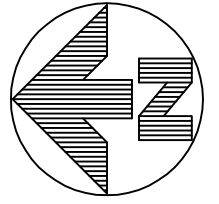
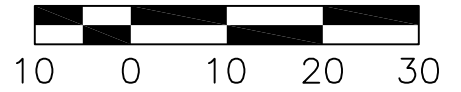


# PLOT PLAN

LOT 4673 (10,507 SF) 0.2412 AC.

CENTENNIAL RUN, SECTION THREE, BLK "A"  
SECTION 31, TOWN 2, RANGE 4  
CITY OF TRENTON, BUTLER COUNTY, OHIO  
FOR: CRISTO HOMES



METHENY RESIDENCE  
312 GOVERNORS AVENUE

SETBACKS C20  
FRONT=35' R=474.00'  
REAR=40' L=43.33'  
SIDE=6'/15' TOTAL

TOPOGRAPHY IS FROM APEX FIELD  
SURVEY DATED: MAY 1, 2018, AND MAY  
NOT REFLECT CURRENT CONDITIONS

### QUANTITIES

TOTAL LOT AREA	10,507 sq. ft.
CITY WALK	221 sq. ft.
HOUSE WALK	49 sq. ft.
DRIVE	667 sq. ft.
APRON	93 sq. ft.
PATIO AND PORCHES	144 sq. ft.
DECK	- sq. ft.
SEEDING AREA	8,834 sq. ft.

MS=660.66

BOTTOM OF BASEMENT  
WINDOWS TO BE ABOVE  
THE M.O.E.

GARAGE TO BE ABOVE  
THE M.F.O.E.

### INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER  
AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN  
"E" FOR EXISTING OR A "P" FOR PROPOSED.

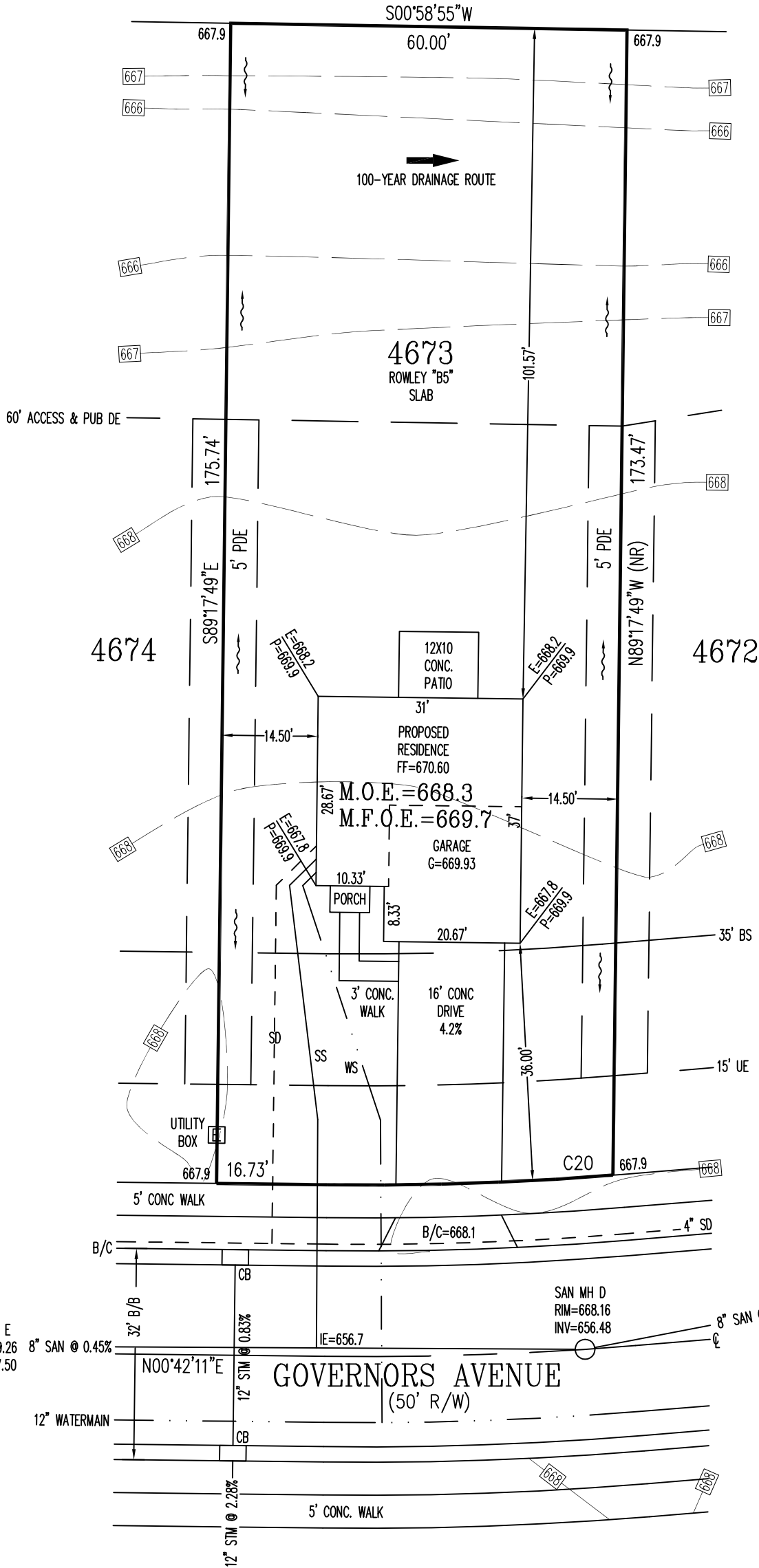
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN  
ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY  
FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH  
FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS  
CONTRACTOR'S RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL  
BE OBTAINED BY THE BUILDER. APEX ASSUMES NO  
RESPONSIBILITY FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND  
AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC.  
ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE  
ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE  
BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING  
ENCROACHMENTS THAT MAY OCCUR.



