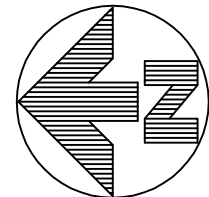
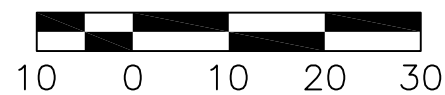


PLOT PLAN

LOT 4679 (10,641 SF) 0.2443 ACRES
 CENTENNIAL RUN, SECTION THREE, BLOCK "A"
 SECTION 31, TOWN 2, RANGE 4
 CITY OF TRENTON, BUTLER COUNTY, OHIO
 FOR: CRISTO HOMES



OWEN RESIDENCE
 324 GOVERNORS AVENUE

MFOE=670.3
 MOE=668.3
 MS=662.32

QUANTITIES

TOTAL LOT AREA	10,641 sq. ft.
CITY WALK	220 sq. ft.
HOUSE WALK	39 sq. ft.
DRIVE	1095 sq. ft.
APRON	93 sq. ft.
PATIO AND PORCHES	41 sq. ft.
DECK	- sq. ft.
SEEDING AREA	8,425 sq. ft.

TOP OF WINDOW WELLS OR
 BOTTOM OF BASEMENT
 WINDOWS TO BE AT OR
 ABOVE THE M.O.E.

SETBACKS
 FRONT=35'
 REAR=40'
 SIDE=6' MIN/15 TOTAL

TOPOGRAPHY FROM APEX FIELD
 SURVEY, DATED MAY 3, 2018.
 MAY NOT REFLECT CURRENT
 CONDITIONS.



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER
 AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E"
 FOR EXISTING OR A "P" FOR PROPOSED.

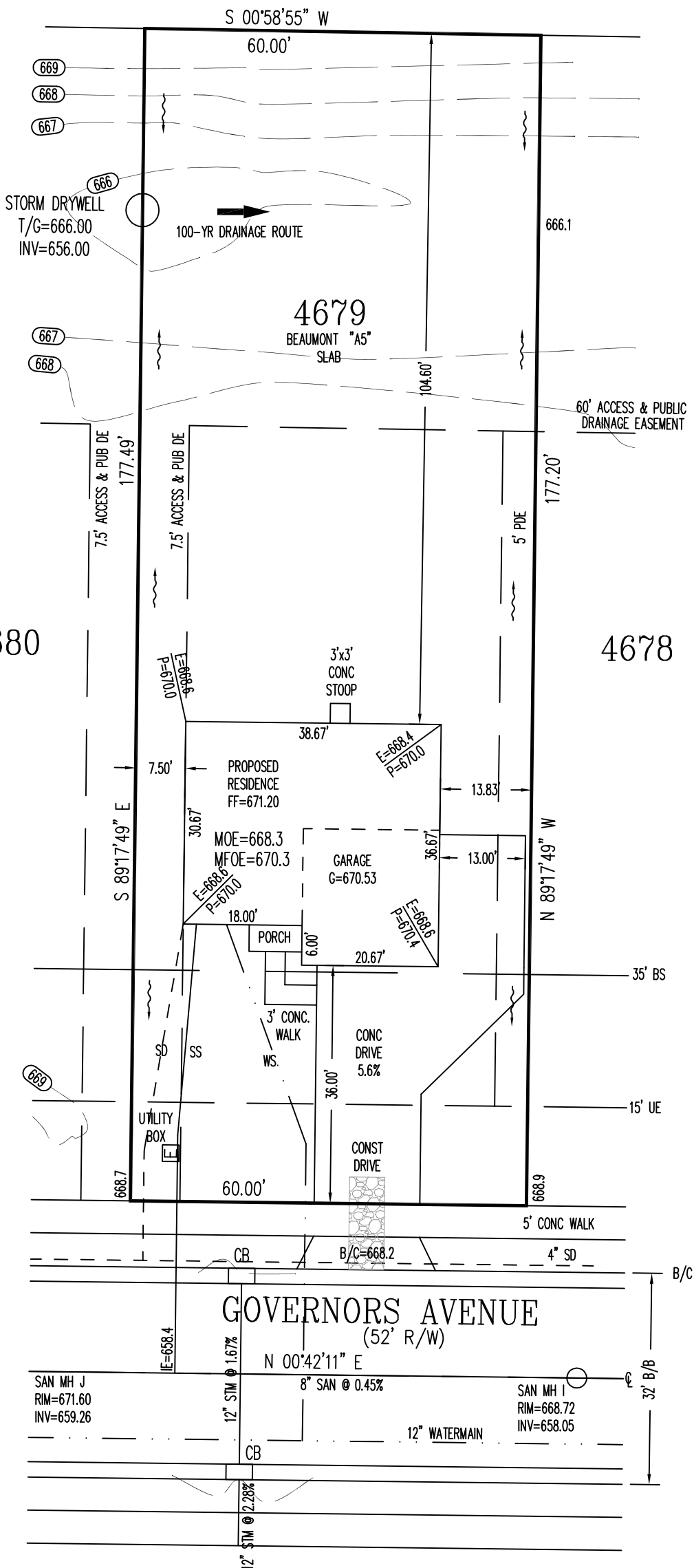
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN
 ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY
 FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR
 GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S
 RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE
 OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY
 FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY
 FROM HOUSES.

