

PLOT PLAN

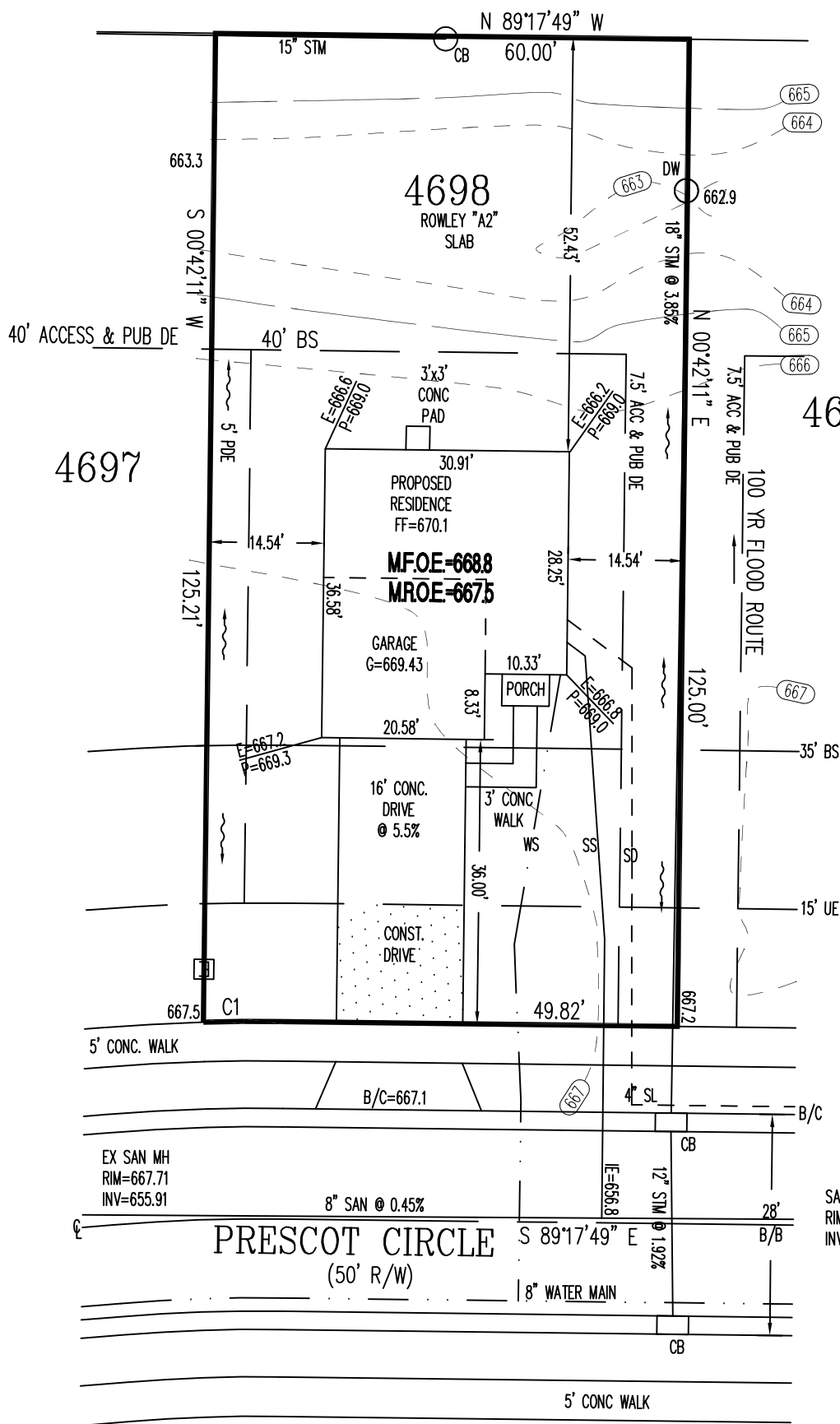
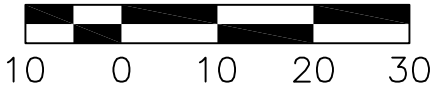
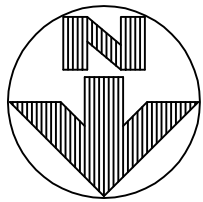
JUST ASK MISSY RESIDENCE
803 PRESCOT CIRCLE

