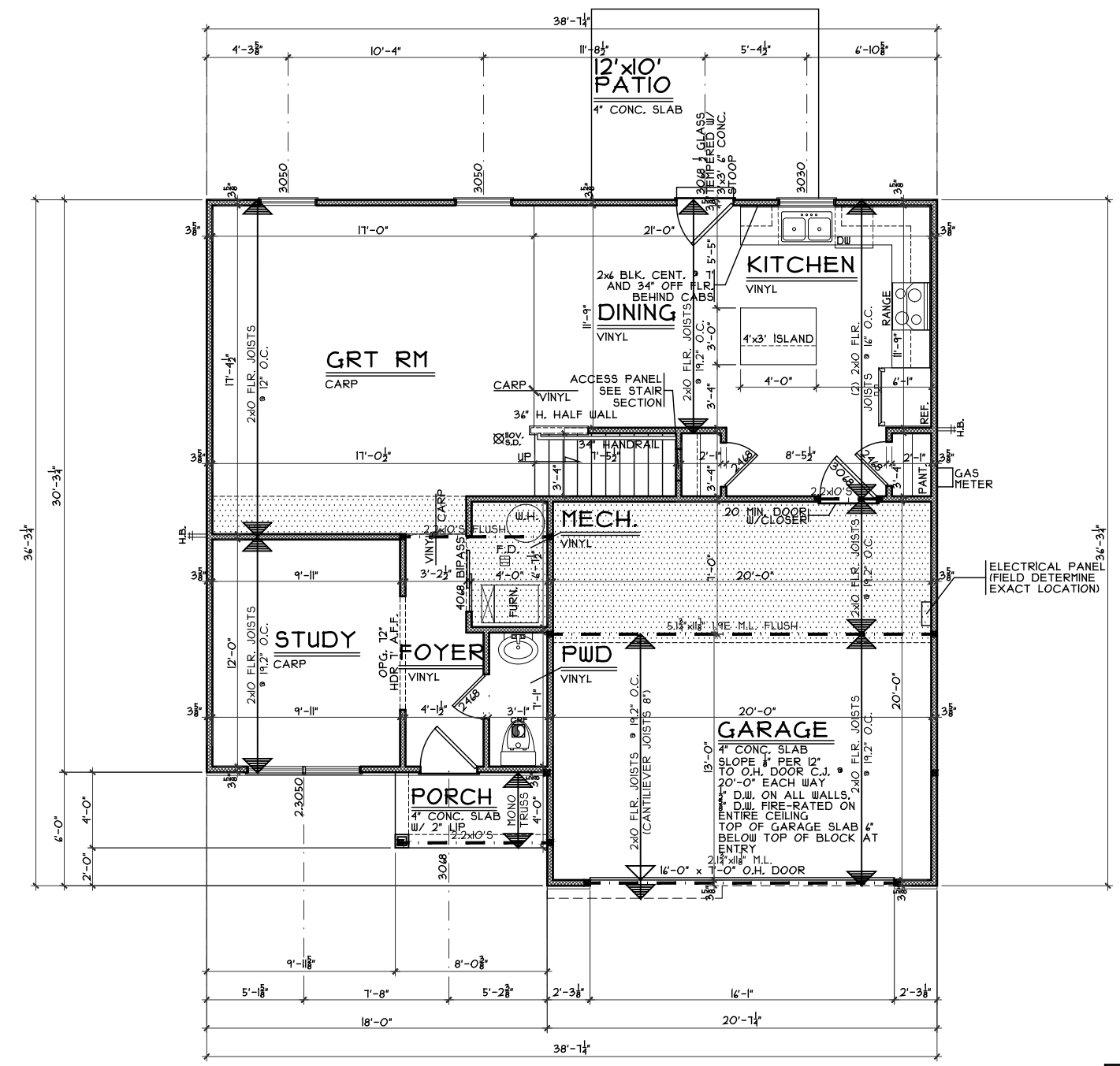
A2



DOOR FRAMING DTL.
SCALE: 1/4" = 1'-0"



DROP CLG. DETAIL
SCALE: 1/8" = 1'-0"



OPTIONS

First Floor Plan
Plan: Beaumont Slab
Date: 9.2.2020
Drawn: KMA
Scale: As Noted
Revised: 9.15.2020
Sheet: 7 of 15

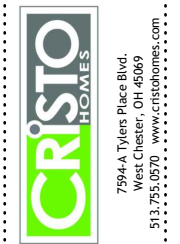
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Trenton
Butler County

