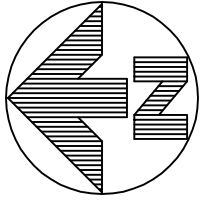


# PLOT PLAN

LOT 4719 (10,181 SF) 0.2337 ACRES  
CENTENNIAL RUN, SECTION THREE, BLOCK "B"  
SECTION 31, TOWN 2, RANGE 4  
CITY OF TRENTON, BUTLER COUNTY, OHIO  
FOR: CRISTO HOMES



**SETBACKS:**

FRONT YARD=35'  
REAR YARD=40'  
SIDE YARD=6' MIN/15' TOTAL

M.O.E.=668.8  
M.S.=665.05

**QUANTITIES**

TOTAL LOT AREA	10181	sq. ft.
CITY WALK	284	sq. ft.
HOUSE WALK	49	sq. ft.
DRIVE	656	sq. ft.
APRON	111	sq. ft.
PATIO AND PORCHES	33	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	8762	sq. ft.



**INFORMATION FROM CONSTRUCTION DRAWINGS.**

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

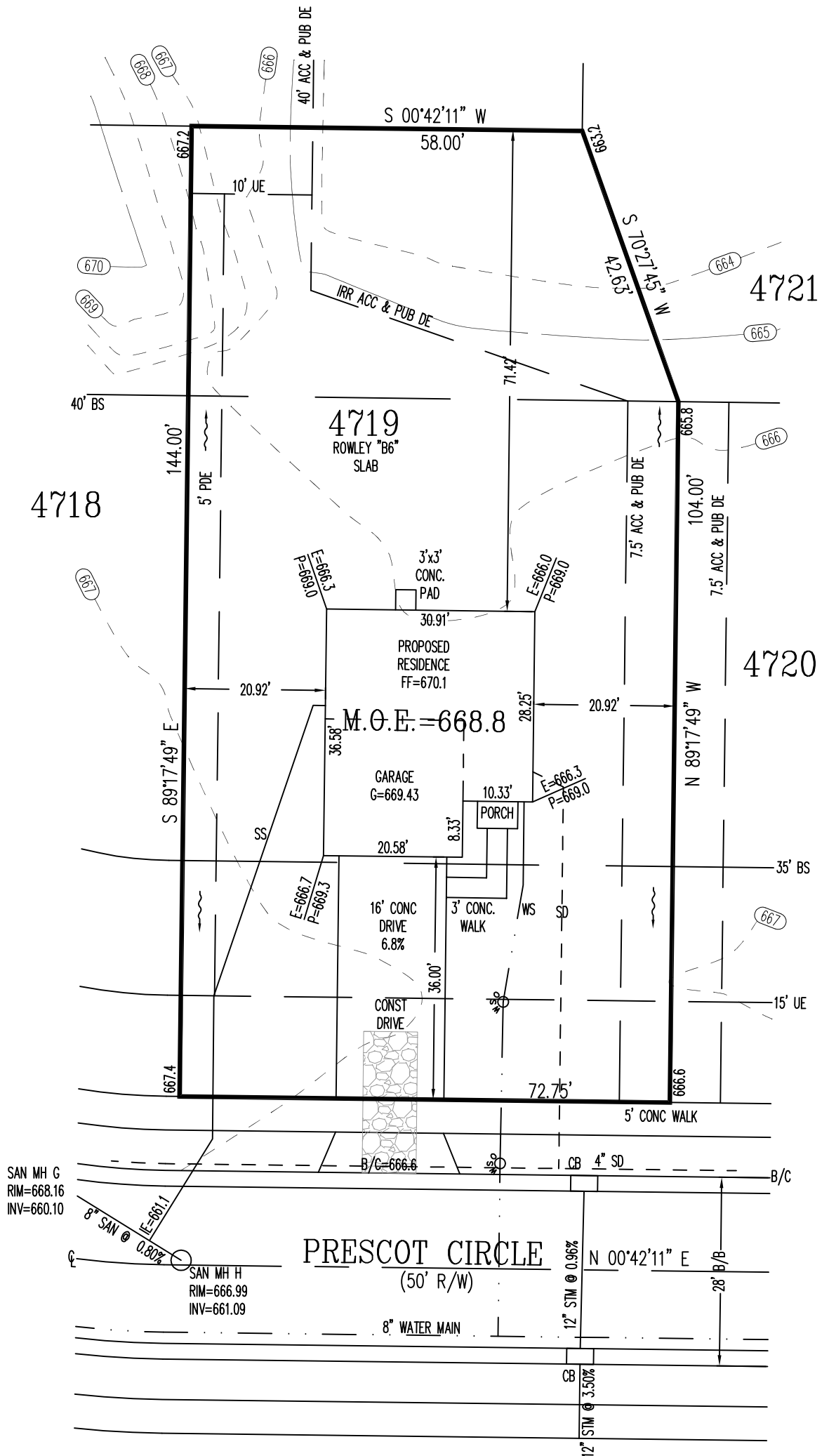
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