APEX ENGINEERING & SURVEYING INC.
 ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON
 ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE
 BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING
 ENCROACHMENTS THAT MAY OCCUR.



MOE=668.3
MFOE=670.3

SCALE: 1"=20'
 DATE: 03-28-19
 DRAWN: JLL
 DESIGNED: -
 CHECKED: KRC

APEX
 ENGINEERING & SURVEYING, INC.
 1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
 PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:

- 1.
- 2.
- 3.
- 4.

PROJECT: CENTENNIALRUN
 DRAWING: 190663PA

SHEET
 1 OF 1



REAR ELEVATION
SCALE: 1/8" = 1'-0"

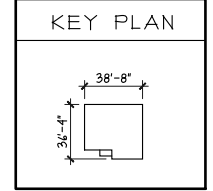


FRONT ELEVATION
SCALE: 1/8" = 1'-0" A5

SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A4	Second Floor Plan
A5	Typical Wall Sections/Stair Section
A5a	Portal Framing Detail
A6	Typical Framing Details (Aluminum)
G1	General Notes
E1	Electrical Plan
S1	First Floor Joist Layout / Roof Plan

NOTE:
PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

2S2156B4 PLAN INFO	
4	BDRMS
2.5	BATHS
2	CAR GARAGE
8	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	2154
MAIN	883
UPPER	1273
LOWER (SLAB)	198
GARAGE (SLAB)	311



OPTIONS

CR-4679

Proposed Residence:

Owen Residence
CR-Centennial Run
324 Governors Avenue

CRISTO HOMES
7594-A Tylers Place Blvd.
West Chester, OH 45069
513.735.0570 www.cristohomes.com

Plan: Beaumont Slab
Date: 3.11.2019
Drawn:
Scale: As Noted
Revised:
Sheet: 1 of 11

