

CS 22 - 1427 Triple Crown

1 Story Slab

Ice maker

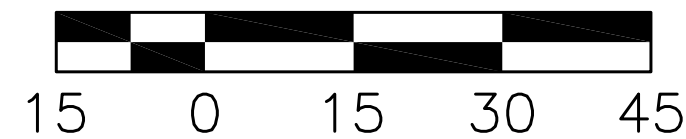
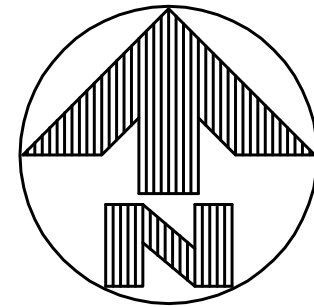
Laundry Tub

Electric heater - do not set on rough 1 - LH tub

1 - shower drain

Requires pressure regulator on water main !!

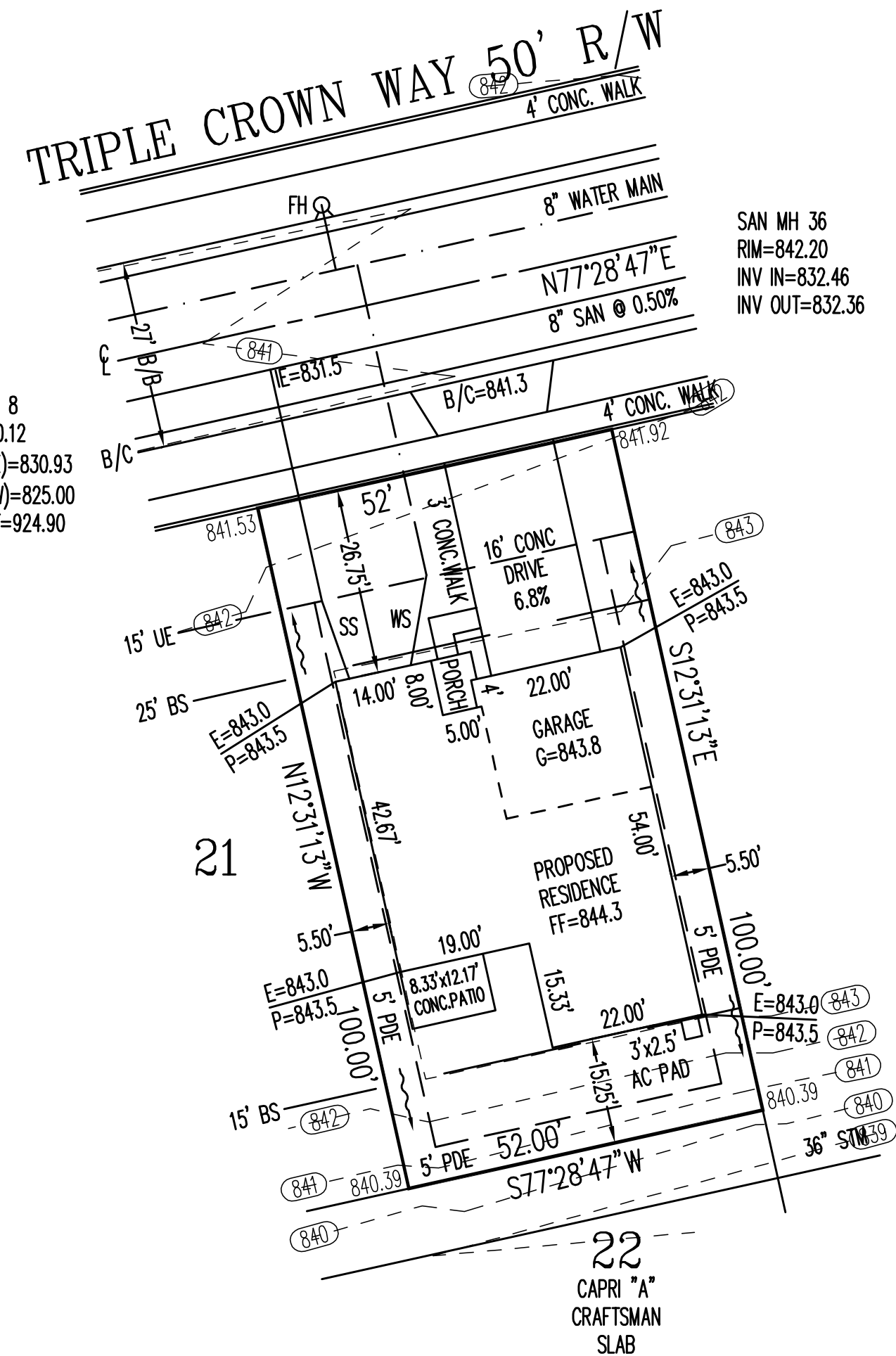
Gas Furnace and Fireplace



PROPOSED RESIDENCE
1427 TRIPLE CROWN WAY

CONC. DRIVE	500	sq. ft.
APRON	130	sq. ft.
SIDEWALK-PRIVATE	30	sq. ft.
SIDEWALK-PUBLIC	208	sq. ft.
SOD	2807	sq. ft.
SEED	0	sq. ft.

LOT COVERAGE=50.3%



SETBACKS:
 FRONT YARD=25'
 REAR YARD=15'
 SIDE YARD=5'

FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS, UTILITIES AND CONTOURS SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

BUILDER IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, BUILDER TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

BUILDER IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT IS RECOMMENDED TO BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. BUILDER IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



PROJECT No. COURTYARD@STONEHILLVILLAGE DWG No. 230996PA

DATE: 5/16/2023

ARTISAN COMMUNITIES, LLC.

