

CS 25 - 1450 Triple Crown Way

1 Story Slab

Ice maker

1 - RH tub

1 - tiled shower drain

Requires pressure regulator on water main !!

Tankless heater

Gas Furnace , Heater and Fireplace

Higharc, Inc. is not an architectural firm nor are the artistic representations contained herein intended to be construed as ready-to-use architectural plans, construction documents, drawings, renderings, or any other similar or related documents. All drawings are artist's representations only and solely intended to reflect design intent derived exclusively from the home building plans and associated information, data, and specifications provided by Epcon Foundation DG. Higharc, Inc. is not responsible, nor may it be held liable for any errors or omissions contained herein or resulting from its usage. Any usage of the representations should be reviewed by local professionals to ensure conformance with local and state codes and be field verified prior to the start of any construction.



PROPRIETARY RIGHTS NOTICE
COPYRIGHT 2007 EPCON COMMUNITIES FRANCHISING, INC.
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SKETCHES, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC., 500 STONEHENGE PARKWAY, DUBLIN, OHIO 43017, TELEPHONE 614.852.3527. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY WAY WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.
THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHALL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

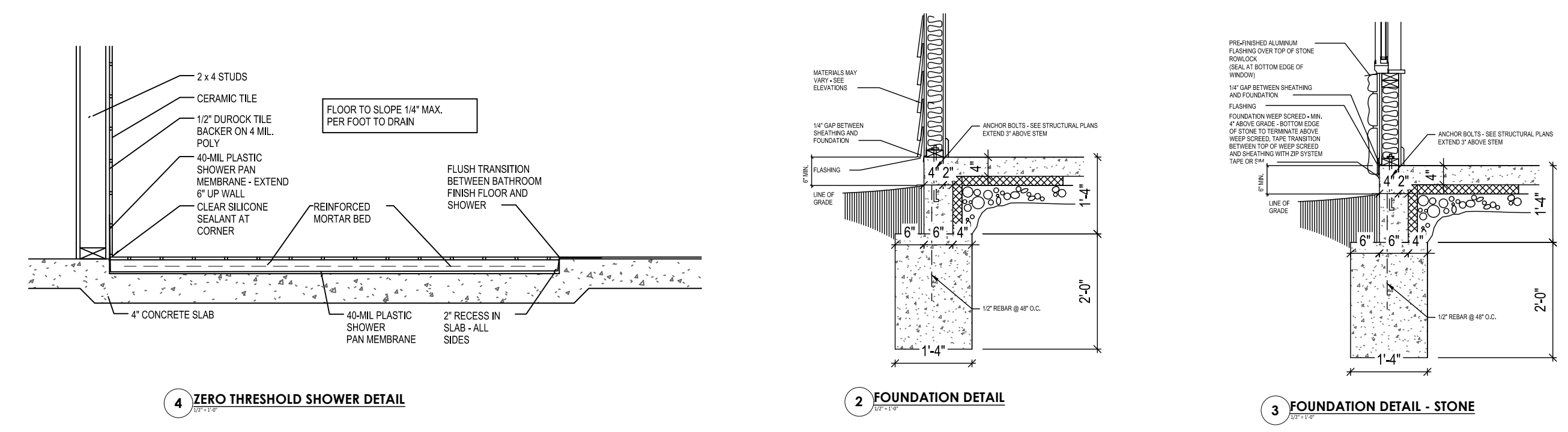
ISSUE	DESCRIPTION	DATE
01	BUILDER SET	5/8/2024