LOT 4698 (7,501 SF) 0.1722 AC.
CENTENNIAL RUN, SECTION THREE, BLK "B"
SECTION 31, TOWN 2, RANGE 4
CITY OF TRENTON
BUTLER COUNTY, OHIO
FOR: CRISTO HOMES

SETBACKS
FRONT=35'
REAR=40'
SIDE=6'/15' TOTAL

C1
R=250.00'
L=10.19'

M.F.O.E.=668.8
M.R.O.E.=667.5
MS=660.80



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

MS=660.80
MFOE=668.8
MROE=667.5
BASEMENT NOT PERMITTED

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

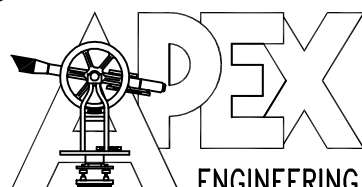
QUANTITIES

TOTAL LOT AREA= 7,501 SF
CITY WALK= 220 SF
HOUSE WALK= 49 SF
DRIVE= 656 SF
APRON= 111 SF
PATIO & PORCH= 33 SF
DECK=
SEEDING= 6006 SF
SOD=
UNSEEDED=

TOPOGRAPHY IS FROM APEX FIELD SURVEY DATED: DEC 5, 2019, AND MAY NOT REFLECT CURRENT CONDITIONS



SCALE: 1"=20'
DATE: 06-22-20
DRAWN: JLL
DESIGNED:
CHECKED: KRC



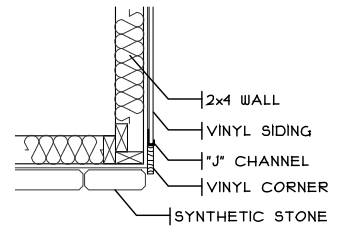
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:

- 1.
- 2.
- 3.
- 4.

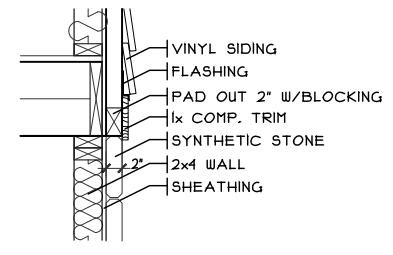
PROJECT: CENTENNIALRUN
DRAWING: 201299PA

SHEET
1 OF 1



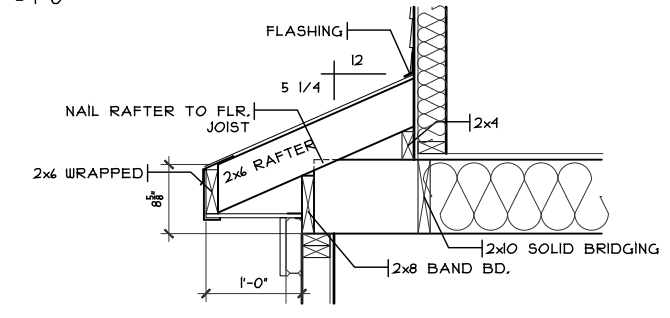
STONE/VINYL CORNER

SCALE: 1" = 1'-0"