EXHIBIT

PLOT PLAN
 LOT 22 (5,200 SF) 0.1194 AC.
 THE COURTYARDS AT STONEHILL VILLAGE, PHASE 1
 BEAVERCREEK TOWNSHIP
 GREENE COUNTY, OHIO

SCALE: 1"=30' DRAWN: REW CHECKED: JLS

APEX
 ENGINEERING & SURVEYING, INC.
 1068 NORTH UNIVERSITY BLVD. MIDDLETOWN, OHIO 45042
 PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202



Artisan Communities

8055-C Corporate Blvd.
Plain City, OH,



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ISSUE	DESCRIPTION	DATE
01	BUILDER SET	10/9/23

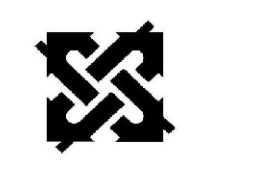
PROJECT
 PLAN: Capri
 ELEV: Elevation A - Craftsman
 LOT: 22

LOT ADDRESS: 1427 TRIPLE CROWN WAY
XENIA, OH 45385

DRAWING TITLE
PLOT PLAN

SHEET NUMBER

PP



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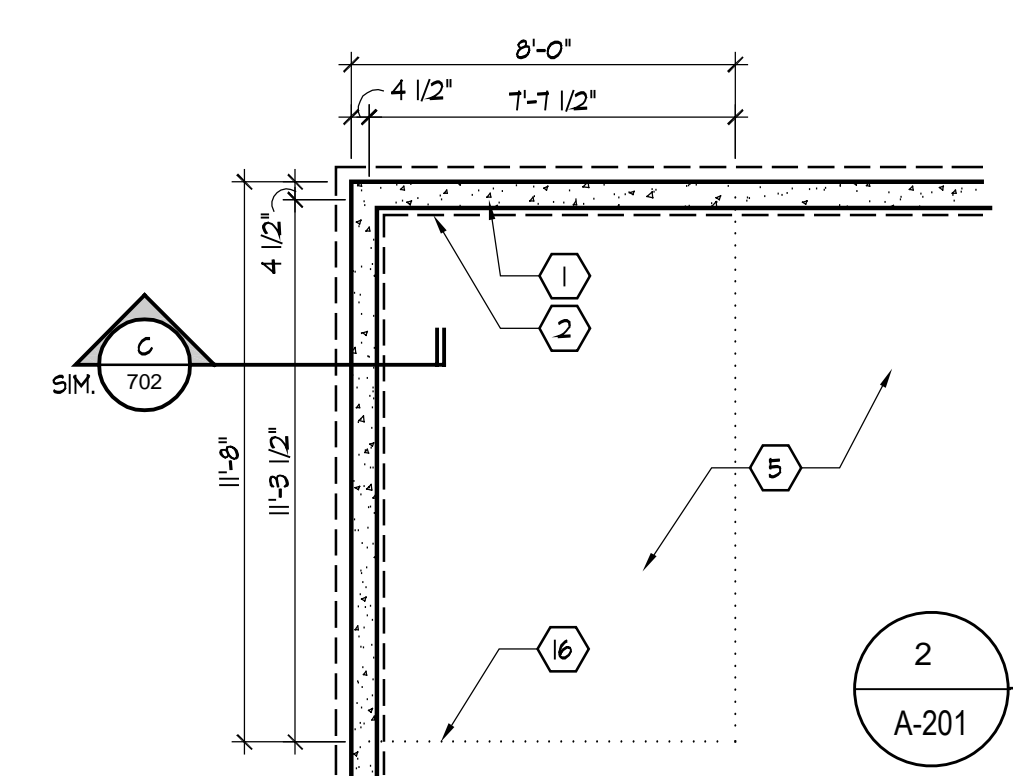
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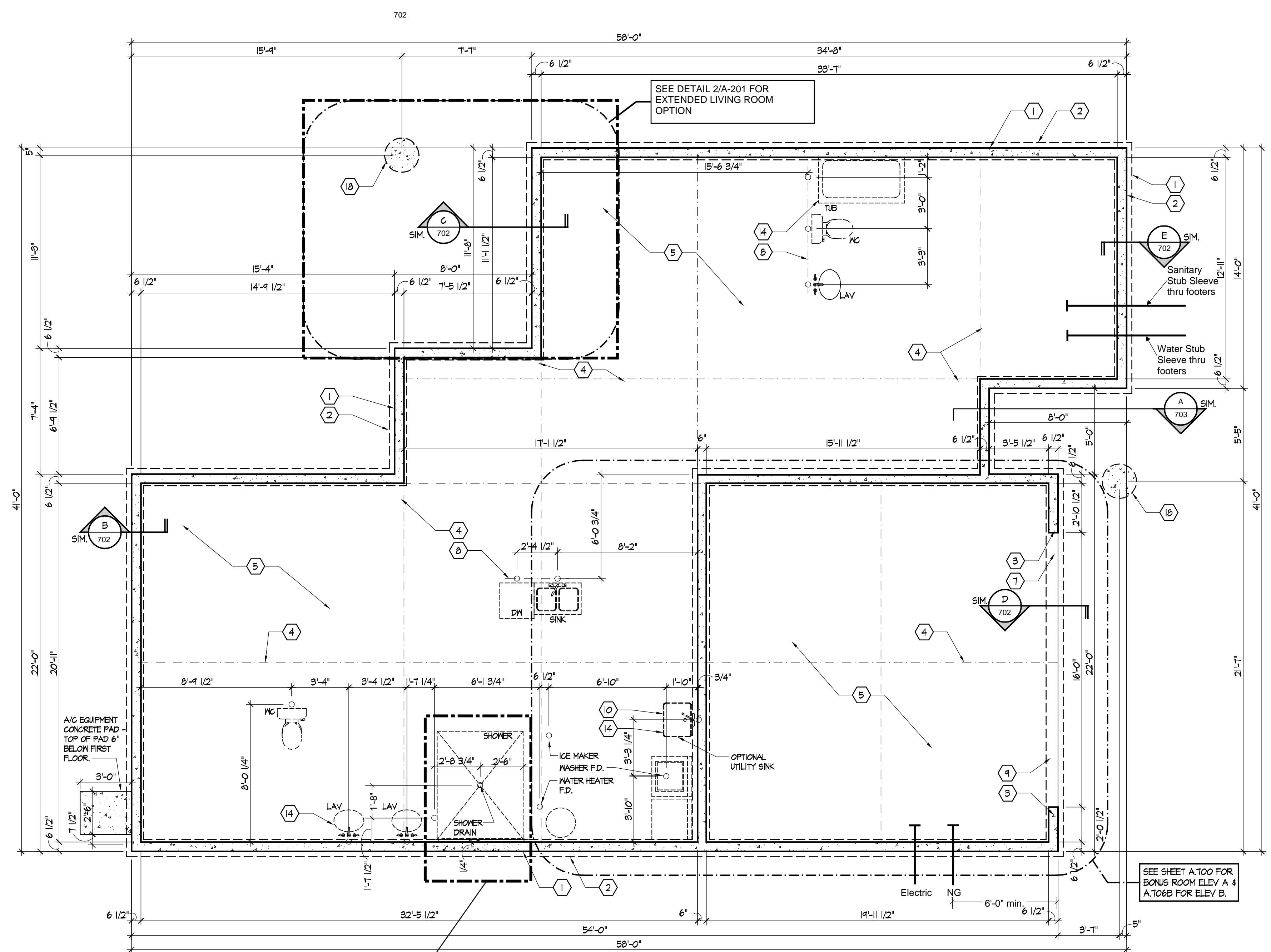
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XENIA, OH 45385