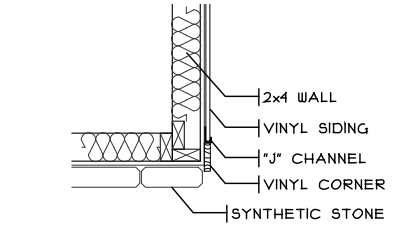
SCALE: 1"=20'  
DATE: 07-23-20  
DRAWN: JLL  
DESIGNED:  
CHECKED: KRC

**APEX**  
ENGINEERING & SURVEYING, INC.  
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

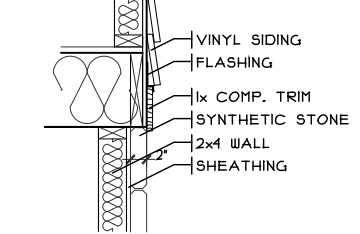
REVISIONS:  
1.  
2.  
3.  
4.

PROJECT: CENTENNIALRUN SHEET 1 OF 1  
DRAWING: 201549PA

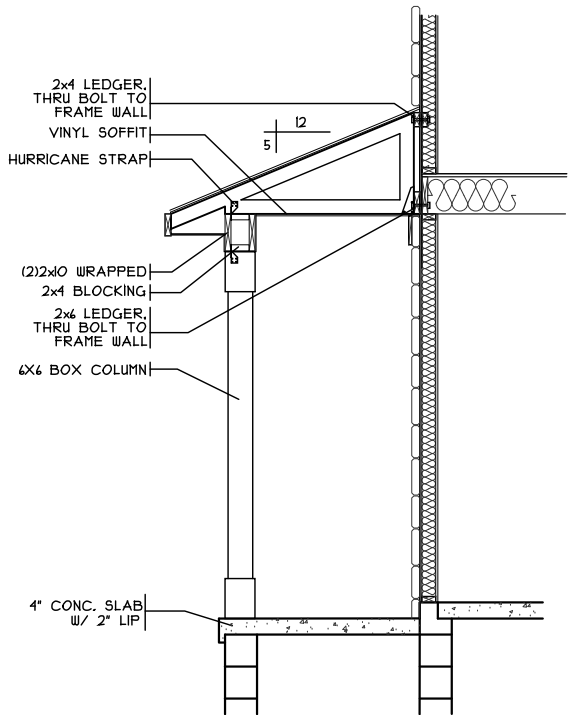
TOPOGRAPHY FROM APEX FIELD SURVEY, DATED DEC. 5, 2019, AND MAY NOT REFLECT CURRENT CONDITIONS.