A1

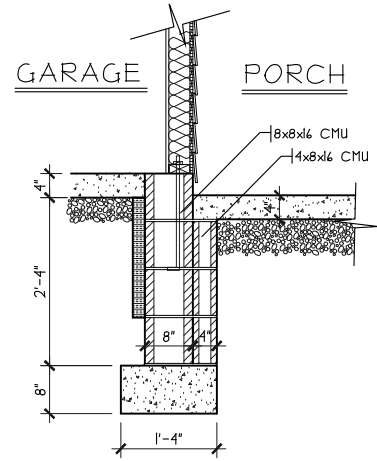
Issue Dates

Issue	Date
Review	

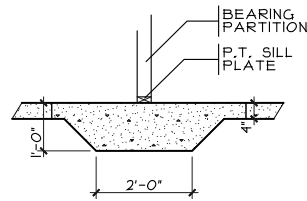
Beaumont Slab - A5 - Vinyl

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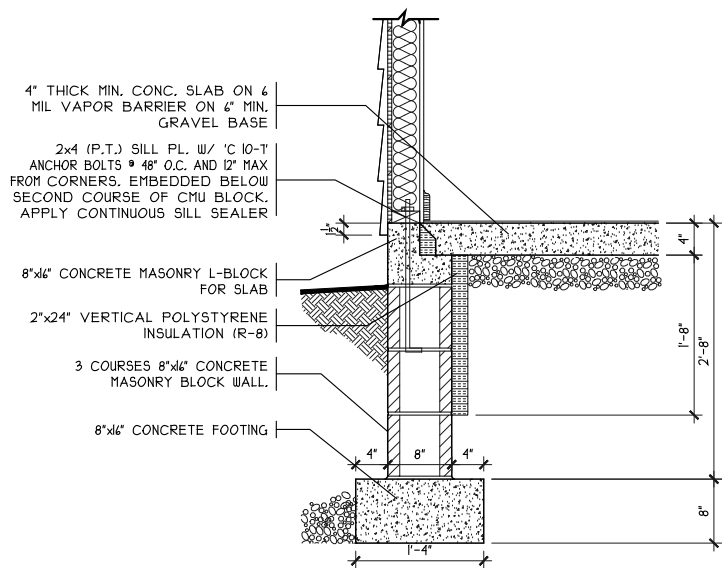
Trenton
Butler County



PORCH BLK. DETAIL
 SCALE: 3/8" = 1'-0"