DRAWING TITLE
FOUNDATION PLAN

SHEET NUMBER
A-201



2 EXTENDED LIVING ROOM - FOUNDATION PLAN
A-201
1/4" = 1'-0" @ 22" x 34"



SEE DETAIL ON SHEET A-202 FOR ZERO THRESHOLD SHOWER

1 FOUNDATION PLAN
A-201
1/4" = 1'-0" @ 22" x 34"

- FOUNDATION CODED NOTES**
(ALL NOTES NOT APPLICABLE TO ALL SHEETS/UNIT TYPES)
- POURED CONCRETE FOUNDATION STEM WALL (TYPICAL) - SEE WALL SECTIONS SHEETS.
 - 12" WIDE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR - TYPICAL.
 - PROVIDE MIN. 2 ANCHOR BOLTS EACH SIDE OF GARAGE DOORS.
 - SAW CUT CONTROL JOINT IN CONCRETE SLAB, 1/8" WIDE x 1/4" DEEP - TYPICAL.
 - 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER MIL. POLYETHYLENE VAPOR BARRIER AND 4" GRAVEL BASE - TYPICAL.
 - 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 4" GRAVEL BASE - TYPICAL AT PORCHES.
 - PROVIDE WEATHERLIP @ GARAGE DOOR OPENING - SEE TYPICAL GARAGE SECTION
 - PIPE LOCATION CENTERED ON WALL ABOVE.
 - NO STEM WALL AT GARAGE DOOR OPENINGS.
 - WASHER ALWAYS LOCATED LEFT OF DRYER (W.O.).
 - ELECTRICAL CONDUIT UNDER SLAB FOR ELECTRICAL OUTLET AT KITCHEN ISLAND.
 - ELECTRICAL CONDUIT SLAB PENETRATION.
 - 12" DEEP X 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS. TYPICAL UNDER ALL INTERIOR SHEAR WALLS.
 - DASHED LINES INDICATE LOCATION OF PLUMBING FIXTURES ABOVE - SHOWN FOR REFERENCE ONLY.
 - 24" SQUARE FOOTING - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TURN DOWN SLAB AT COLUMN AS NEEDED OR 10" WIDE CONCRETE PIER AS SHOWN.
 - DOTTED LINE INDICATES WALL LINE OF BASE UNIT.
 - 8" DEEP X 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS OR SIZE AS SHOWN.
 - 24" DIA. FOOTING - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TURN DOWN SLAB AT COLUMN AS NEEDED.

- GENERAL FOUNDATION NOTES**
- SOIL BEARING CAPACITY ASSUMED TO BE 2500 PSF AND SHALL BE VERIFIED BY SOILS ENGINEER PRIOR TO PLACEMENT OF BUILDING FOUNDATION. CONSULT ARCHITECT WHEN INADEQUATE SOIL CAPACITIES ARE FOUND.
 - ALL DIMENSIONS ARE TO FACE OF FOUNDATION / BASEMENT WALL UNLESS NOTED OTHERWISE.
 - HOLD DOWN TOP OF FOUNDATION WALL 8" AT ALL ENTRY DOORS TO ALLOW FOR EXTENSION OF FLOOR SLAB UNDER THE DOOR THRESHOLDS.
 - PLUMBING CONTRACTOR TO USE ROUND BUCKETS FOR FORMED SLAB PENETRATIONS.
 - CONCRETE CONTRACTOR TO INSTALL 1/2" EXPANSION JOINT AROUND THE PERIMETER OF GARAGES.
 - CONCRETE CONTRACTOR COORDINATE WITH PLUMBING FOR LOCATION OF BLOCKOUTS FOR UNDER-SLAB LINES.
 - CONCRETE CONTRACTOR - SEE FIRST FLOOR PLAN FOR SIDEWALKS AND PATIOS.
 - CONCRETE CONTRACTOR TO VERIFY SLAB PENETRATION AT TUB/SHOWER OPTIONS.



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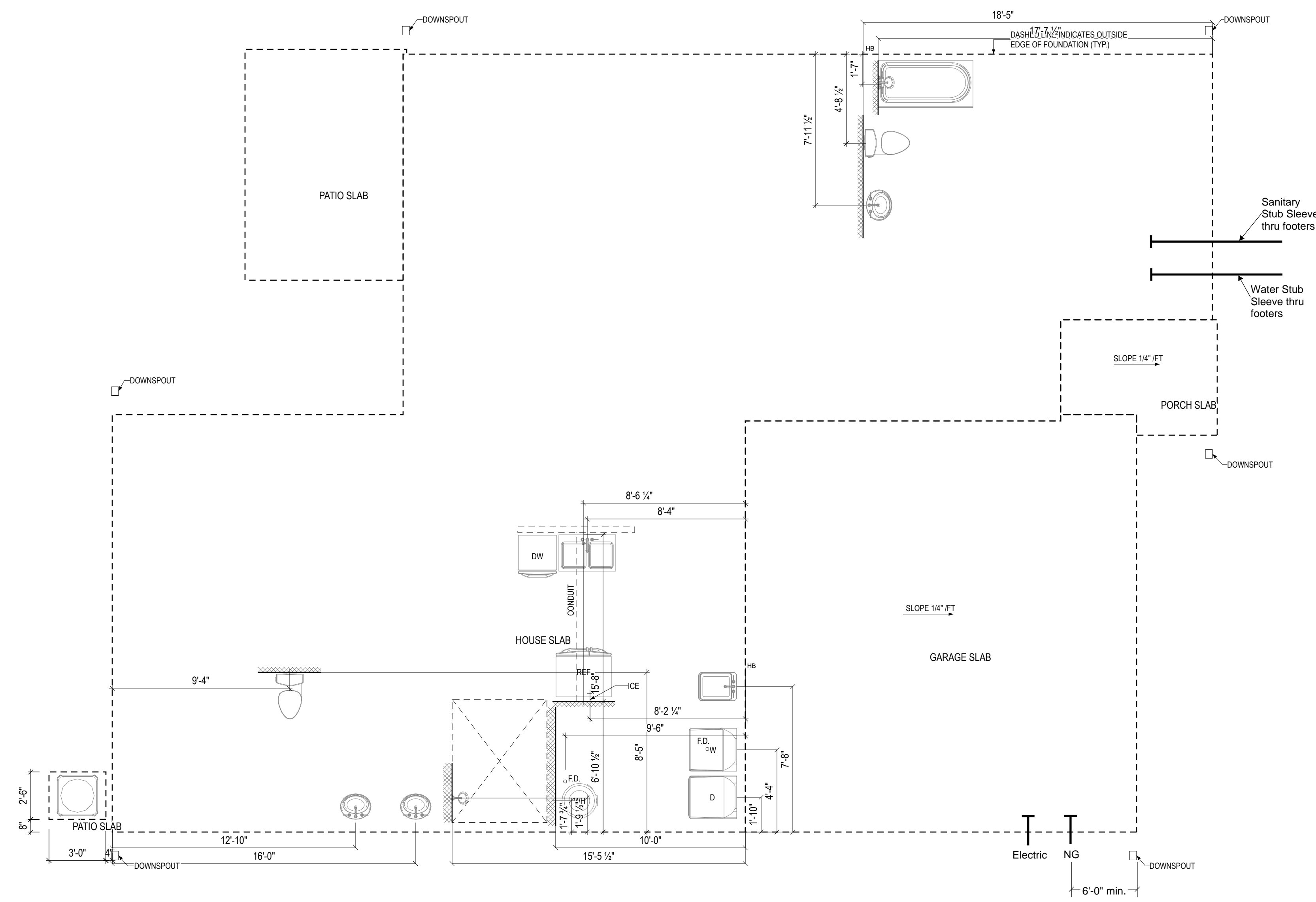
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ELEV: Elevation A - Craftsman
LOT: 22