MF.O.E. = 669.7  
M.O.E. = 668.3

SCALE: 1"=20'  
DATE: 3/18/2019  
DRAWN: REW  
DESIGNED: -  
CHECKED: KRC



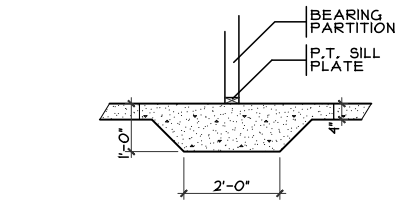
### REVISIONS:

- 1.
- 2.
- 3.
- 4.

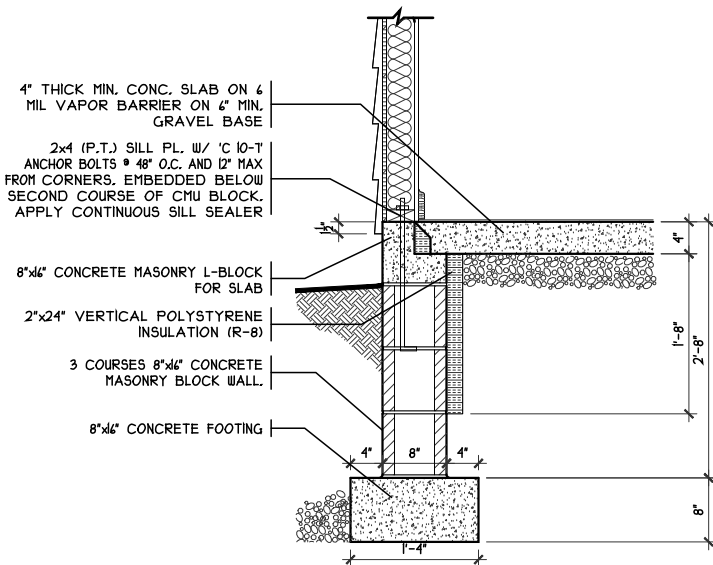
PROJECT: CENTENNIALRUN  
DRAWING: 190500PA