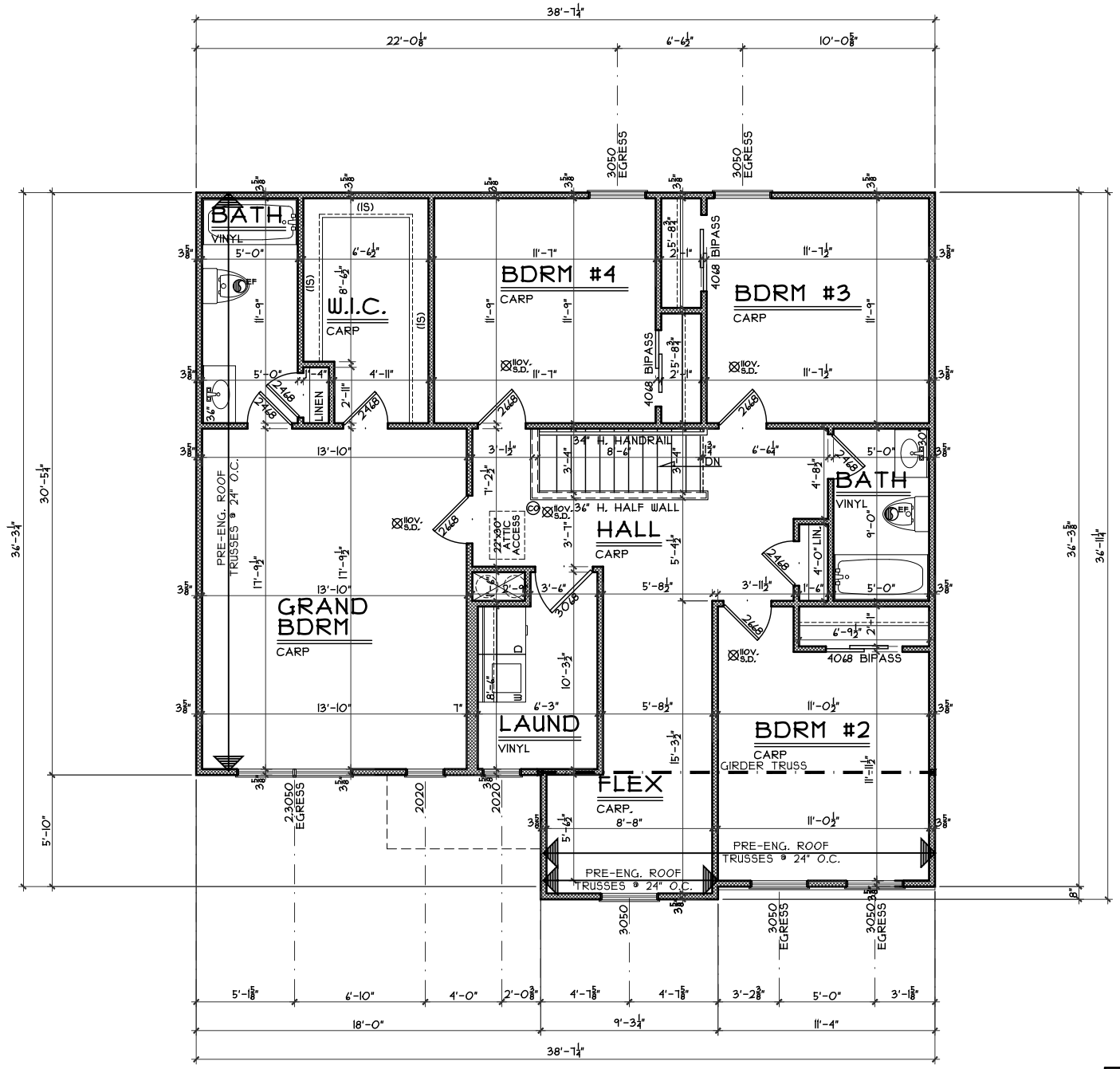
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| Review | Issue Dates |
|--------|-------------|
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| | |



A3



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" 1268 S.F.

OPTIONS

Second Floor Plan

Plan: Beaumont Slab
Date: 9.2.2020
Drawn: KMA
Scale: As Noted
Revised: 9.15.2020
Sheet: 9 of 15



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C7-4714

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Issue Dates

| Review | Issue Dates |
|--------|-------------|
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| | |

A4