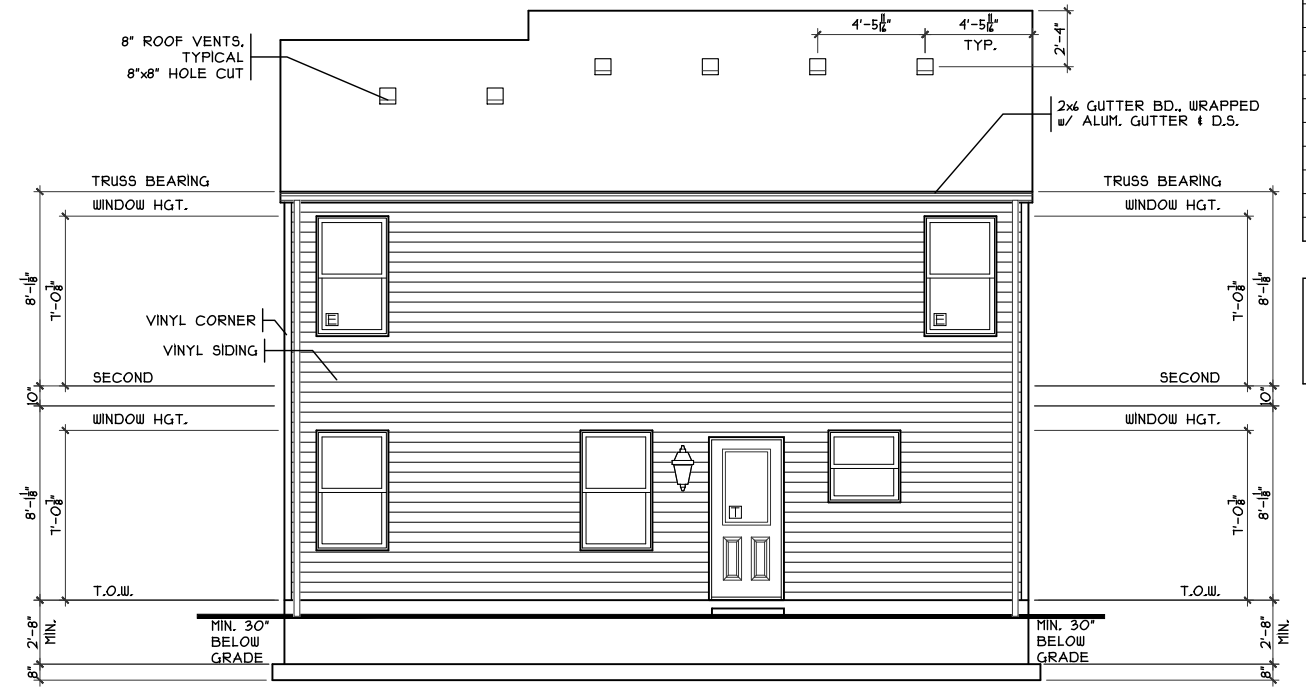
**STONE/VINYL CORNER**  
SCALE: 1" = 1'-0"



**STONE DETAIL**  
SCALE: 1/2" = 1'-0"



**PORCH DETAIL**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

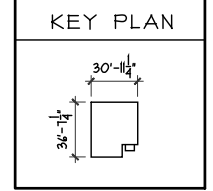


**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A3a	Portal Framing Detail
A4	Second Floor Plan
A5	Typical Wall Sections/Stair Section
A6	Typical Framing Details (Aluminum)
G1	General Notes

NOTE:  
PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"  
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

2S1653B4 PLAN INFO	
4	BDRMS
2.5	BATHS
2	CAR GARAGE
8'	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	1653
UPPER	1021
LOWER (SLAB)	558
GARAGE (SLAB)	318



**OPTIONS**

Rowley Slab - B6 - Vinyl

Issue Dates

Review

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Trenton

Butler County

CR-4719

Proposed Residence:  
Just Ask Missy LLC  
810 Prescott Circle  
Centennial Run Lot #4719

