

CS 12 - 1113 Unbridled Way

2 Story Slab

Humidifier valve - ice box by furnace !!

Ice maker

1 - RH tub

2 - 60x32 center drain shower

Laundry Tub

Requires pressure regulator on water main !!

Do not set Water Heater on rough

Gas Furnace and Fireplace

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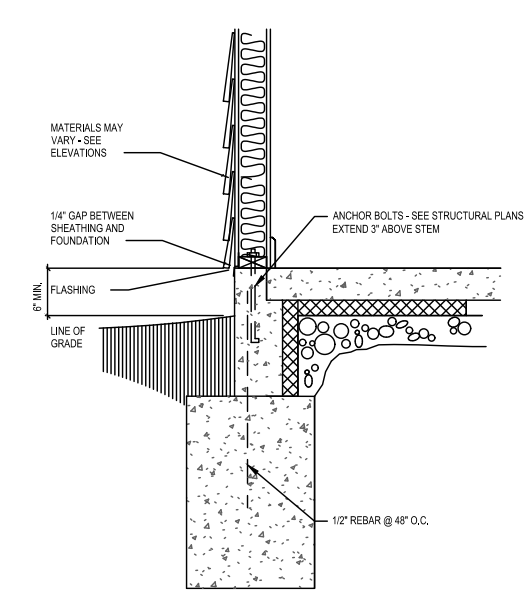
ISSUE	DESCRIPTION	DATE
01	BUILDER SET	03/14/2024

PROJECT
PLAN: Promenade
ELEV: Elevation A - Craftsman
LOT: 12

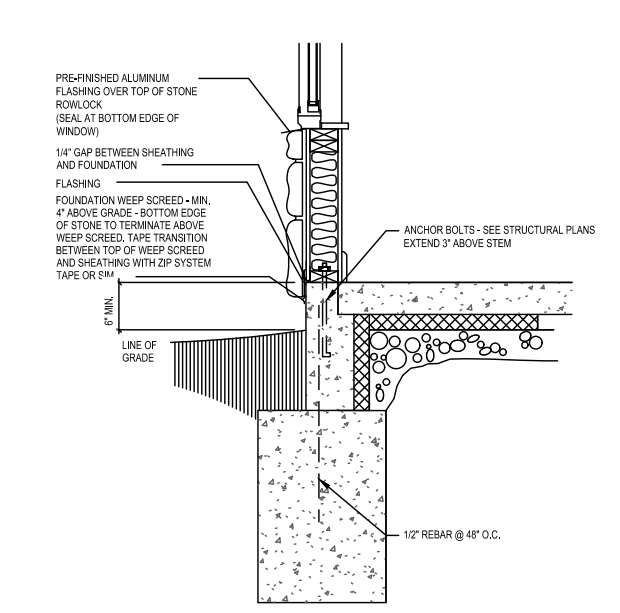
LOT ADDRESS: 1113 UNBRIDLED WAY XENIA, OH 45385