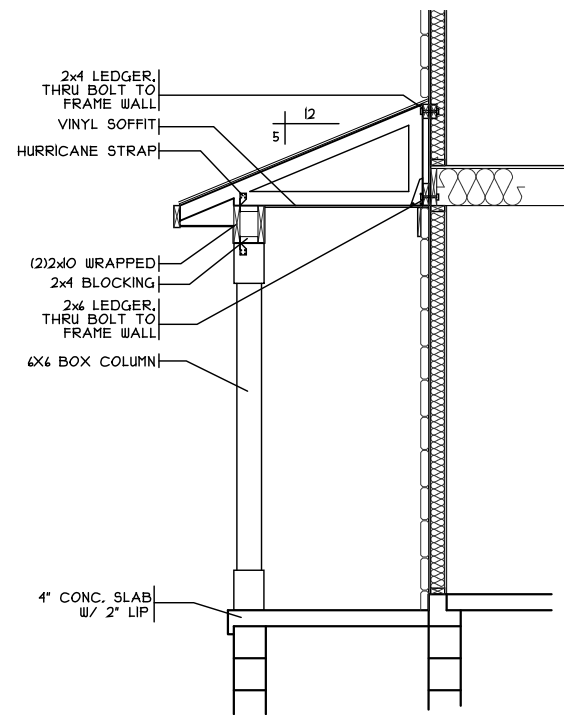
STONE DETAIL

SCALE: 1/2" = 1'-0"



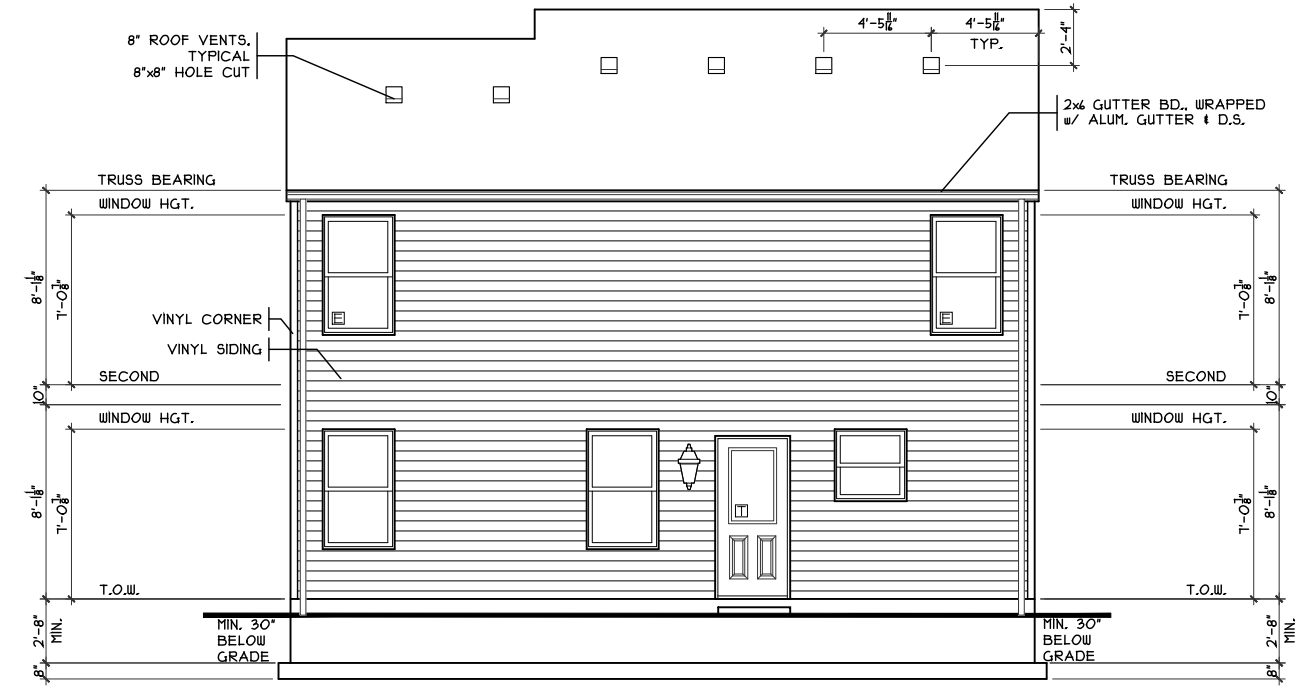
GARAGE DETAIL

SCALE: 1/2" = 1'-0"