2S1653B4 PLAN INFO

4 BDRMS  
2.5 BATHS  
2 CAR GARAGE  
8' 1ST FLR. CLG.

SQUARE FOOTAGE  
TOTAL 1653  
UPPER 1021  
LOWER (SLAB) 558  
GARAGE (SLAB) 318

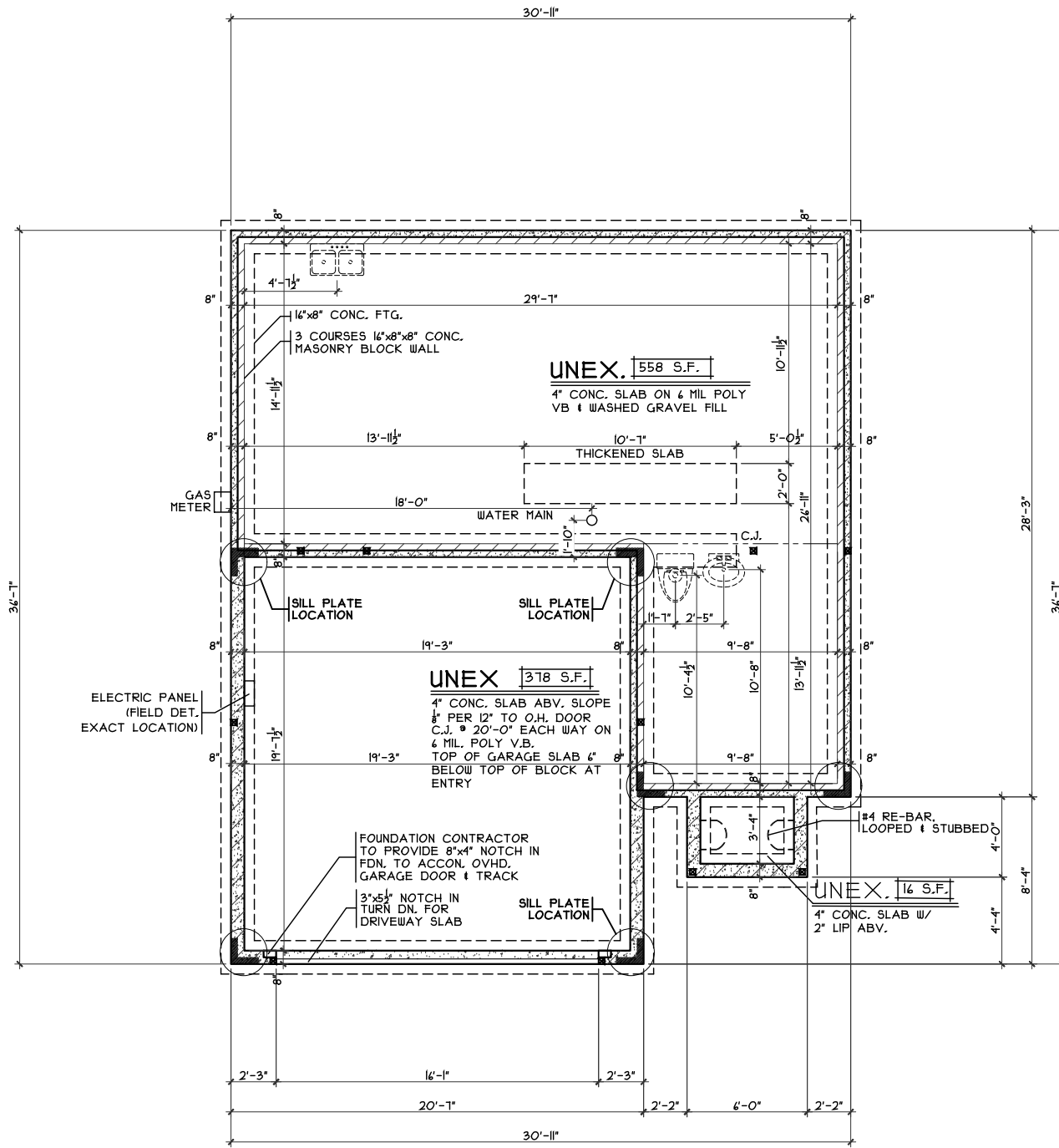
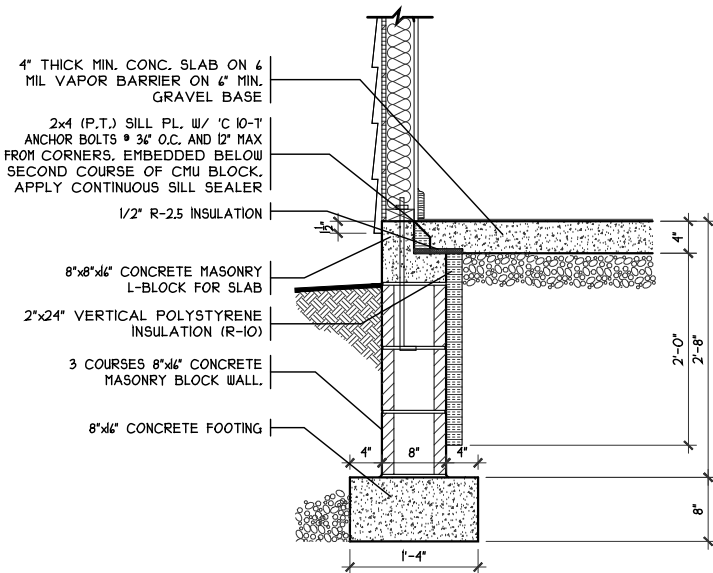
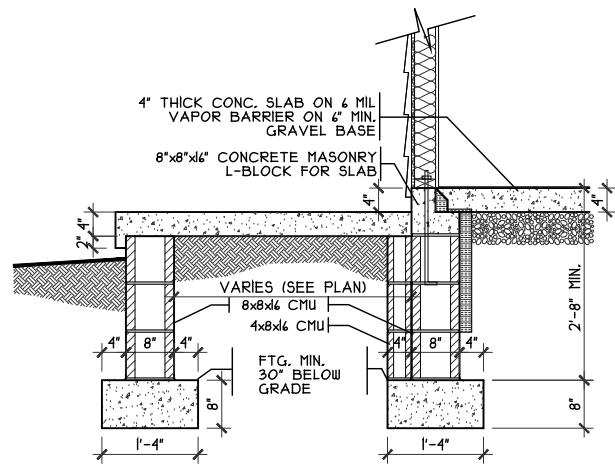
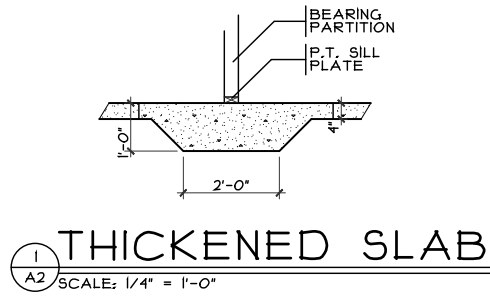
CRISTO HOMES