PROJECT
PLAN: Promenade
ELEV: Elevation C - Craftsman
LOT: 25

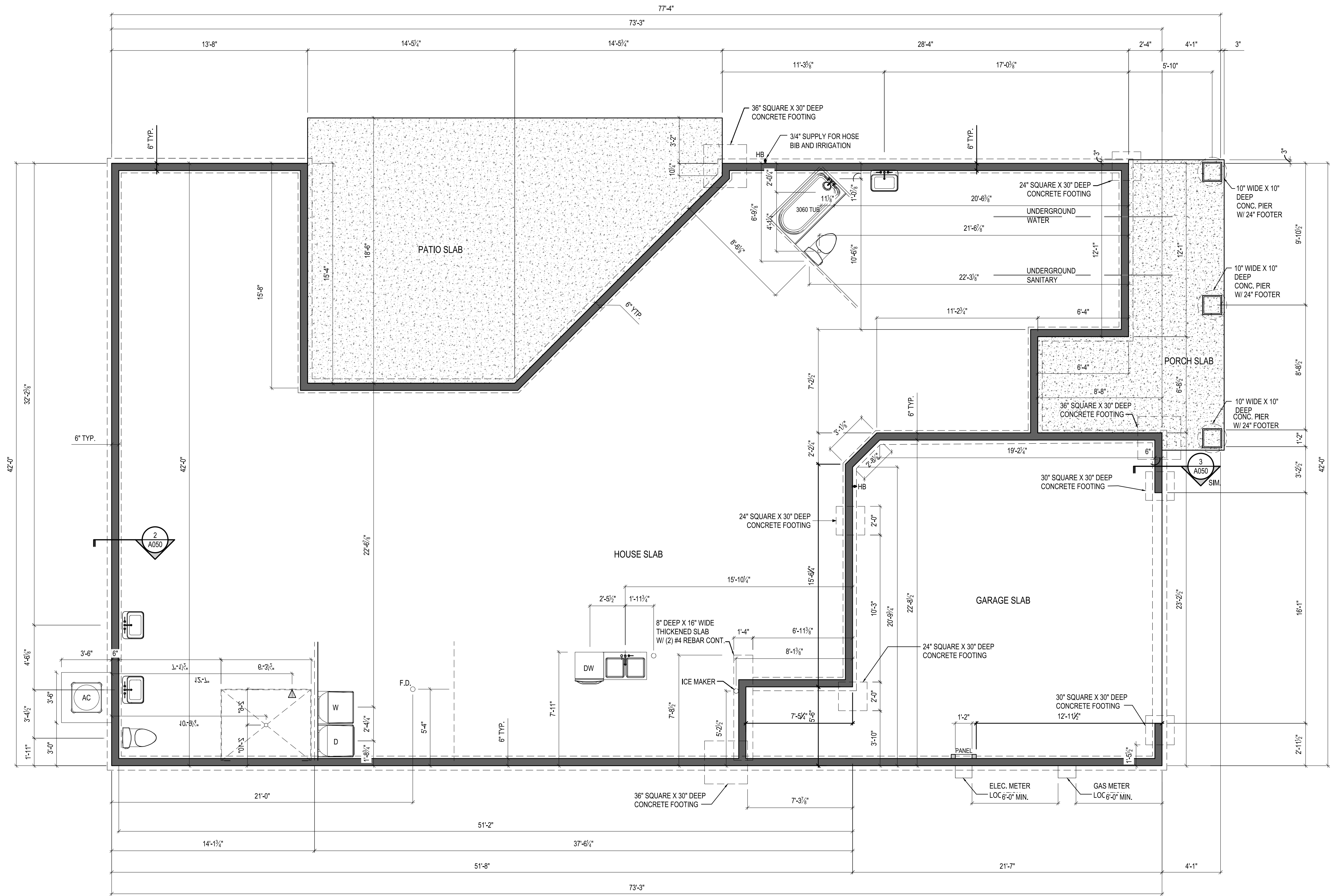
LOT ADDRESS: 1450 TRIPLE CROWN WAY
XENIA, OH 45385

DRAWING TITLE
FOUNDATION PLAN

SHEET NUMBER
A-201



NOTES:
ALL CONCRETE FOUNDATION STEM WALLS AT 6\"/>



NOTES:
THICKENED SLAB SHALL BE REINFORCED WITH CONTINUOUS (2) #4 REBAR

1 FOUNDATION PLAN
A-201
1/8\"/>

Higharc, Inc. is not an architectural firm nor are the artistic representations contained herein intended to be construed as ready-to-use architectural plans, construction documents, drawings, renderings, or any other similar or related documents. All drawings are artist's representations only and solely intended to reflect design intent derived exclusively from the home building plans and associated information, data, and specifications provided by Epcor Foundation DG. Higharc, Inc. is not responsible, nor may it be held liable for any errors or omissions contained herein or resulting from its usage. Any usage of the representations should be reviewed by local professionals to ensure conformance with local and state codes and be field verified prior to the start of any construction.