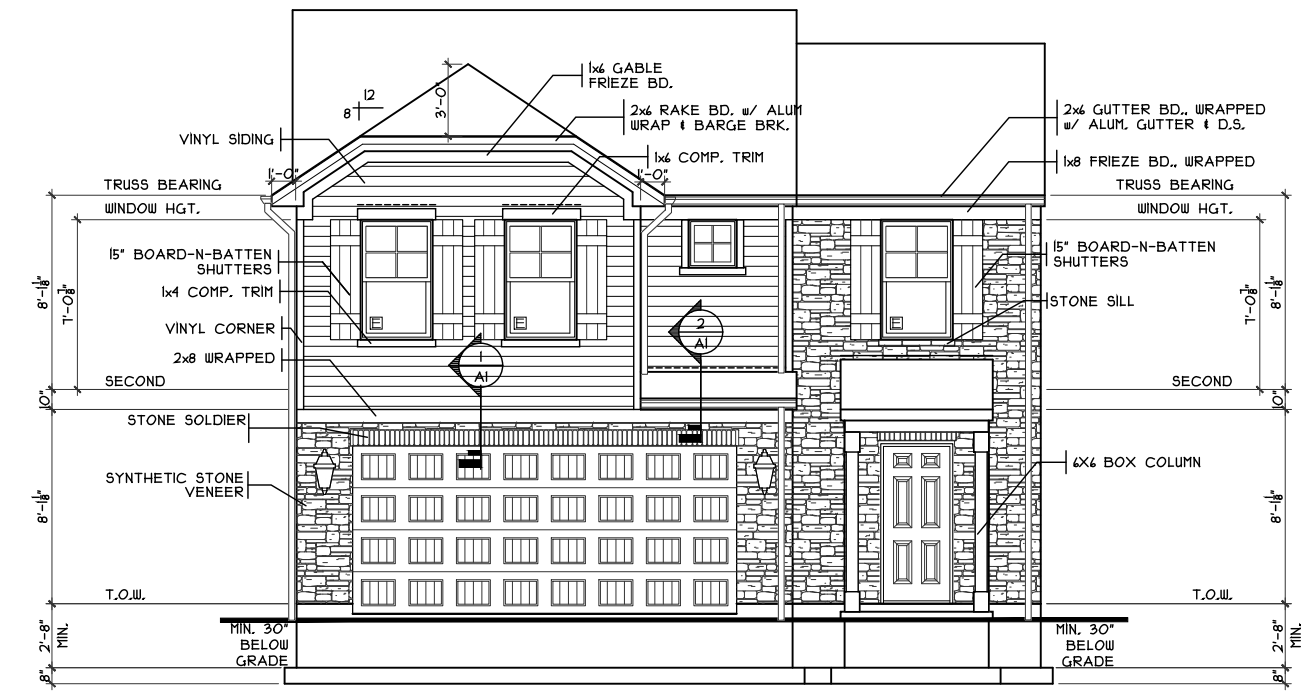
PORCH DETAIL

SCALE: 1/2" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



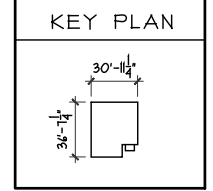
FRONT ELEVATION

SCALE: 1/8" = 1'-0"

SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A3a	Portal Framing Detail
A4	Second Floor Plan
A5	Typical Wall Sections/Stair Section
A6	Typical Framing Details (Aluminum)
G1	General Notes

NOTE:
PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

2S1643B4 PLAN INFO	
4	BDRMS
2.5	BATHS
2	CAR GARAGE
8'	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	1643
MAIN	632
UPPER	1011
LOWER (SLAB)	558
GARAGE (SLAB)	318