LOT ADDRESS: 1427 TRIPLE CROWN WAY
XENIA, OH 45385

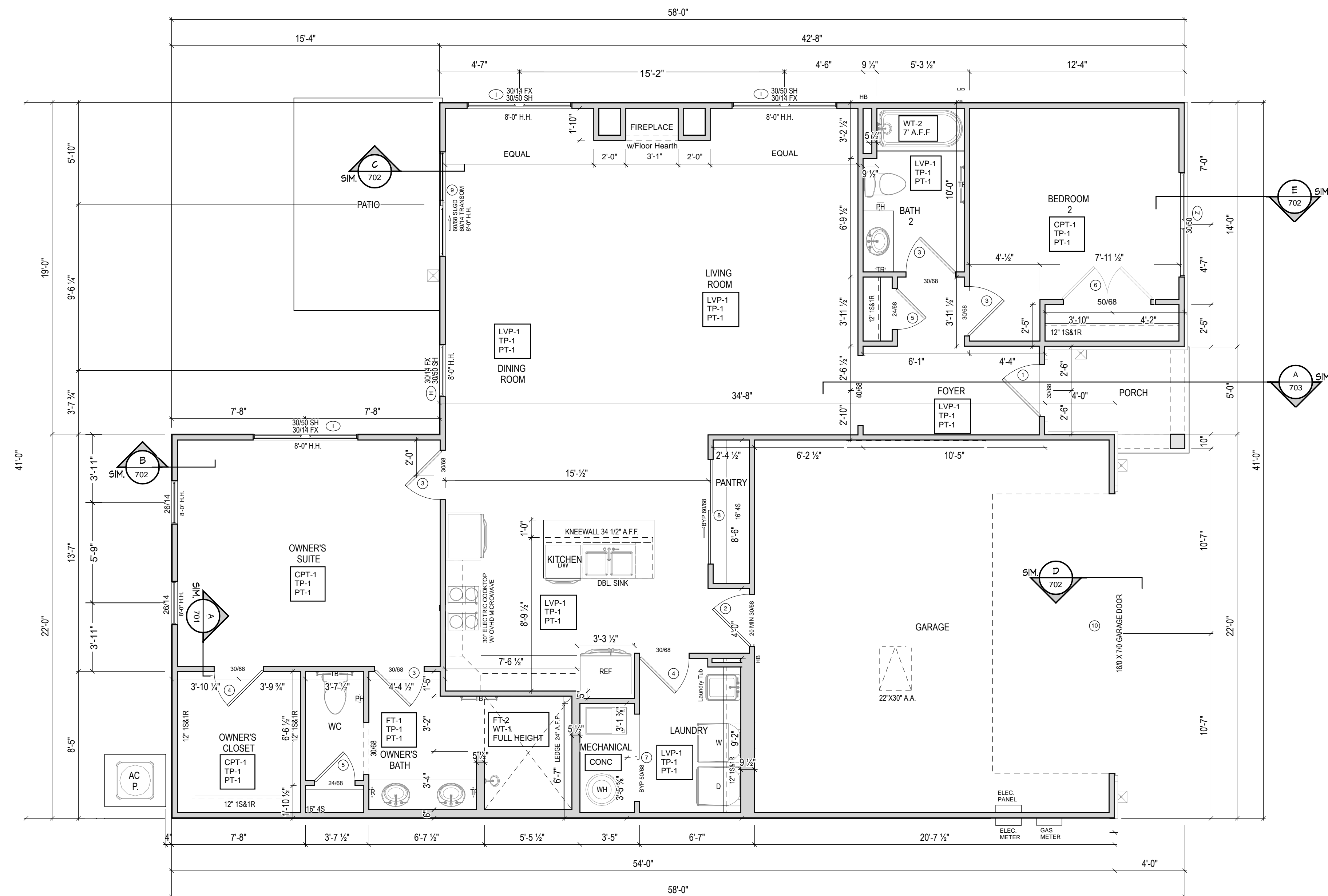
DRAWING TITLE
FOUNDATION UTILITY PLAN

SHEET NUMBER
A-202



GENERAL NOTES

1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4' FROM INTERSECTING WALLS
4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE
9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS
10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE
11. FOR RAIN HEAD SHOWER OPTION, DROP CEILING IN ENTIRE SHOWER AREA BY 3 1/2" & PLACE CONT 7/16" OSB SHEATHING ON UNDERSIDE OF TRUSSES w/ FULL HEIGHT INSULATION ABOVE. HEADER @ SHOWER OPENING (OR FULL LENGTH OF SHOWER) @ 8'-0" A.F.F. LINE UP w/ ADJACENT WALL AS APPLICABLE.