DRAWING TITLE
FOUNDATION PLAN

SHEET NUMBER
A-201

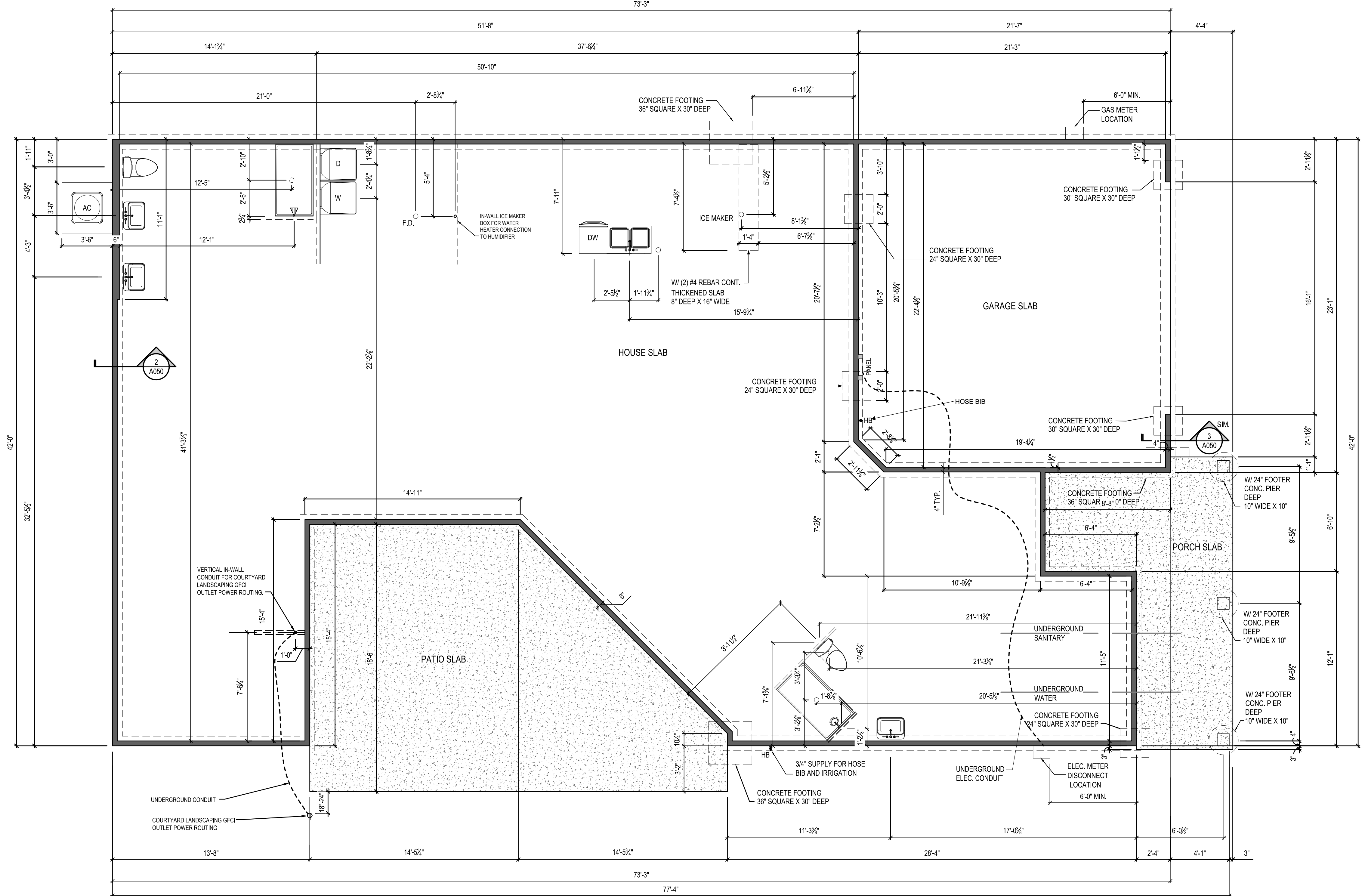


2 FOUNDATION DETAIL



3 FOUNDATION DETAIL - STONE

WITH CONTINUOUS (2) #4 REBAR THICKENED SLAB SHALL BE REINFORCED NOTES:
73'-3"