OPTIONS

CR-4698

Proposed Residence:
Just Ask Missy
803 Prescott Circle
Centennial Run Lot #4698

Rowley Slab - B6 - Vinyl

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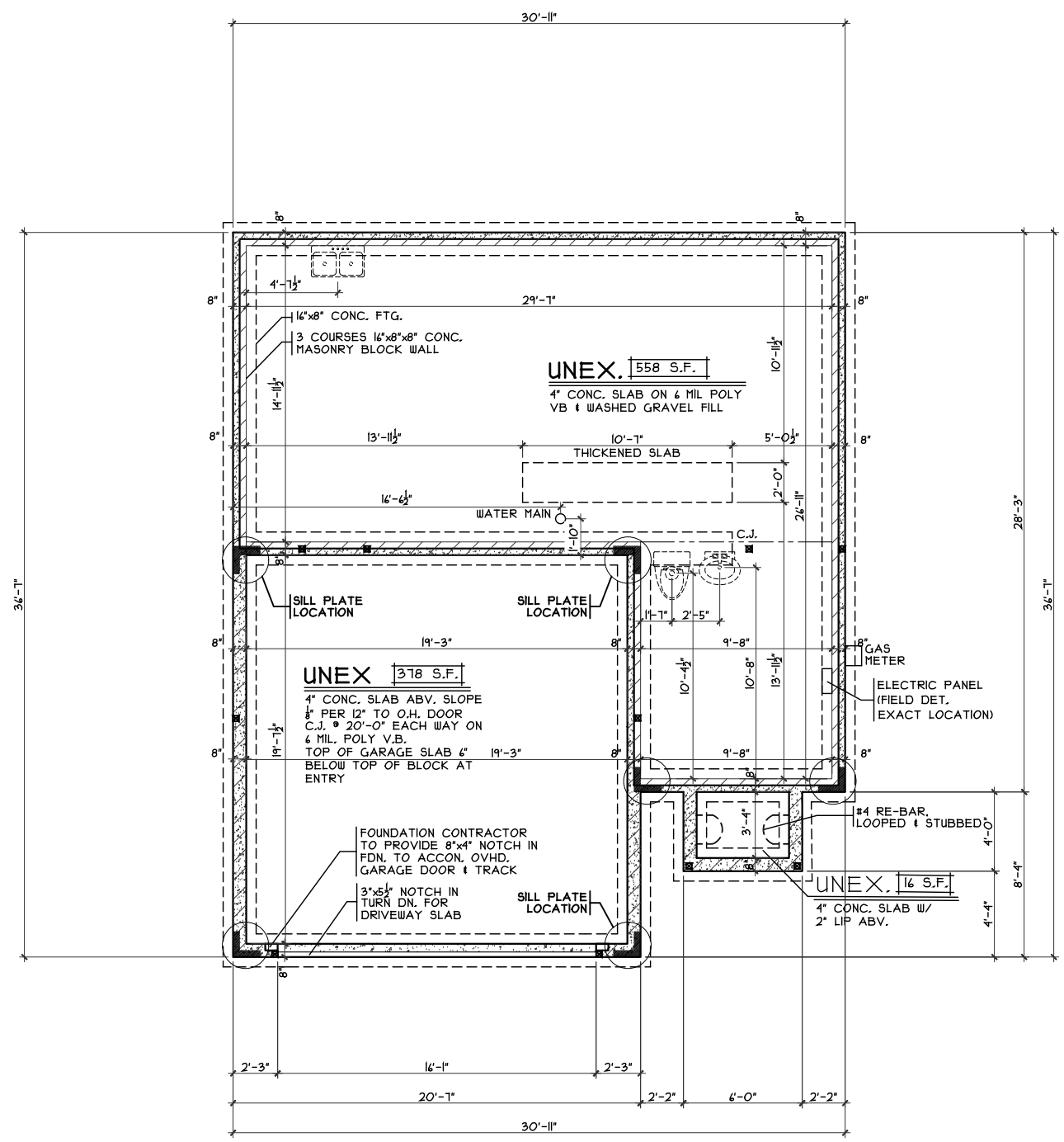
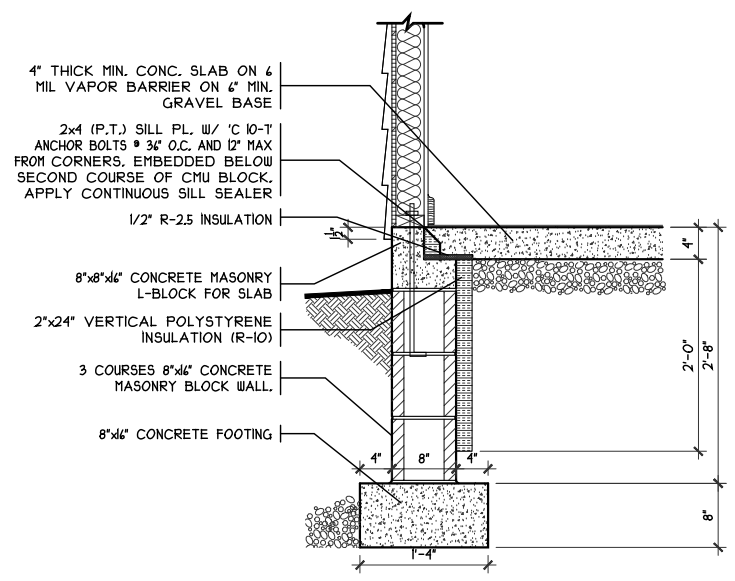
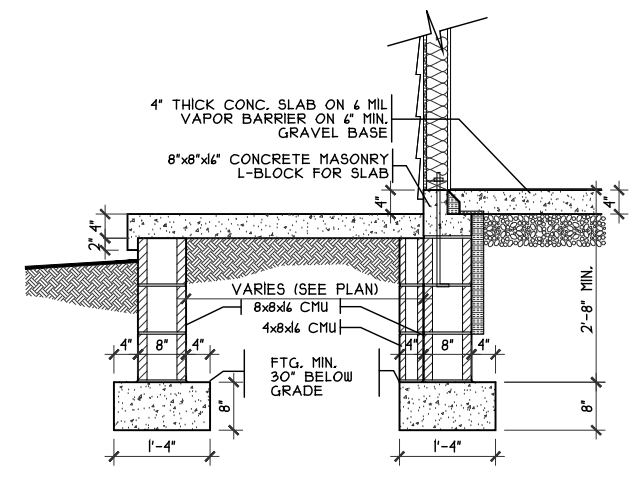
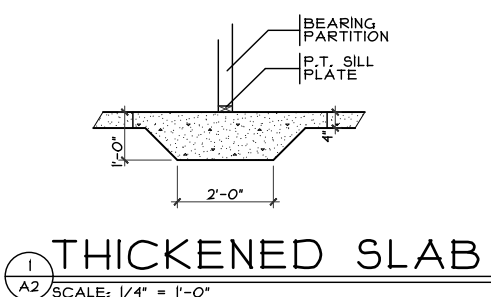
Trenton
Butler County