7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.795.0570 www.cristohomes.com

Front And Rear Elevations

Plan: Rowley Slab  
Date: 7/17/20  
Drawn: KMA  
Scale: As Noted  
Revised: 7/23/20  
Sheet: 1 of 10

**A1**



OPTIONS

Foundation Plan  
Plan: Rowley Slab  
Date: 7/7/20  
Drawn: KMA  
Scale: As Noted  
Revised: 7/23/20  
Sheet: 3 of 10

Proposed Residence:  
Just Ask Missy LLC  
810 Prescott Circle  
Centennial Run Lot #4719

CR-4719

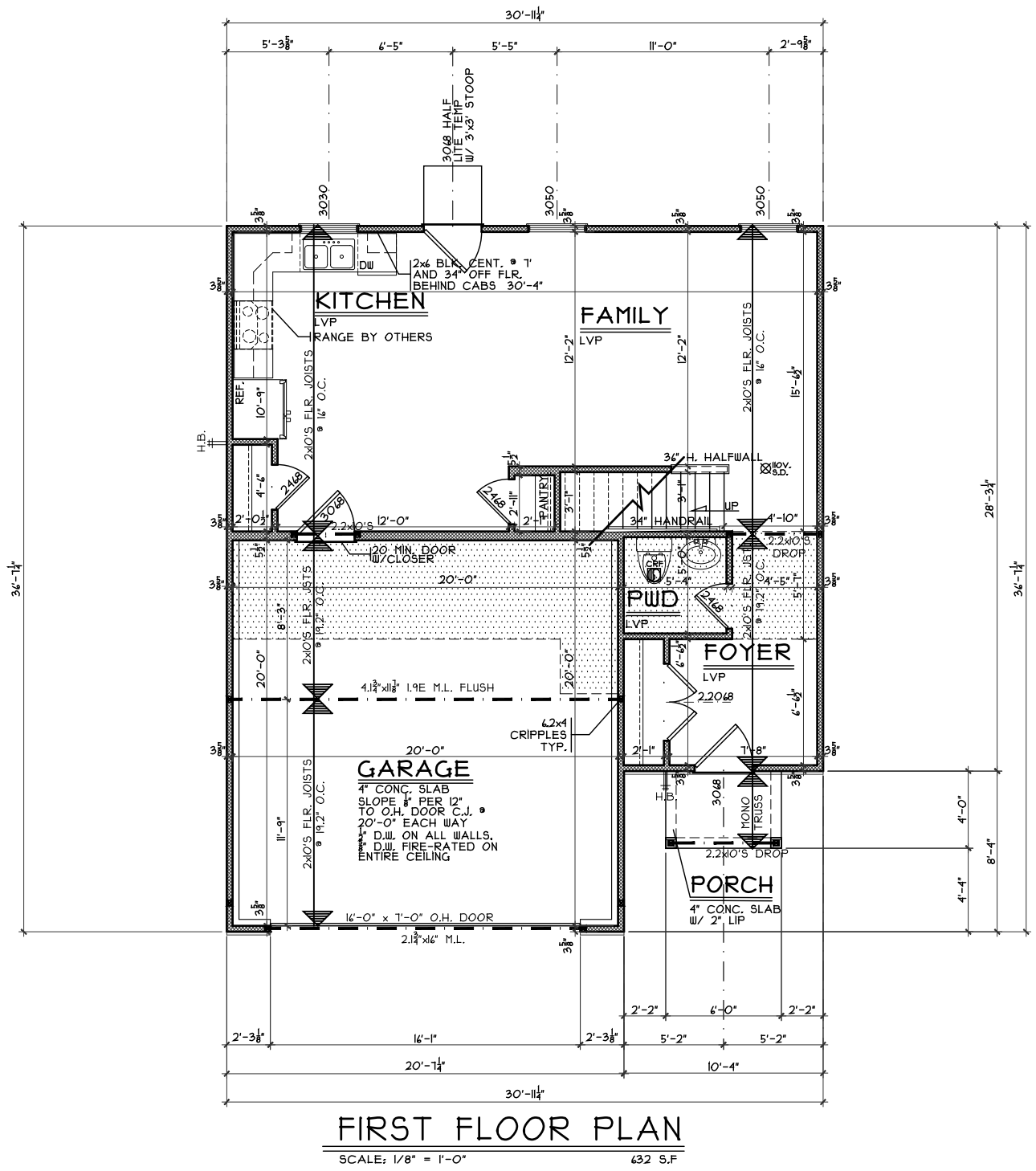
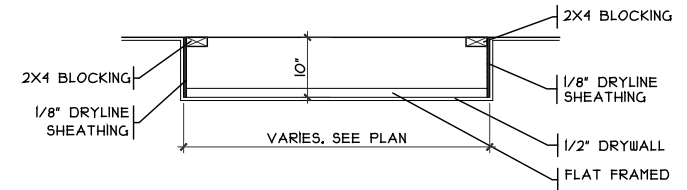
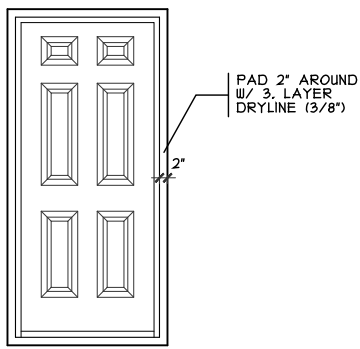
Rowley Slab - B6 - Vinyl

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Butler County

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West Chester, OH 45069  
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**A2**



OPTIONS
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CR-4719

Proposed Residence:  
Just Ask Missy LLC  
810 Prescott Circle  
Centennial Run Lot #4719