1 FOUNDATION PLAN
A-201
1/8" = 1'-0" @ 11" x 17"

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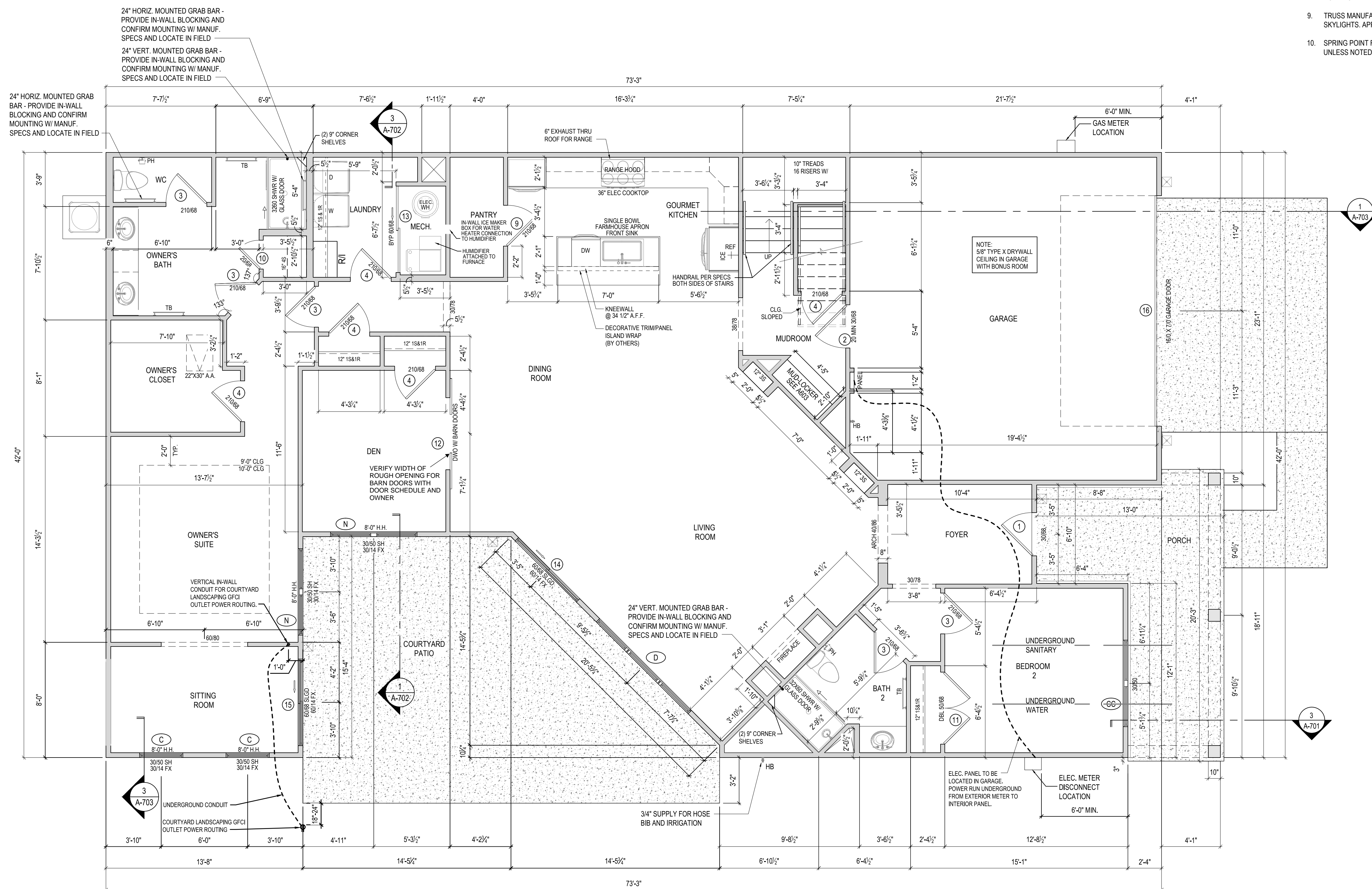
PROJECT
PLAN: Promenade
ELEV: Elevation A - Craftsman
LOT: 12

LOT ADDRESS: 1113 UNBRIDLED WAY XENIA, OH 45385

DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A-301

- GENERAL NOTES:
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS.
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS.
 5. ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20# S.F. ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS.
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE.
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS.
 10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE.