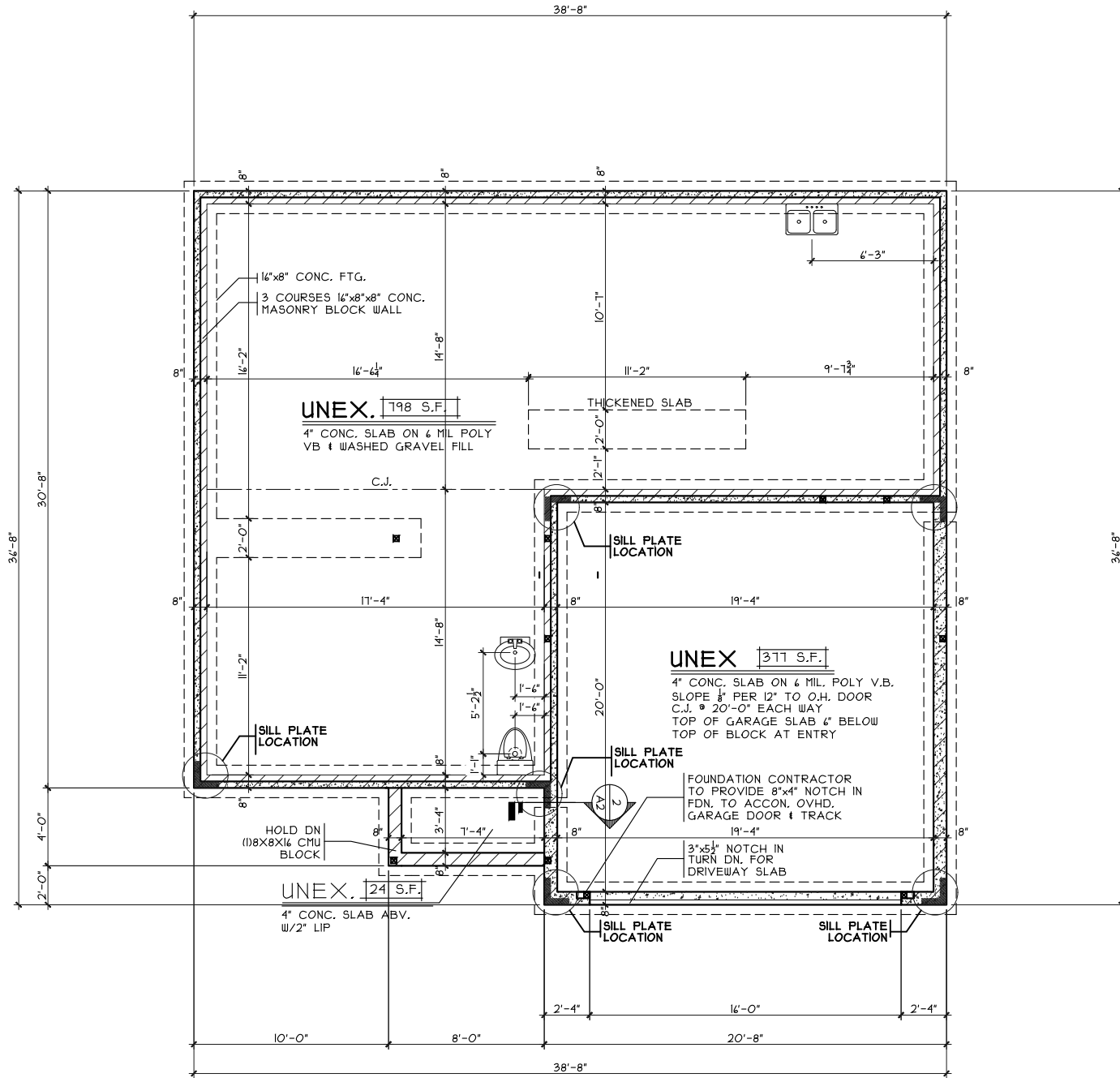


THICKENED SLAB
 SCALE: 1/4" = 1'-0"



SOG DETAIL
 SCALE: 1/4" = 1'-0"

SOFTENER ROUGH



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

OPTIONS

Foundation Plan

Plan: Beaumont Slab
 Date: 3.11.2019
 Drawn:
 Scale: As Noted
 Revised:
 Sheet: 3 of 11



7594-A Tylers Place Blvd.
 West Chester, OH 45069
 513.755.0570 www.cristohomes.com

CR-4679

Proposed Residence:

Owen Residence
 CR-Centennial Run
 324 Governors Avenue

Trenton
 Butler County

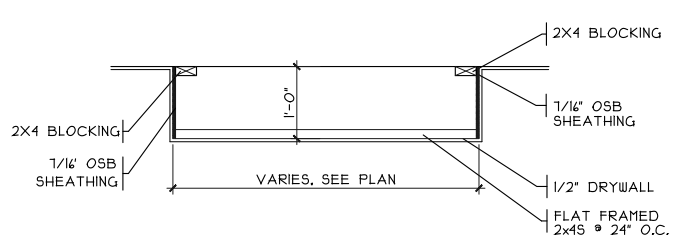
Beaumont Slab - A5 - Vinyl

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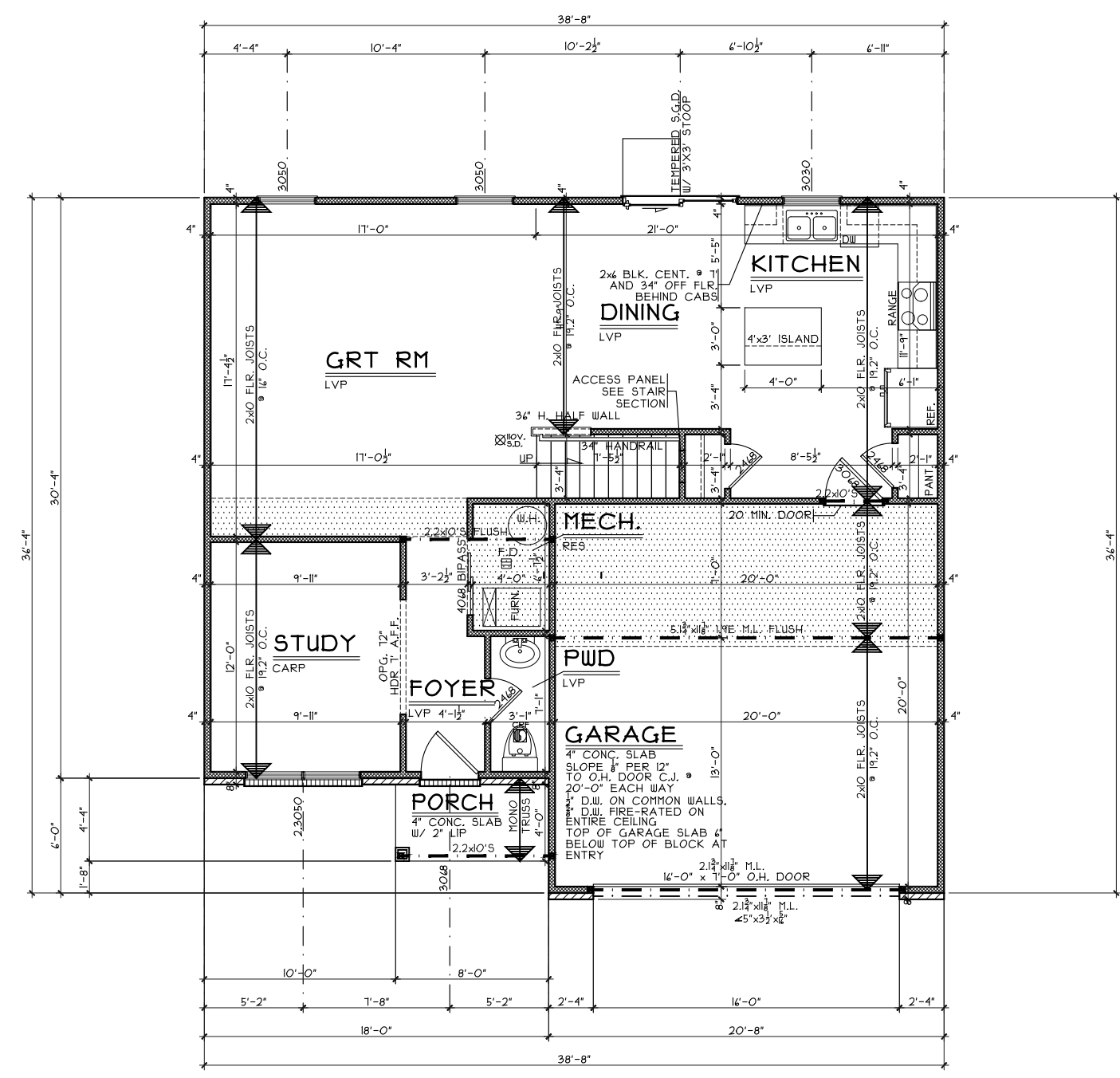
Issue Dates

Review

A2



DROP CLG. DETAIL
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" 883 S.F.

OPTIONS

First Floor Plan
Plan: Beaumont Slab
Date: 3.11.2019
Drawn:
Scale: As Noted
Revised:
Sheet: 4 of 11

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CR-4679
Proposed Residence:
Owen Residence
CR-Centennial Run
324 Governors Avenue