Front And Rear Elevations

Plan: Rowley Slab
Date: 6/10/20
Drawn: KMA
Scale: As Noted
Revised: 6/17/20
Sheet: 1 of 10

CRISTO HOMES
7594-A Tylers Place Blvd.
West Chester, OH 45069
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A1



OPTIONS

CR-4698

Proposed Residence:
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Centennial Run Lot #4698

Rowley Slab - B6 - Vinyl

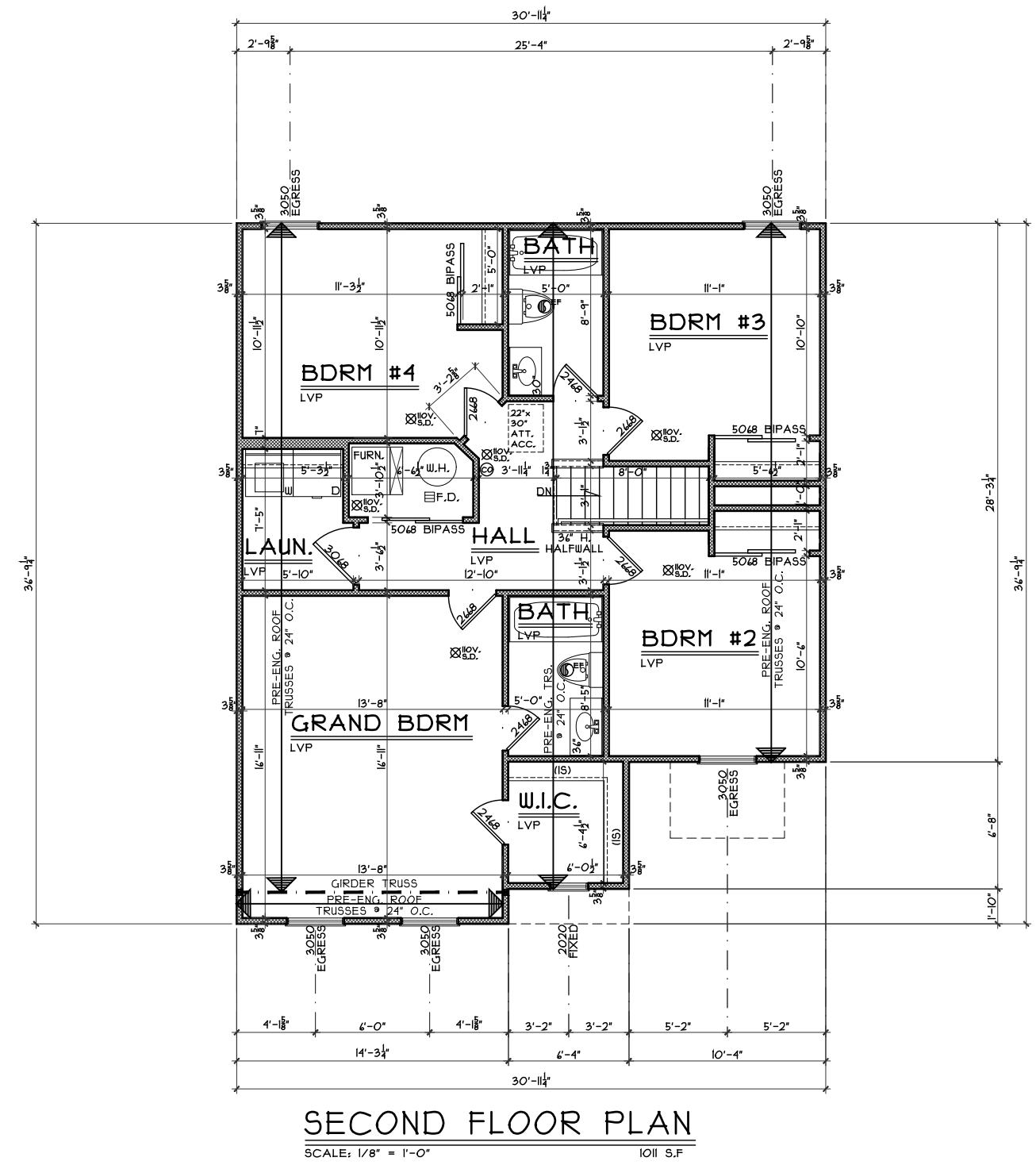
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Trenton
Butler County

Foundation Plan
Plan: Rowley Slab
Date: 6/10/20
Drawn: KMA
Scale: As Noted
Revised: 6/17/20
Sheet: 3 of 10

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A2



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" 1011 S.F.

OPTIONS

Second Floor Plan

Plan: Rowley Slab
Date: 6/10/20
Drawn: KMA
Scale: As Noted
Revised: 6/17/20
Sheet: 5 of 10



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CR-4698

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Centennial Run Lot #4698

Trenton
Butler County

Rowley Slab - B6 - Vinyl

Issue Dates

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Review

A4