1 FLOOR PLAN
A-301
1/8" = 1'-0" @ 11" x 17"

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ISSUE	DESCRIPTION	DATE
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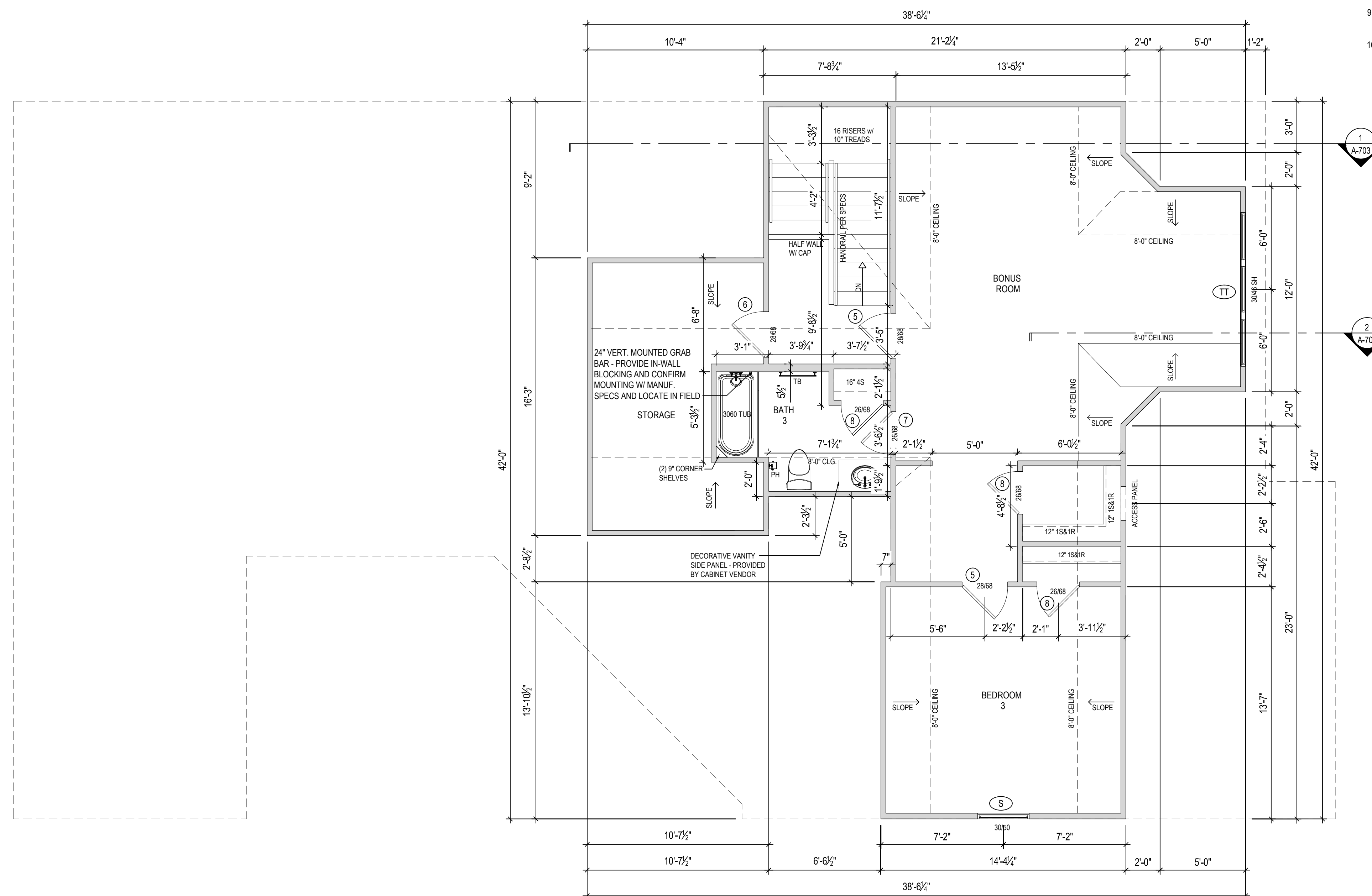
PROJECT
PLAN: Promenade
ELEV: Elevation A - Craftsman
LOT: 12

LOT ADDRESS: 1113 UNBRIDLED WAY XENIA, OH 45385

DRAWING TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A-302

- GENERAL NOTES:
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS.
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS.
 5. ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20# S.F. ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS.
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE.
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS.
 10. SPRING POINT FOR ARCHED CEILING OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE.