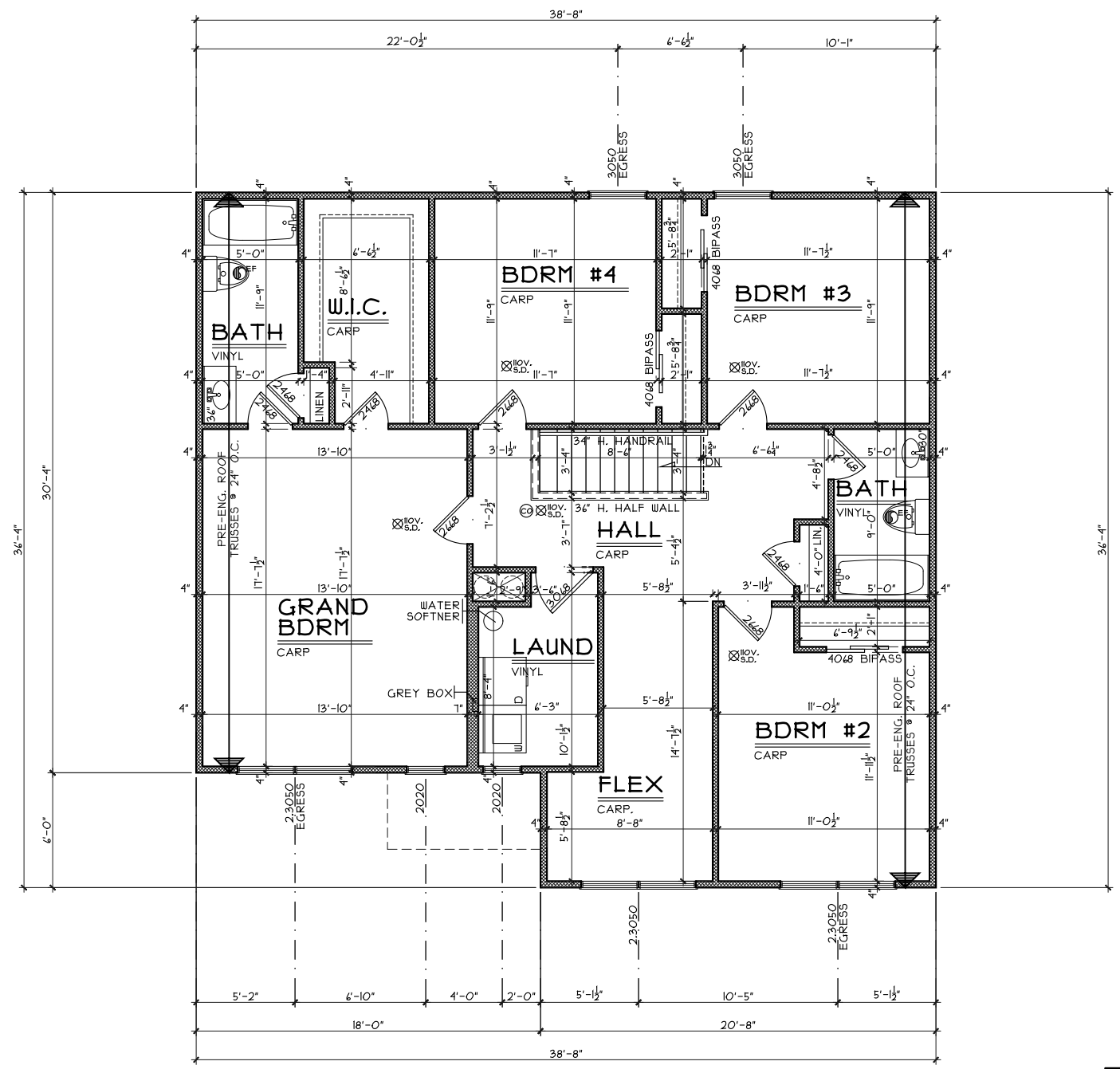
Trenton
Butler County

Beaumont Slab - A5 - Vinyl

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Issue Dates	Review

A3



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" 1213 S.F

OPTIONS

Second Floor Plan

Plan: Beaumont Slab
Date : 3.11.2019
Drawn:
Scale : As Noted
Revised:
Sheet : 5 of 11



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CR-4679

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Butler County

Beaumont Slab - A5 - Vinyl

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Issue Dates

Review	Issue Dates

A4