SHEET  
1 OF 1

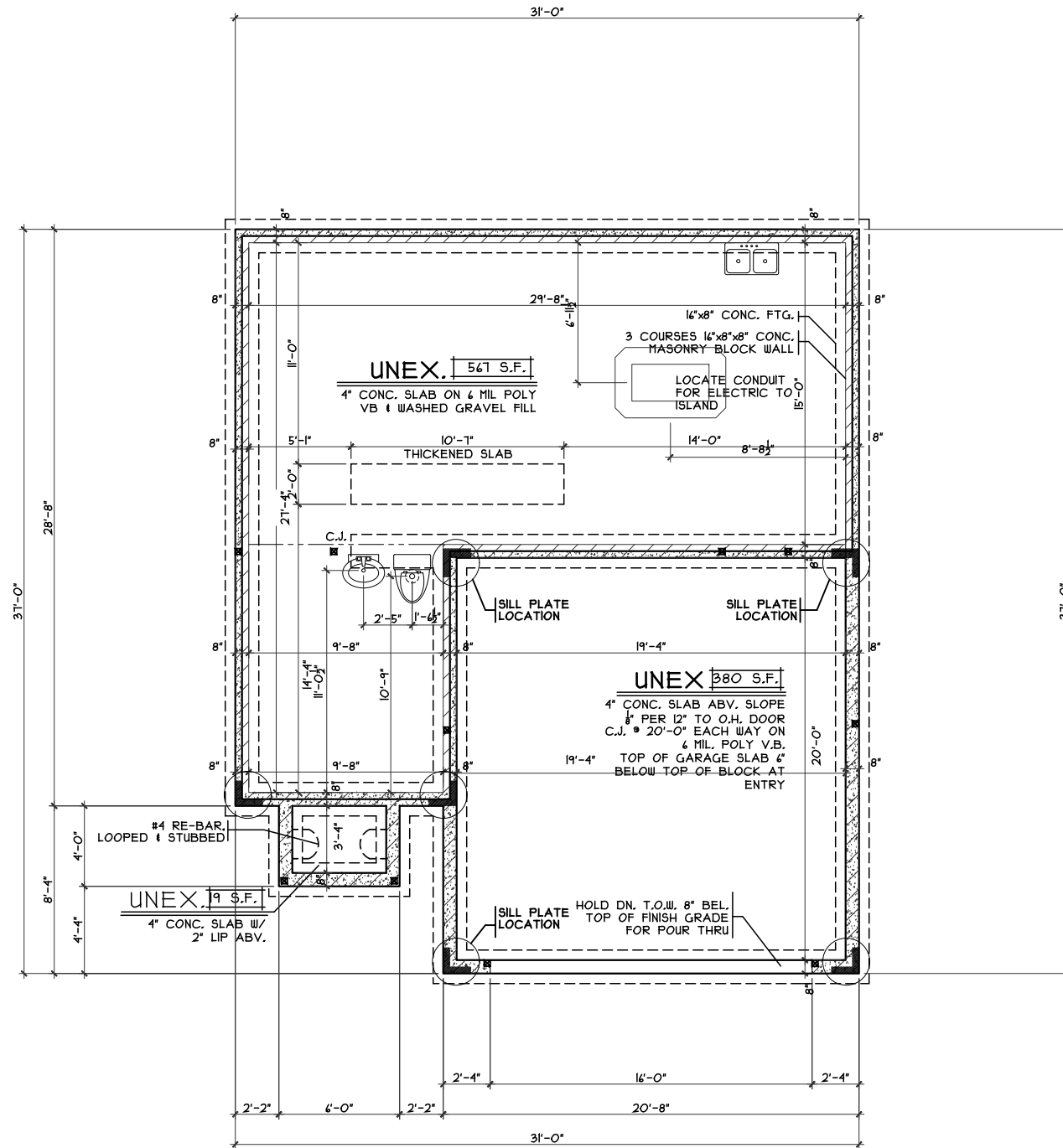




**THICKENED SLAB**  
SCALE: 1/4" = 1'-0"



**SOG DETAIL**  
SCALE: 1/8" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

OPTIONS

Foundation Plan

Plan: Rowley Slab  
Date: 2/27/19  
Drawn: MA  
Scale: As Noted  
Revised:  
Sheet: 6 of 15