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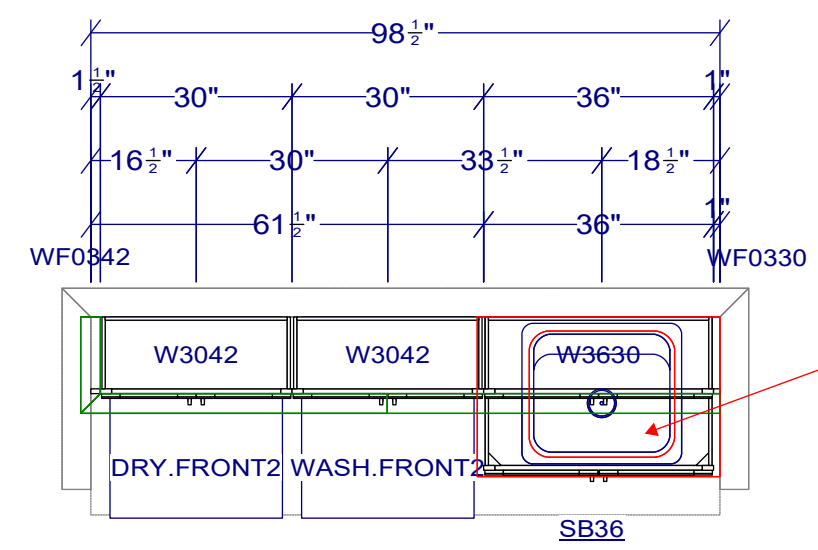
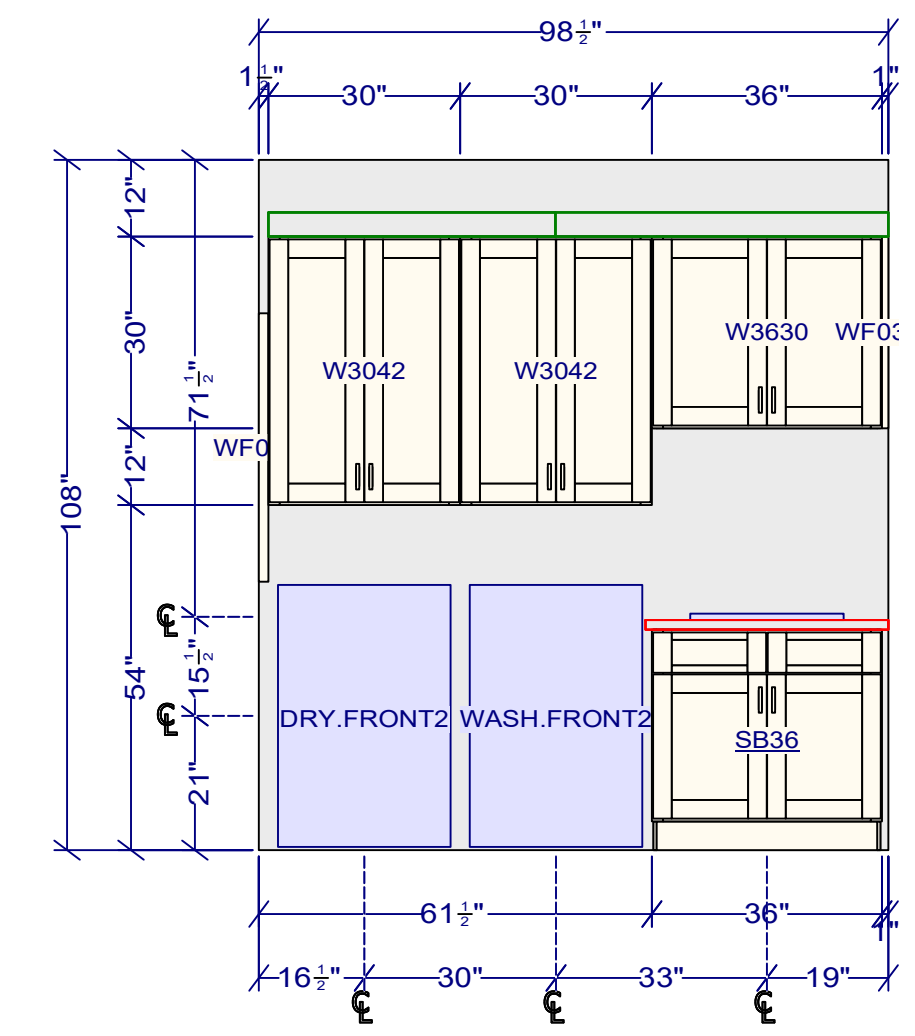
ISSUE	DESCRIPTION	DATE
01	BUILDER SET	03/14/2024

