

CS 28 - 1436 Triple Crown Way

1 Story Slab

Ice maker

1 - RH tub

1 - tiled shower drain

Requires pressure regulator on water
main !! Tankless heater

Laundry Tub

Gas Furnace , Heater and Fireplace



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ISSUE	DESCRIPTION	DATE
01	BUILDER SET	6/21/2024

CSV 28

MASTER PLAN: Palazzo | ELEVATION: Elevation A - Craftsman | COMMUNITY: Courtyards at Stonehill Village | LOT NUMBER: 28 | ADDRESS: 1436 Triple Crown Way, Xenia, Ohio 45385

PROJECT SUMMARY	
BUILDING AREA	
CONDITIONED AREA	
FIRST FLOOR SF	1640 SF
TOTAL CONDITIONED AREA :	1640 SF
TOTAL GARAGE AREA :	484 SF
FRONT PORCH AREA :	70 SF
REAR PORCH AREA :	125 SF
PATIO AREA :	405 SF

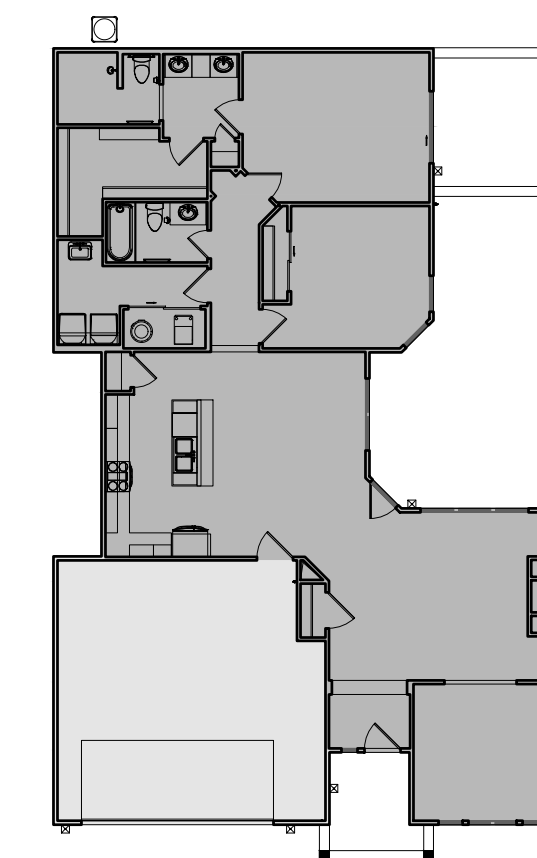
GENERAL NOTES
DESIGN CRITERIA: NUMBER OF STORIES: 1 BUILDING WIDTH: 45'-8" BUILDING DEPTH: 68'-2 1/2" BUILDING HEIGHT: 20'-9 1/4"

GOVERNMENTAL CODES AND STANDARDS
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BUILDING CODE ANALYSIS / DESIGN CRITERIA
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GRAPHIC SYMBOLS & LEGEND	
	ELEVATION MARKER
	ROOF SLOPE
	SD
	SD / CO

FIRST FLOOR



- CONDITIONED AREA = 1640 SF
- UNCONDITIONED AREA = 484 SF

SHEET INDEX

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A-302	ROOF PLAN
A-401	DOOR SCHEDULE & DETAILS
A-501	WINDOW ELEVATION & DETAILS
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A-602	INTERIOR ELEVATIONS & MILLWORK
A-603	INTERIOR FINISH & TRIM PLAN
A-701	SECTIONS & DETAILS
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A-703	SECTIONS & DETAILS
A-704	SECTIONS & DETAILS
E-101	FIRST FLOOR ELECTRICAL PLAN
G-101	GENERAL INFORMATION

PROJECT
PLAN: Palazzo ELEV: Elevation A - Craftsman LOT: 28
LOT ADDRESS: 1436 TRIPLE CROWN WAY XENIA, OH 45385