PROPRIETARY RIGHTS NOTICE
COPYRIGHT 2007 EPCON COMMUNITIES FRANCHISING, INC.
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SKETCHES, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC., 500 STONEHENGE PARKWAY, DUBLIN, OHIO 43017, TELEPHONE 614.652.3527. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY WAY WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.

THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHALL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

ISSUE	DESCRIPTION	DATE
01	BUILDER SET	5/8/2024

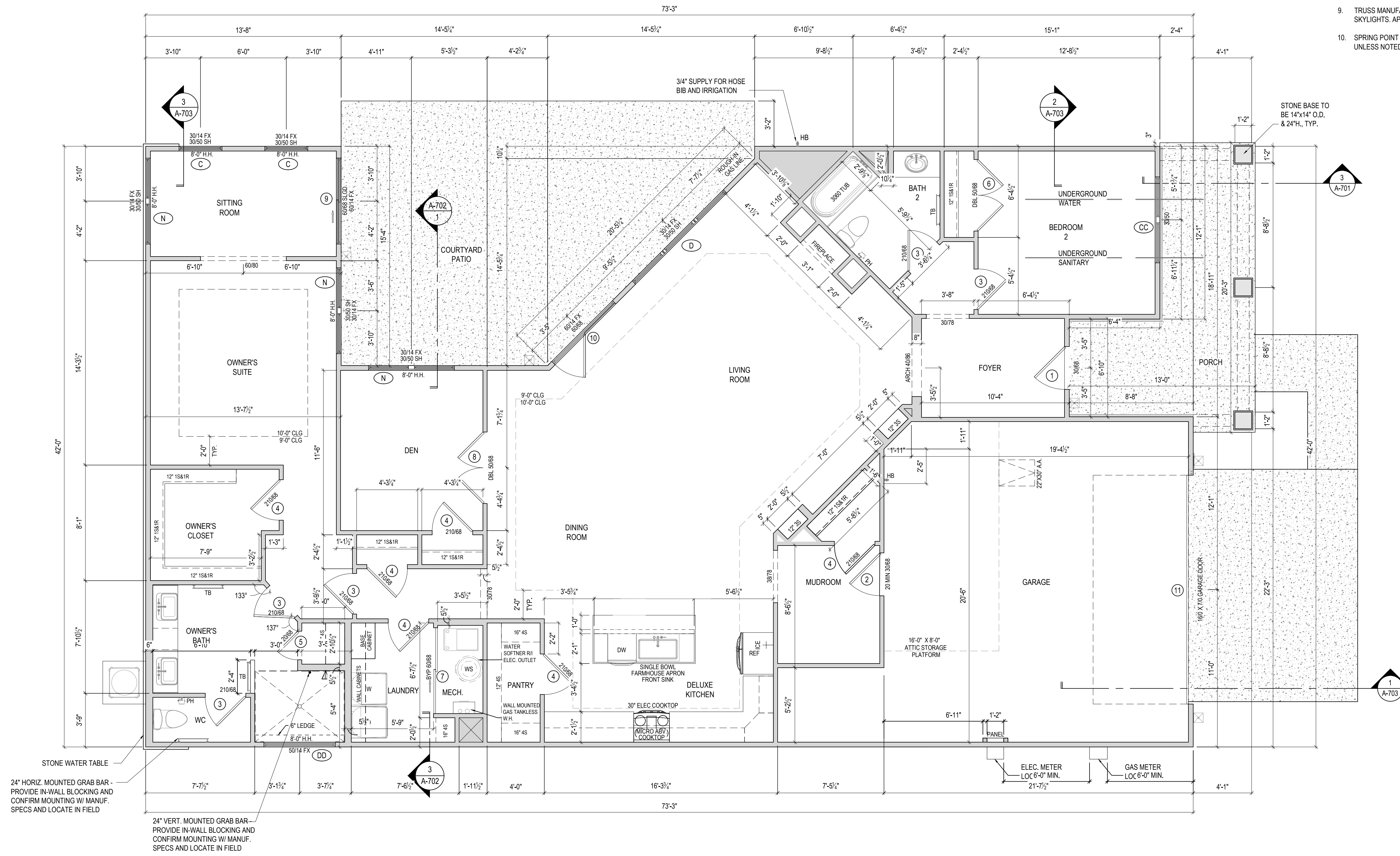
PROJECT
PLAN: Promenade
ELEV: Elevation C - Craftsman
LOT: 25