PROJECT
PLAN: Promenade
ELEV: Elevation A - Craftsman
LOT: 12

LOT ADDRESS: 1457 TRIPLE CROWN WAY
XENIA, OH 45385

INTERIOR ELEVATIONS & MILLWORK
BATHROOMS, LAUNDRY

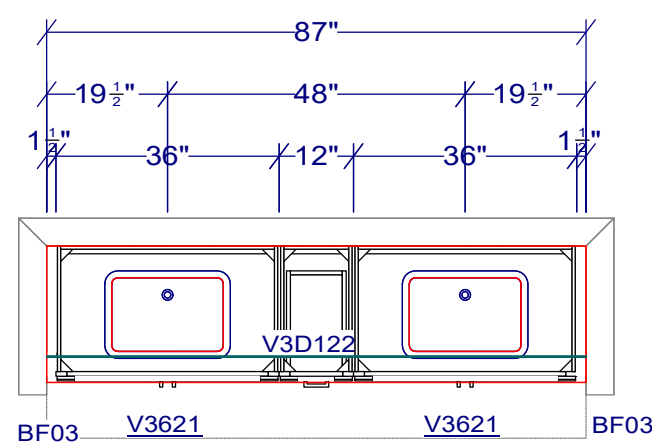
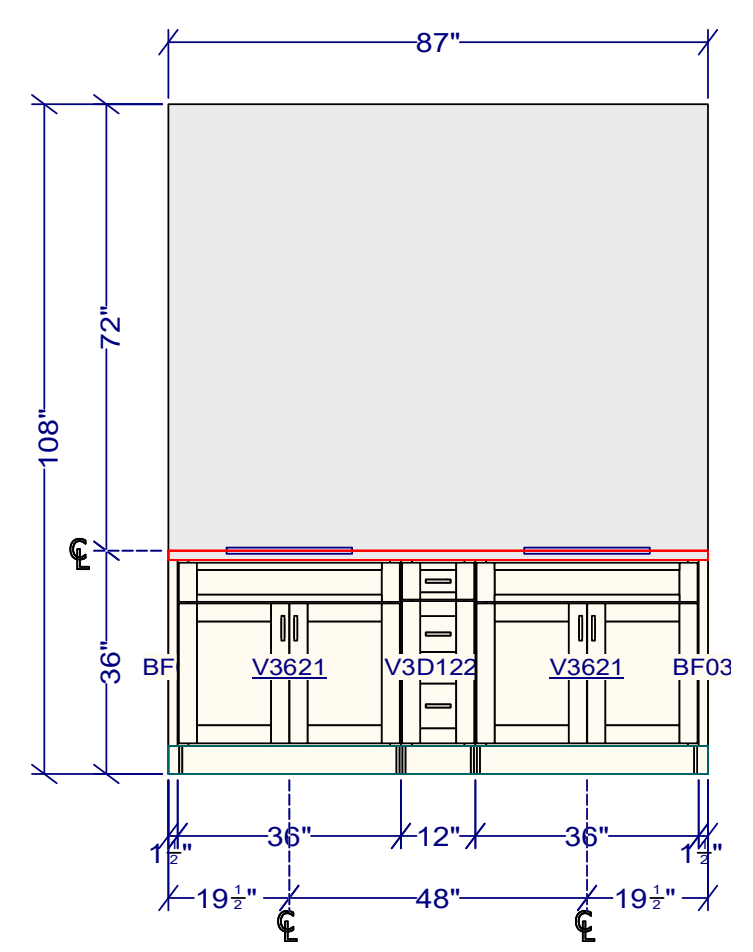
SHEET NUMBER
A-602