7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.755.0570 www.cristohomes.com

CR-4673

Proposed Residence:

Metheny Residence  
CR-Centennial Run

312 Governors Avenue Lot #4673

Trenton

Butler County

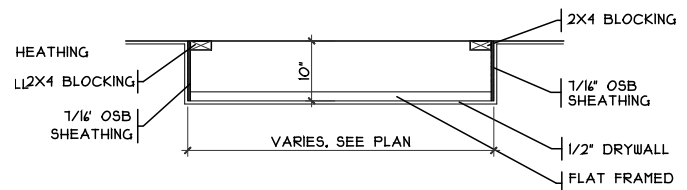
Rowley Slab - B5 - Vinyl

Issue Dates

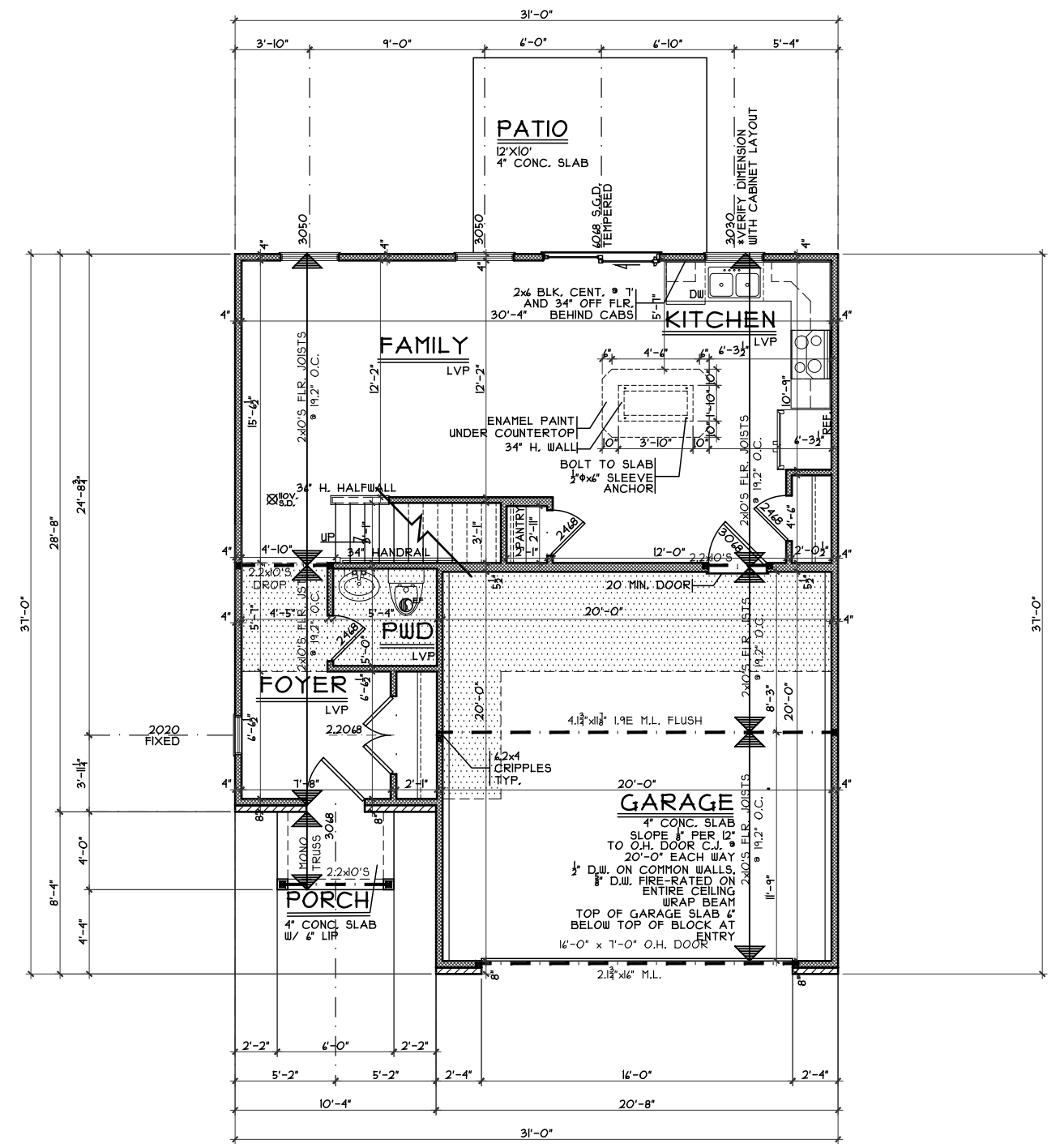
Review	Issue Dates

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

A2