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LOT: 22

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DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A-101



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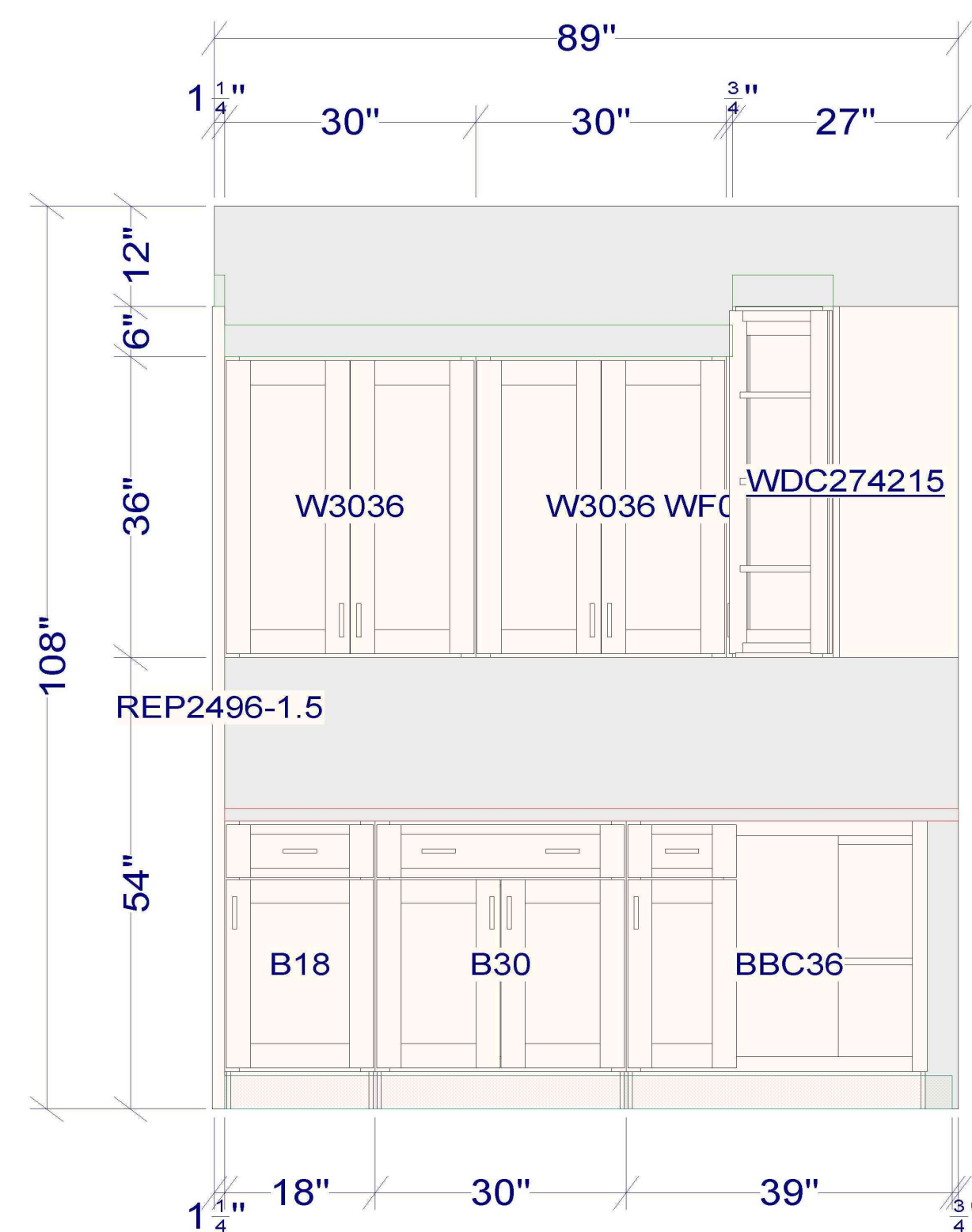
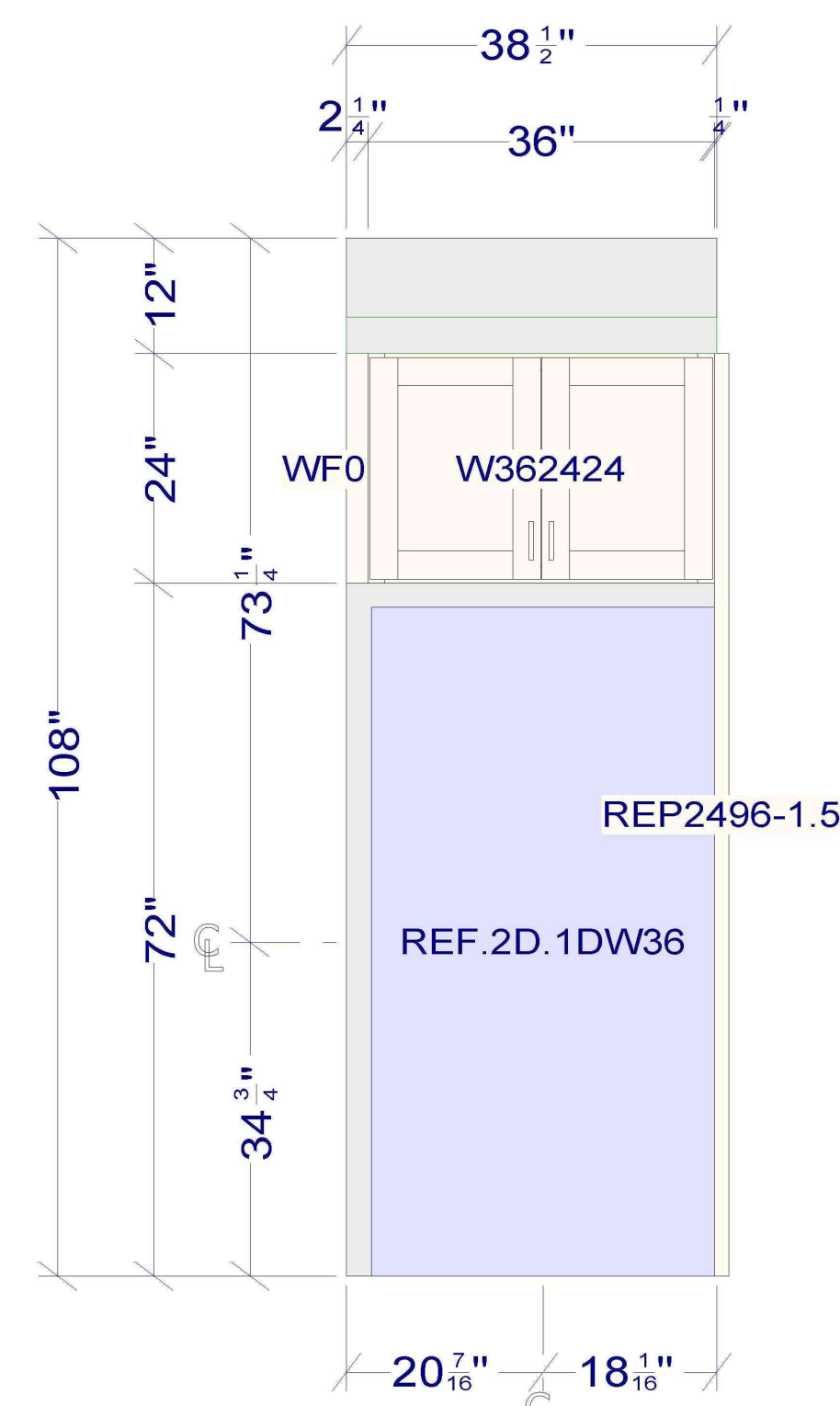
DRAWING TITLE