LOT ADDRESS: 1450 TRIPLE CROWN WAY
XENIA, OH 45385

DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A-301

- GENERAL NOTES:
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS.
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS.
 5. ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20# S.F. ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS.
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE.
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS.
 10. SPRING POINT FOR ARCHED DRAYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE.



STONE WATER TABLE

24" HORIZ. MOUNTED GRAB BAR - PROVIDE IN-WALL BLOCKING AND CONFIRM MOUNTING W/ MANUF. SPECS AND LOCATE IN FIELD

24" VERT. MOUNTED GRAB BAR - PROVIDE IN-WALL BLOCKING AND CONFIRM MOUNTING W/ MANUF. SPECS AND LOCATE IN FIELD

1 FLOOR PLAN
A-301
1/8" = 1'-0" @ 11" x 17"



EPCON
Communities

PROPRIETARY RIGHTS NOTICE
COPYRIGHT 2007 EPCON COMMUNITIES FRANCHISING, INC.
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SKETCHES, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC., 500 STONEHENGE PARKWAY, DUBLIN, OHIO 43017, TELEPHONE 614.652.3527. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY WAY WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.

THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHALL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

ISSUE	DESCRIPTION	DATE
01	BUILDER SET	5/8/2024

PROJECT
PLAN: Promenade
ELEV: Elevation C - Craftsman
LOT: 25

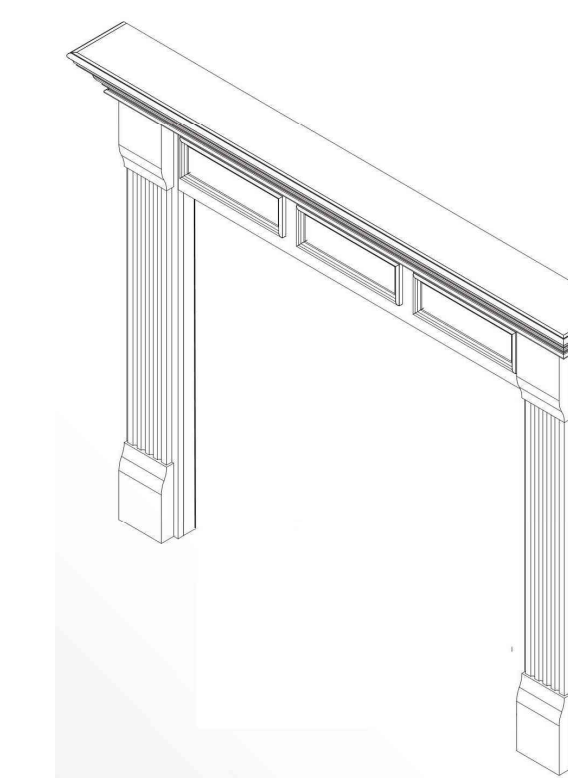
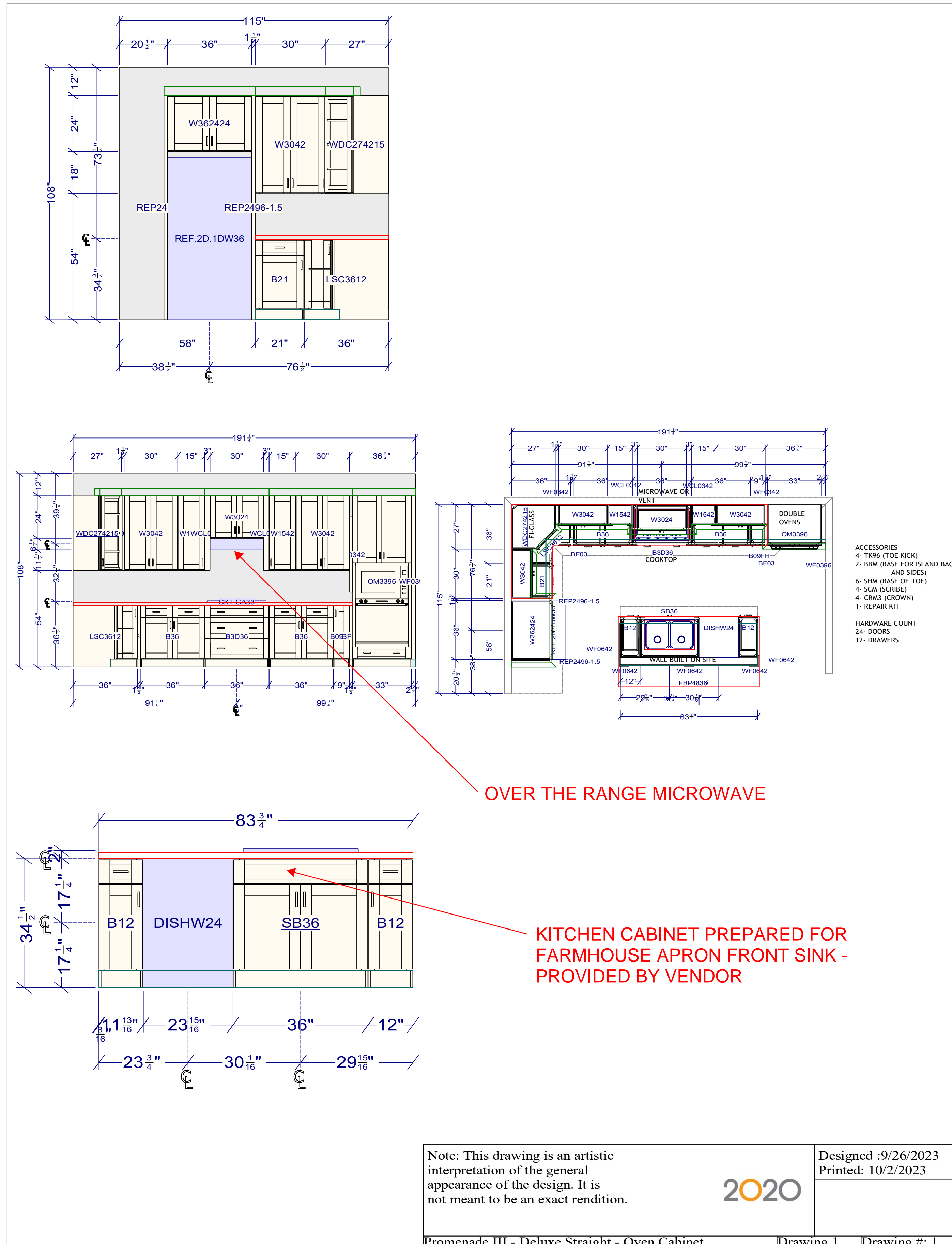
LOT ADDRESS: 1450 TRIPLE CROWN WAY
XENIA, OH 45385