**DROP CLG. DETAIL**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 634 S.F.

OPTIONS

First Floor Plan  
Plan: Rowley Slab  
Date: 2/27/19  
Drawn: MA  
Scale: As Noted  
Revised:  
Sheet: 7 of 15



7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.755.0570 www.cristohomes.com

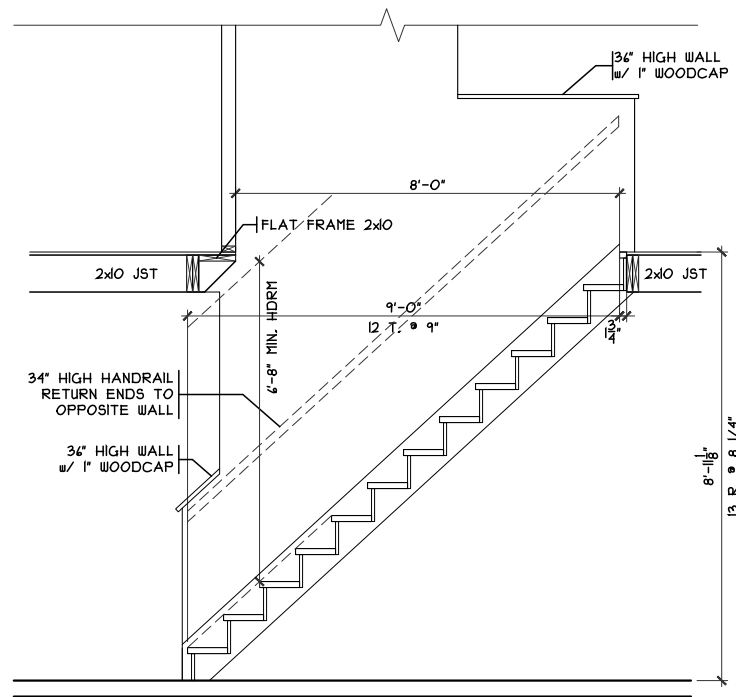
Proposed Residence:  
Metheny Residence  
CR-Centennial Run  
312 Governors Avenue Lot #4673