INTERIOR ELEVATIONS & MILLWORK

KITCHEN

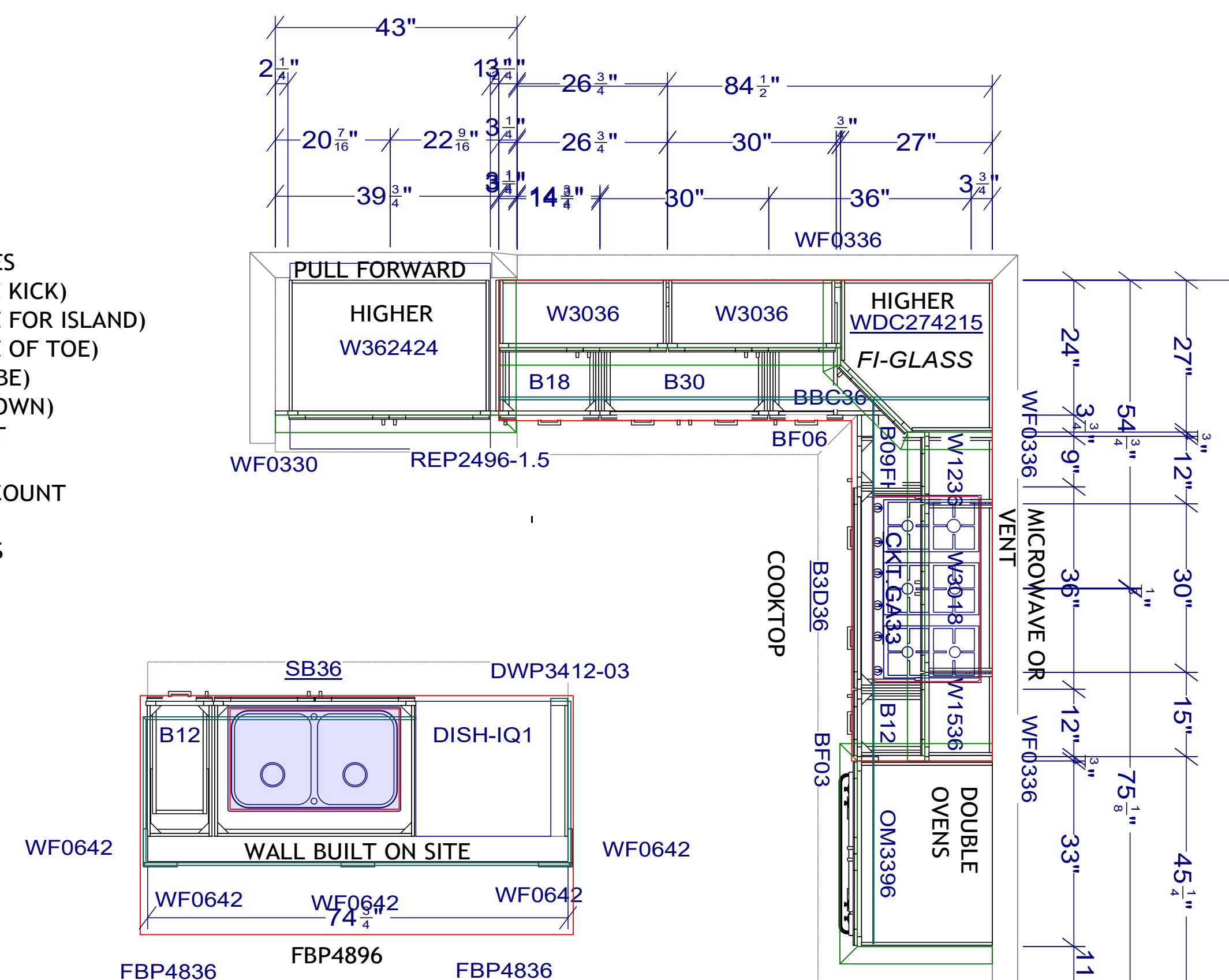