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Butler County

Rowley Slab - B6 - Vinyl

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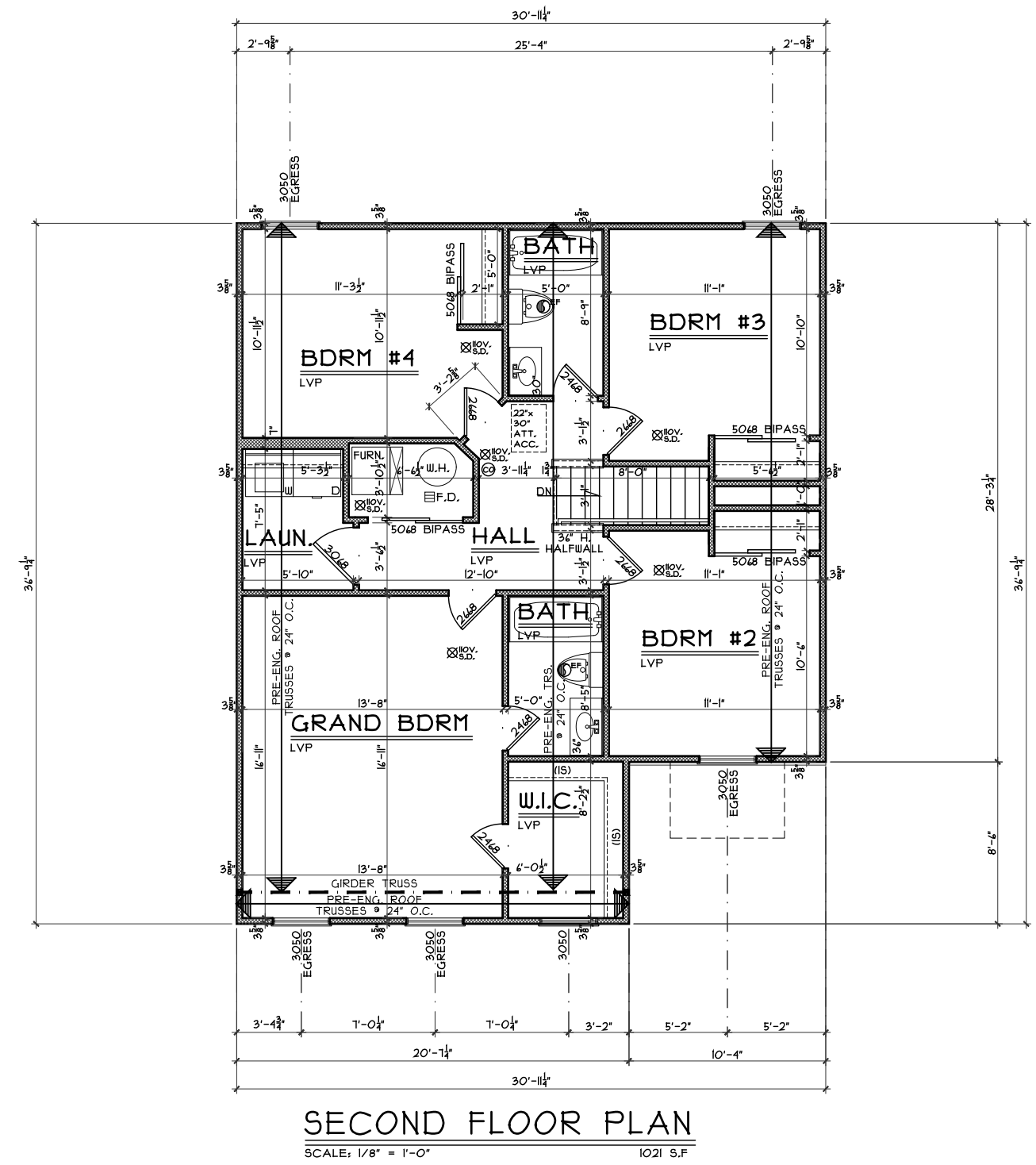
Issue Dates

Review	

First Floor Plan  
Plan: Rowley Slab  
Date: 7/7/20  
Drawn: KMA  
Scale: As Noted  
Revised: 7/23/20  
Sheet: 4 of 10

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West Chester, OH 45069  
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**A3**



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1021 S.F

OPTIONS

Second Floor Plan

Plan: Rowley Slab  
Date: 7/7/20  
Drawn: KMA  
Scale: As Noted  
Revised: 7/23/20  
Sheet: 5 of 10



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Centennial Run Lot #4719

Trenton  
Butler County

Rowley Slab - B6 - Vinyl

Issue Dates

Review	Issue Dates

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A4