INTERIOR ELEVATIONS &
MILLWORK

KITCHEN, FIREPLACE,
MUD LOCKER

SHEET NUMBER

A-601



FIREPLACE MANTEL



EPCON
Communities

PROPRIETARY RIGHTS NOTICE
COPYRIGHT 2007 EPCON COMMUNITIES FRANCHISING, INC.
ALL RIGHTS ARE RESERVED IN THIS INFORMATION AND ALL RELATED ILLUSTRATIONS, PLANS, BLUEPRINTS, SKETCHES, DRAWINGS, OR ANY OTHER TANGIBLE EXPRESSIONS THEREOF, WHICH ARE THE PROPERTY OF EPCON COMMUNITIES FRANCHISING, INC., 500 STONEHENGE PARKWAY, DUBLIN, OHIO 43017, TELEPHONE 614.652.3527. NO ONE MAY BUILD, LICENSE, TRANSFER, REPRODUCE OR DUPLICATE THIS WORK IN ANY WAY WITHOUT THE WRITTEN AUTHORIZATION OF EPCON COMMUNITIES FRANCHISING, INC.

THESE DRAWINGS SHALL BE USED IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING AND ELECTRICAL CODES AND SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHALL, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES (FHAAG), AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH STATE AND LOCAL ENERGY REQUIREMENTS.

ISSUE	DESCRIPTION	DATE
01	BUILDER SET	5/8/2024

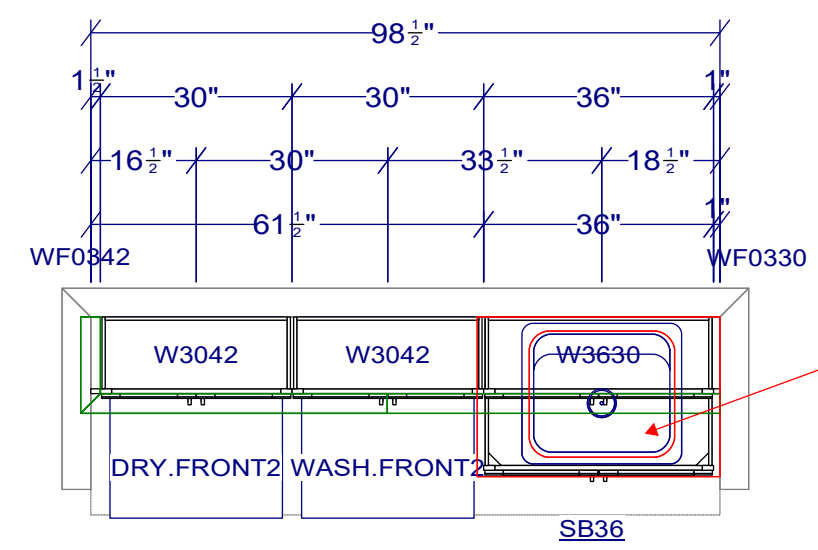
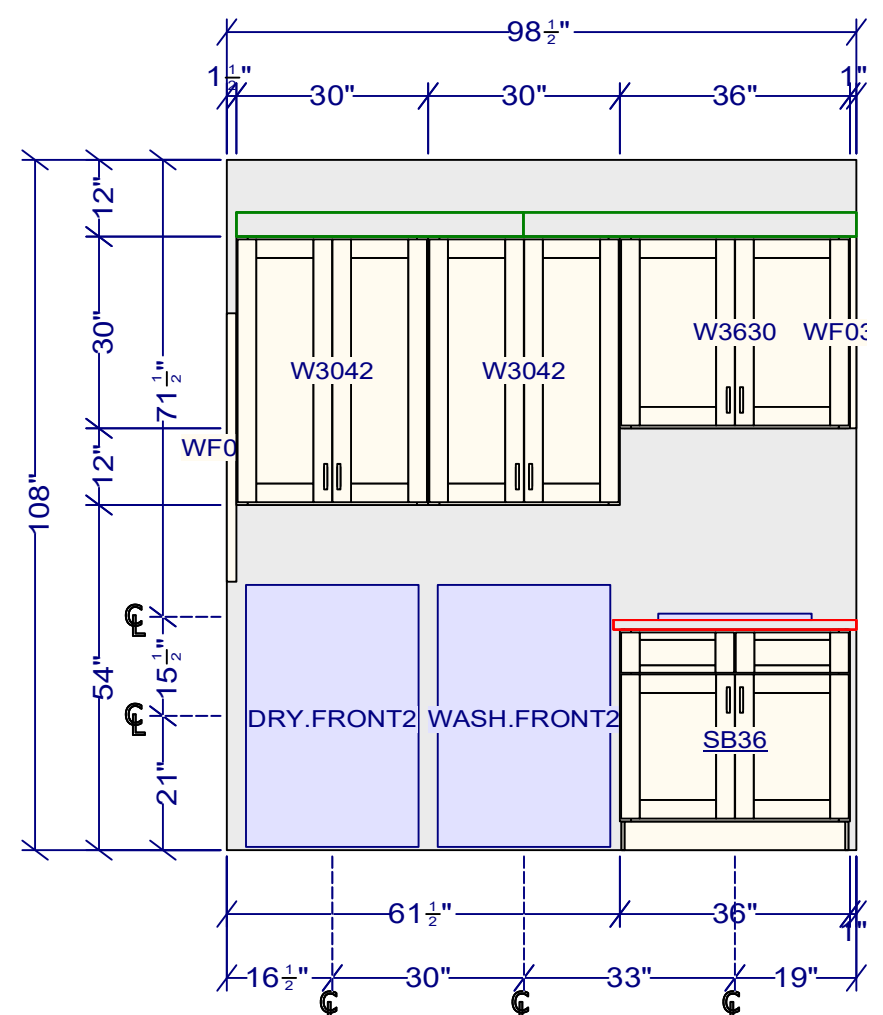
PROJECT
PLAN: Promenade
ELEV: Elevation C - Craftsman
LOT: 25