DRAWING TITLE
COVER

SHEET NUMBER
CP

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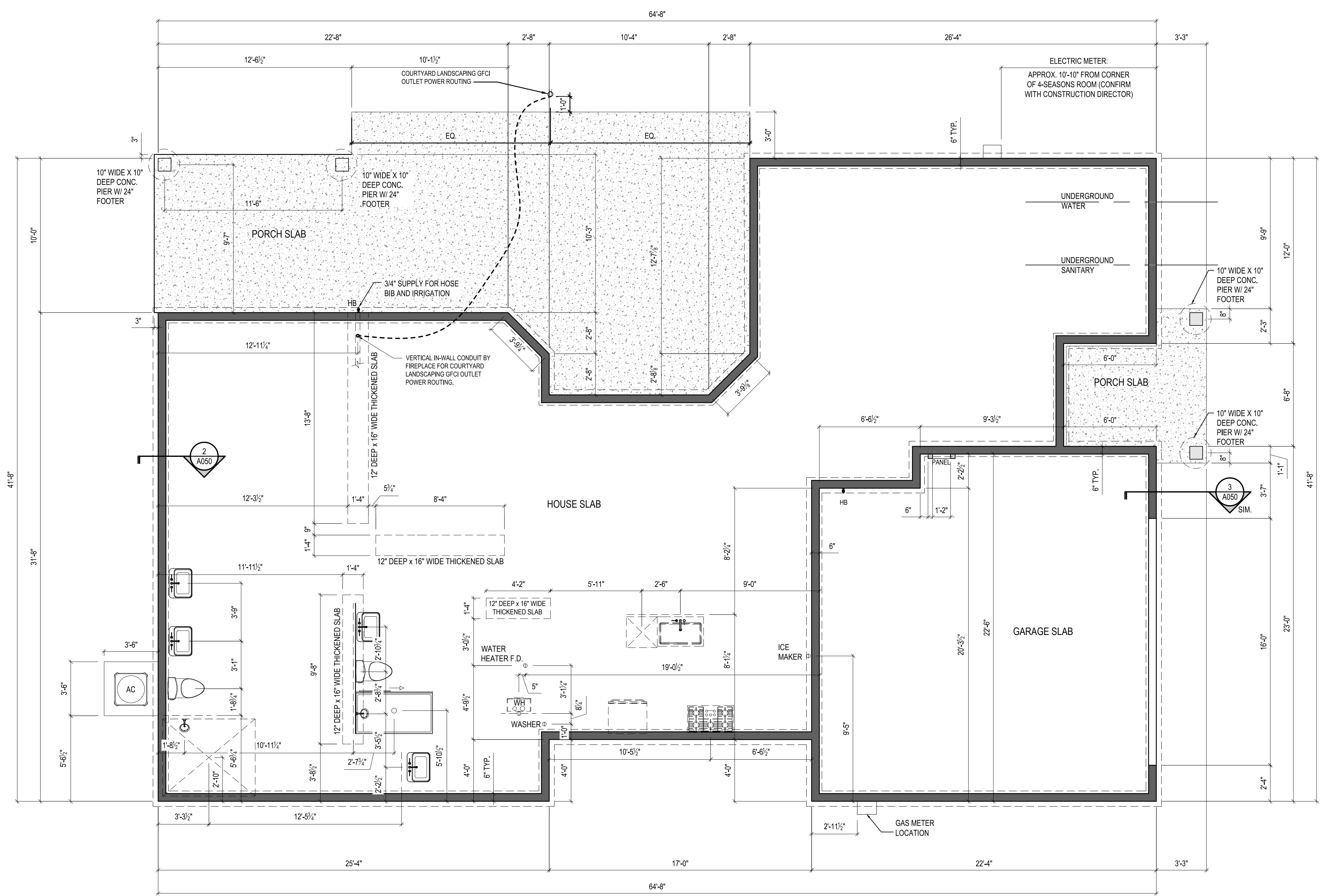
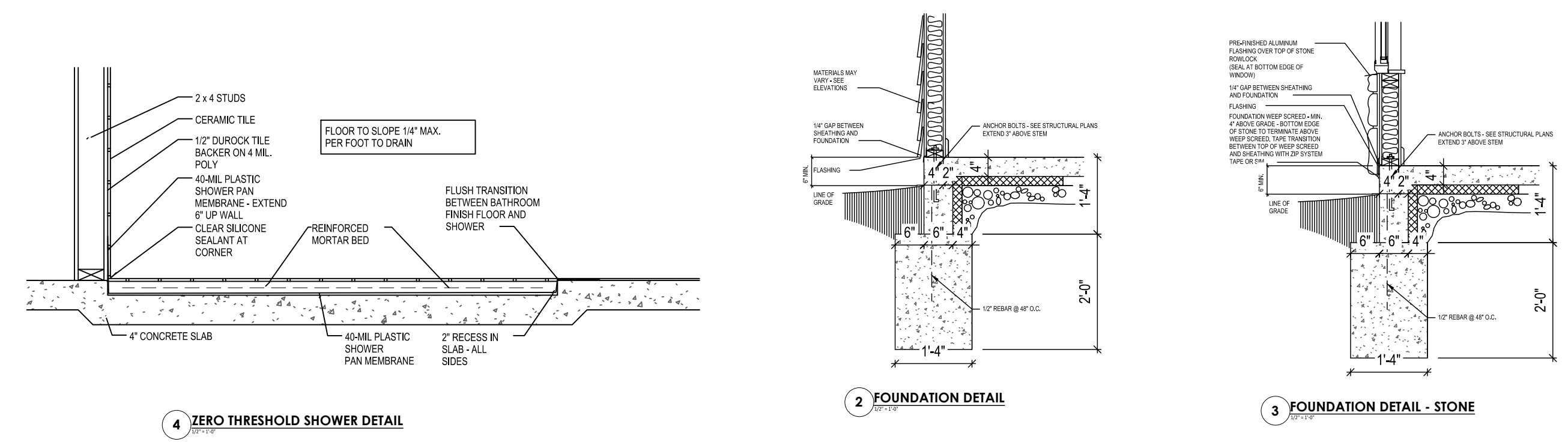
PROJECT
PLAN: Palazzo
ELEV: Elevation A - Craftsman
LOT: 28