Trenton  
Butler County

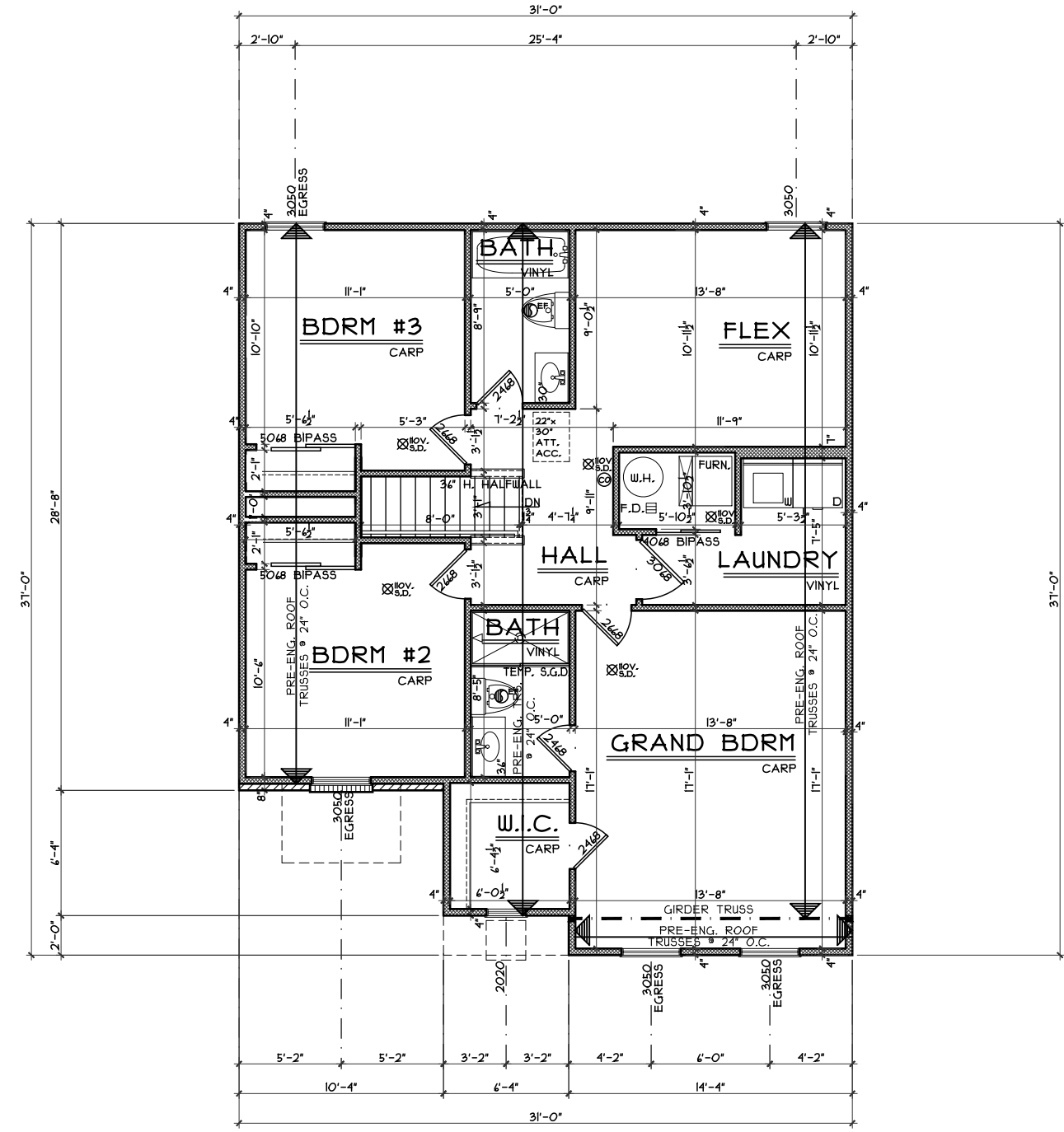
CR-4673 Rowley Slab - B5 - Vinyl

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

Issue Dates	Review



**STAIR SECTION**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1012 S.F.

OPTIONS

Second Floor Plan

Plan: Rowley Slab  
Date: 2/27/19  
Drawn: MA  
Scale: As Noted  
Revised:  
Sheet: 9 of 15

CR-4673

Proposed Residence:  
Metheny Residence  
CR-Centennial Run  
312 Governors Avenue Lot #4673

A4

Trenton  
Butler County

Rowley Slab - B5 - Vinyl

Issue Dates

Review	Issue Dates

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.