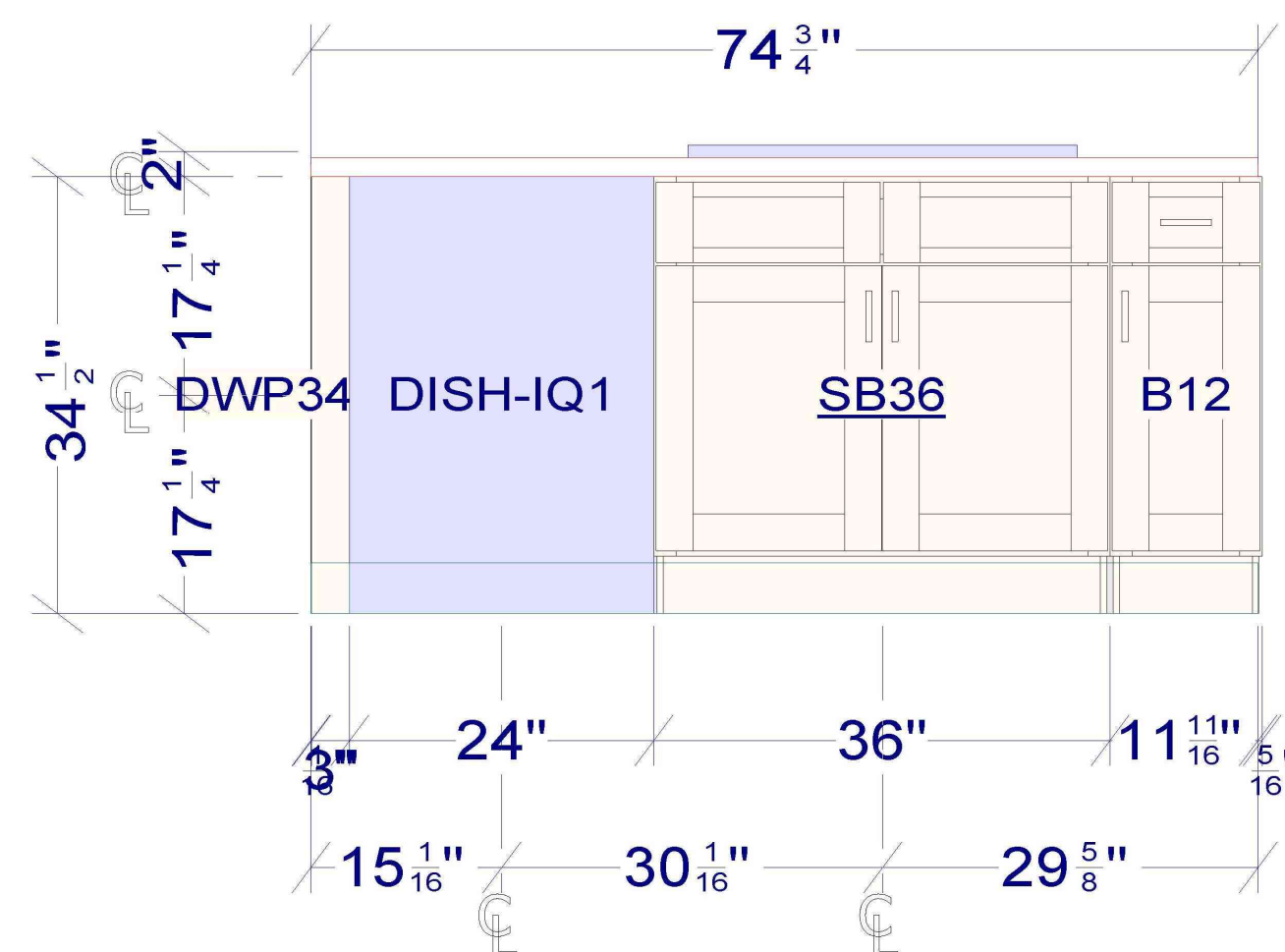
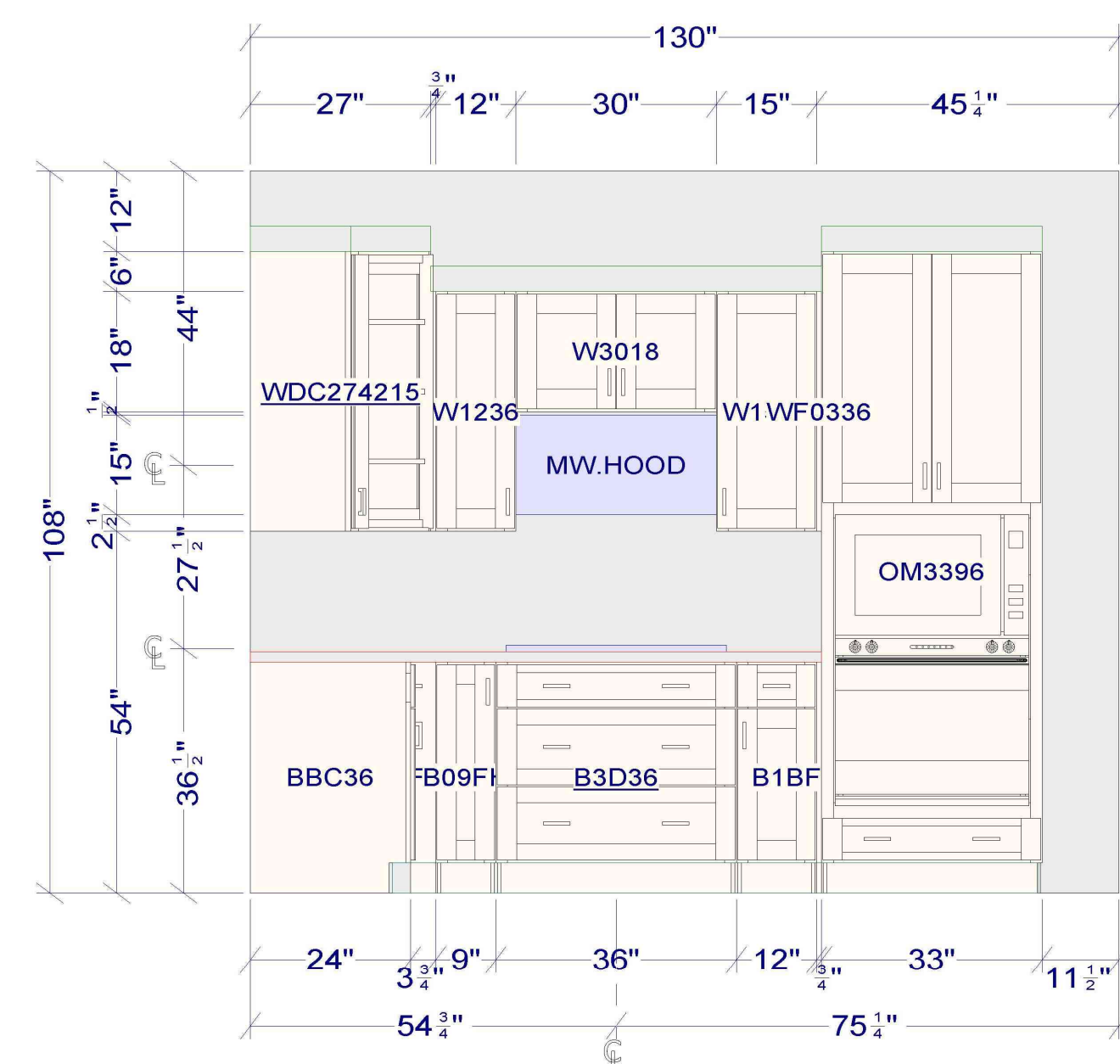
SHEET NUMBER