LOT ADDRESS: 1450 TRIPLE CROWN WAY
XENIA, OH 45385

INTERIOR ELEVATIONS & MILLWORK
BATHROOMS, LAUNDRY

SHEET NUMBER

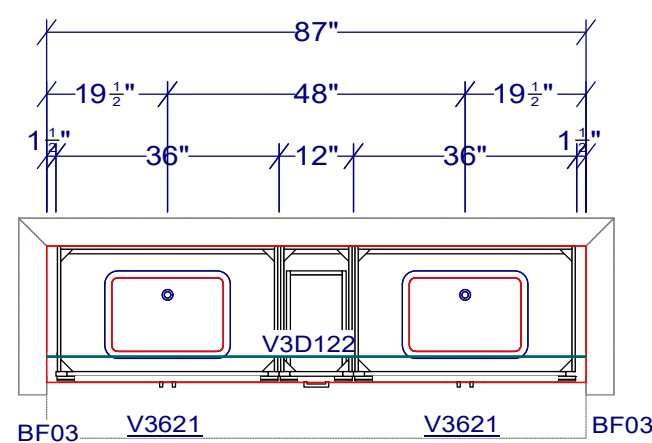
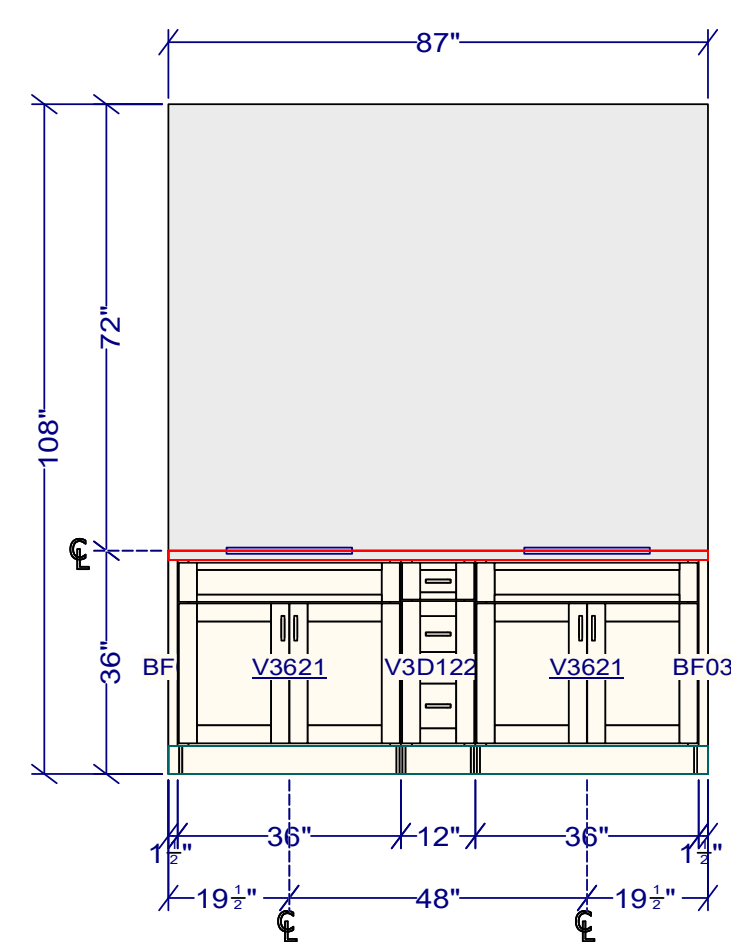
A-602