- LAUNDRY ROOM**
** TIDWELL CABINETRY ALWAYS **
1- TK96
2- SCM
2- CRM3

HARDWARE COUNT
8- DOORS

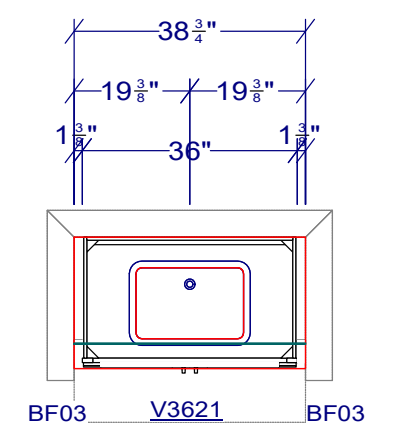
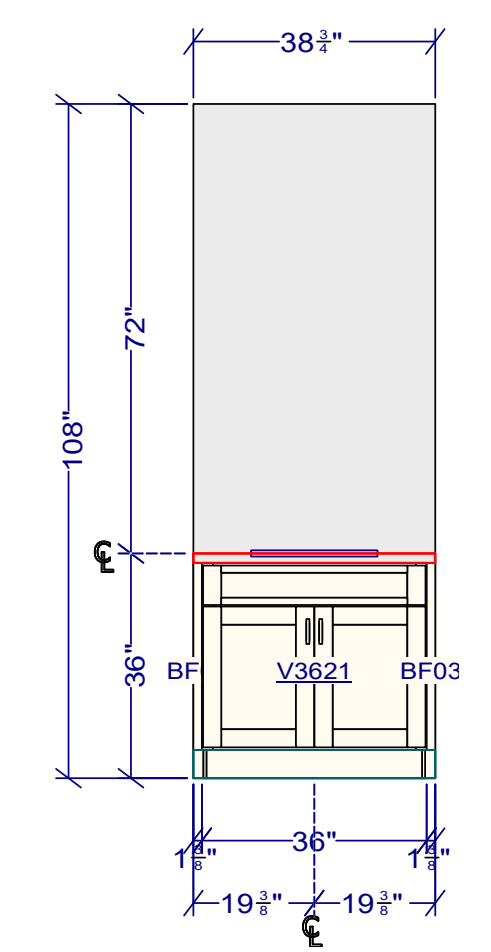
DELUXE LAUNDRY
(REVERSE PLAN/ELEVATION - SEE FLOOR PLAN A-301)



- OWNERS BATH**
1- TK96
1- SCM

HARDWARE COUNT
4- DOORS
3- DRAWERS

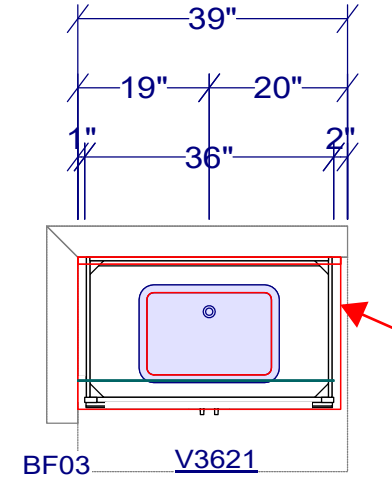
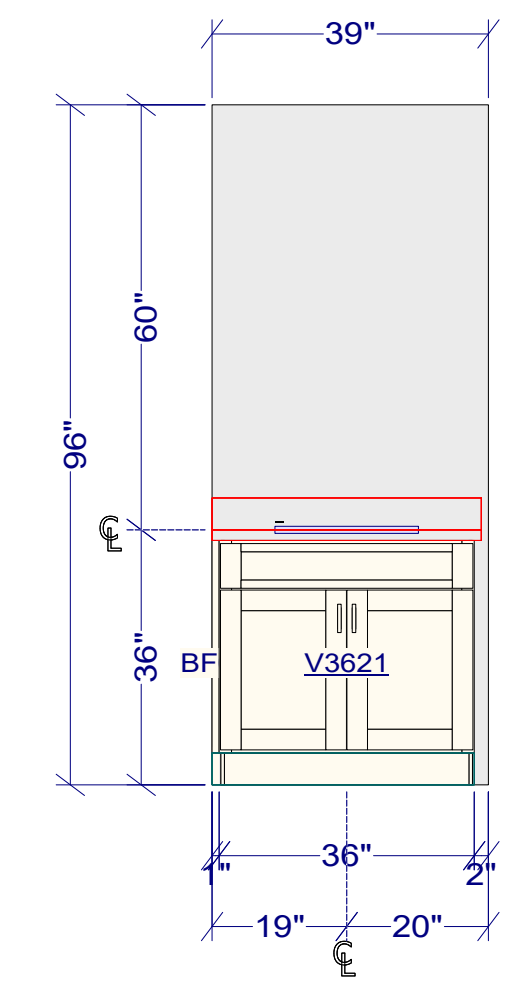
OWNER'S BATH



- BATH #2**
1- TK96
1- SCM

HARDWARE COUNT
2- DOORS

BATH 2



- BONUS LIVING - BATH**
1- TK96
1- SCM

HARDWARE COUNT
2- DOORS

BATH 3

DECORATIVE VANITY SIDE PANEL - PROVIDED BY CABINET VENDOR