A601



- ACCESSORIES
3- TK96 (TOE KICK)
2- BBM (BASE FOR ISLAND)
5- SHM (BASE OF TOE)
5- SCM (SCRIBE)
5- CRM3 (CROWN)
1- REPAIR KIT

- HARDWARE COUNT
22- DOORS
10- DRAWERS



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed :9/26/2023
Printed: 10/13/2023
KITCHEN

Capri IV - Deluxe Staggered - Oven Cabinet

Drawing 1 Drawing #: 1

Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

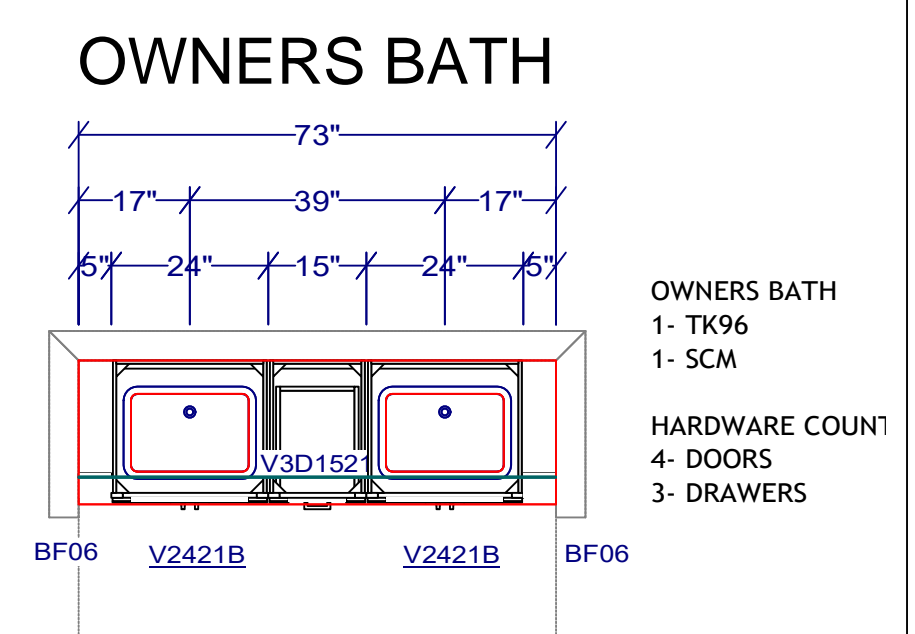
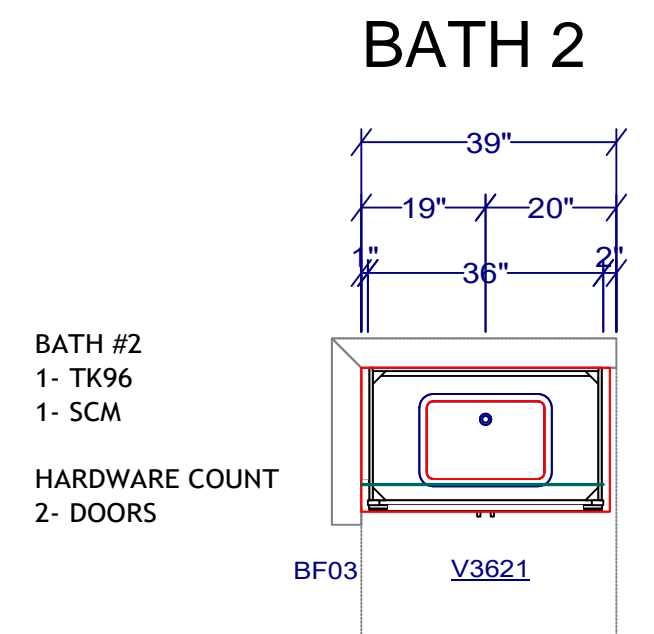
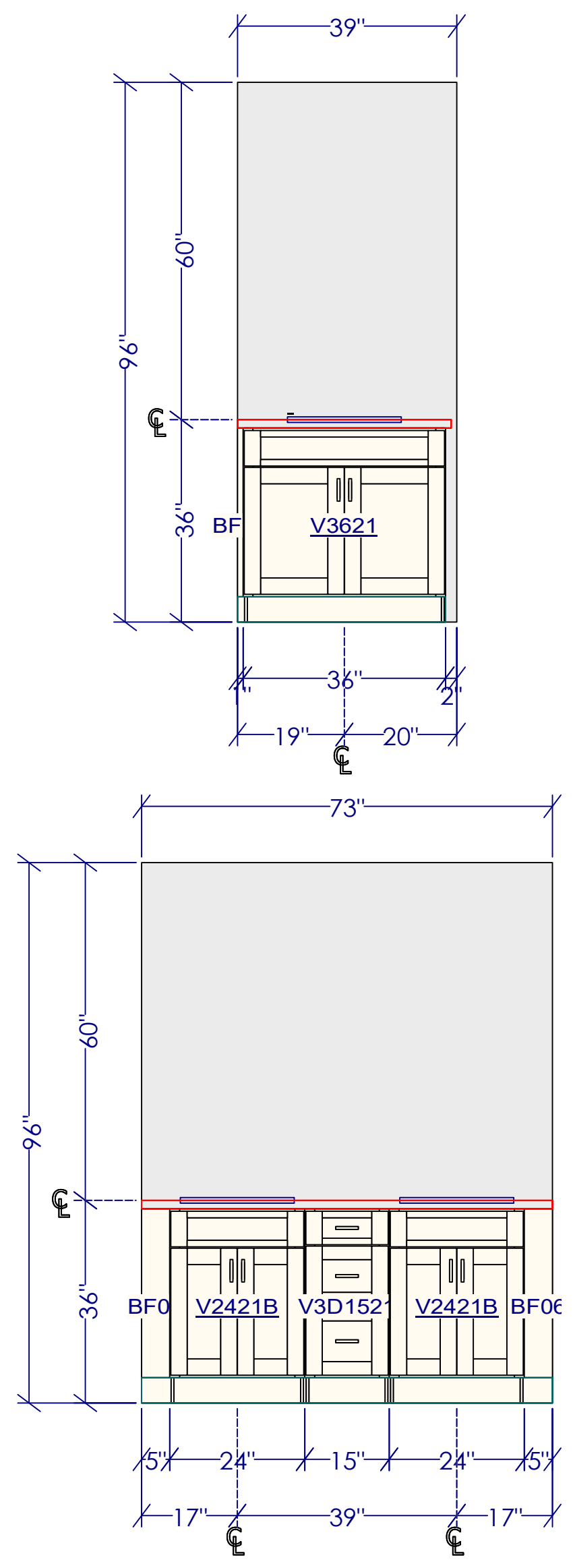


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KITCHEN

Capri IV - Deluxe Staggered - Oven Cabinet

Drawing 1 Drawing #: 1

MILLWORK DRAWINGS REPRESENTATIVE OF KITCHEN LAYOUT DESIGN. MILLWORK SUPPLIER REQUIRED TO SUBMIT FINAL MILLWORK SHOP DRAWINGS FOR OWNER APPROVAL



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.



Designed :9/26/2022
 Printed: 9/25/2023

BATH



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 LOT: 22

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 XENIA, OH 45385

DRAWING TITLE

INTERIOR ELEVATIONS & MILLWORK

BATH

SHEET NUMBER

A602