- LAUNDRY ROOM**
** TIDWELL CABINETRY ALWAYS **
1- TK96
2- SCM
2- CRM3

HARDWARE COUNT
8- DOORS

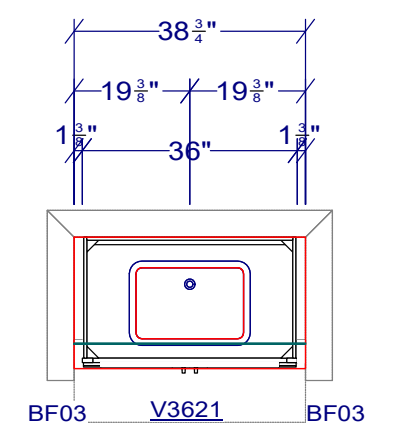
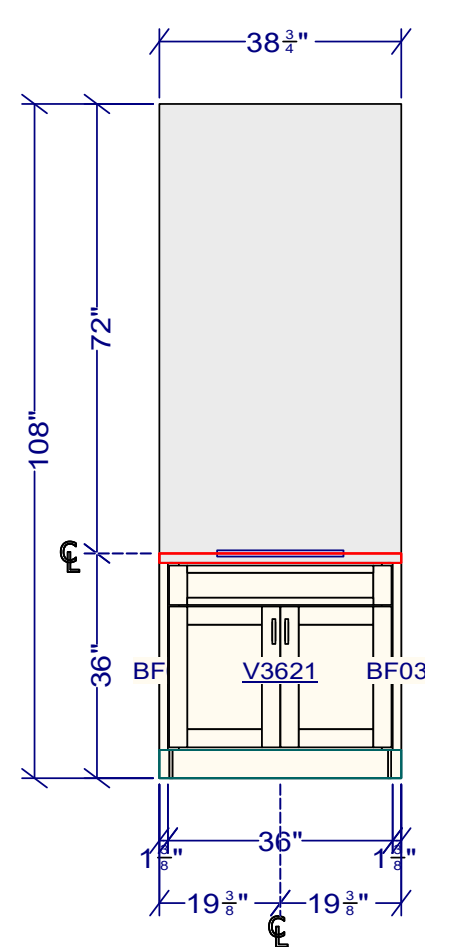
DELUXE LAUNDRY



- OWNERS BATH**
1- TK96
1- SCM

HARDWARE COUNT
4- DOORS
3- DRAWERS

OWNER'S BATH



- BATH #2**
1- TK96
1- SCM

HARDWARE COUNT
2- DOORS

BATH 2