LOT ADDRESS: 1436 TRIPLE CROWN WAY
XENIA, OH 45385

DRAWING TITLE
FOUNDATION PLAN

SHEET NUMBER
A-201

NOTES:
ALL CONCRETE FOUNDATION STEM WALLS AT 8" THICK



NOTES:
THICKENED SLAB SHALL BE REINFORCED WITH CONTINUOUS (2) #4 REBAR

1 FOUNDATION PLAN
A-201
1/8" = 1'-0" @ 11" x 17"

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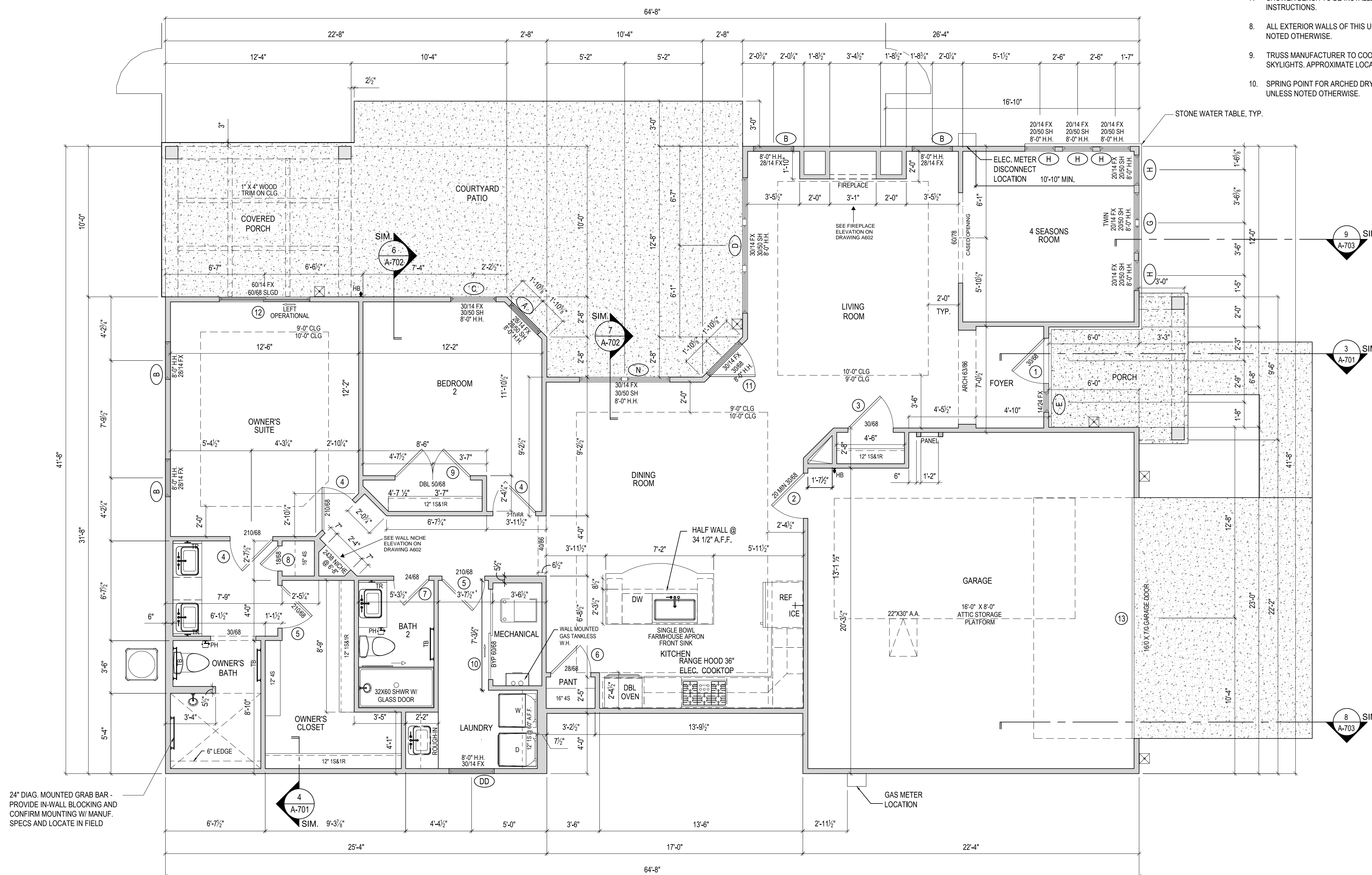
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PLAN: Palazzo
ELEV: Elevation A - Craftsman
LOT: 28

LOT ADDRESS: 1436 TRIPLE CROWN WAY
XENIA, OH 45385

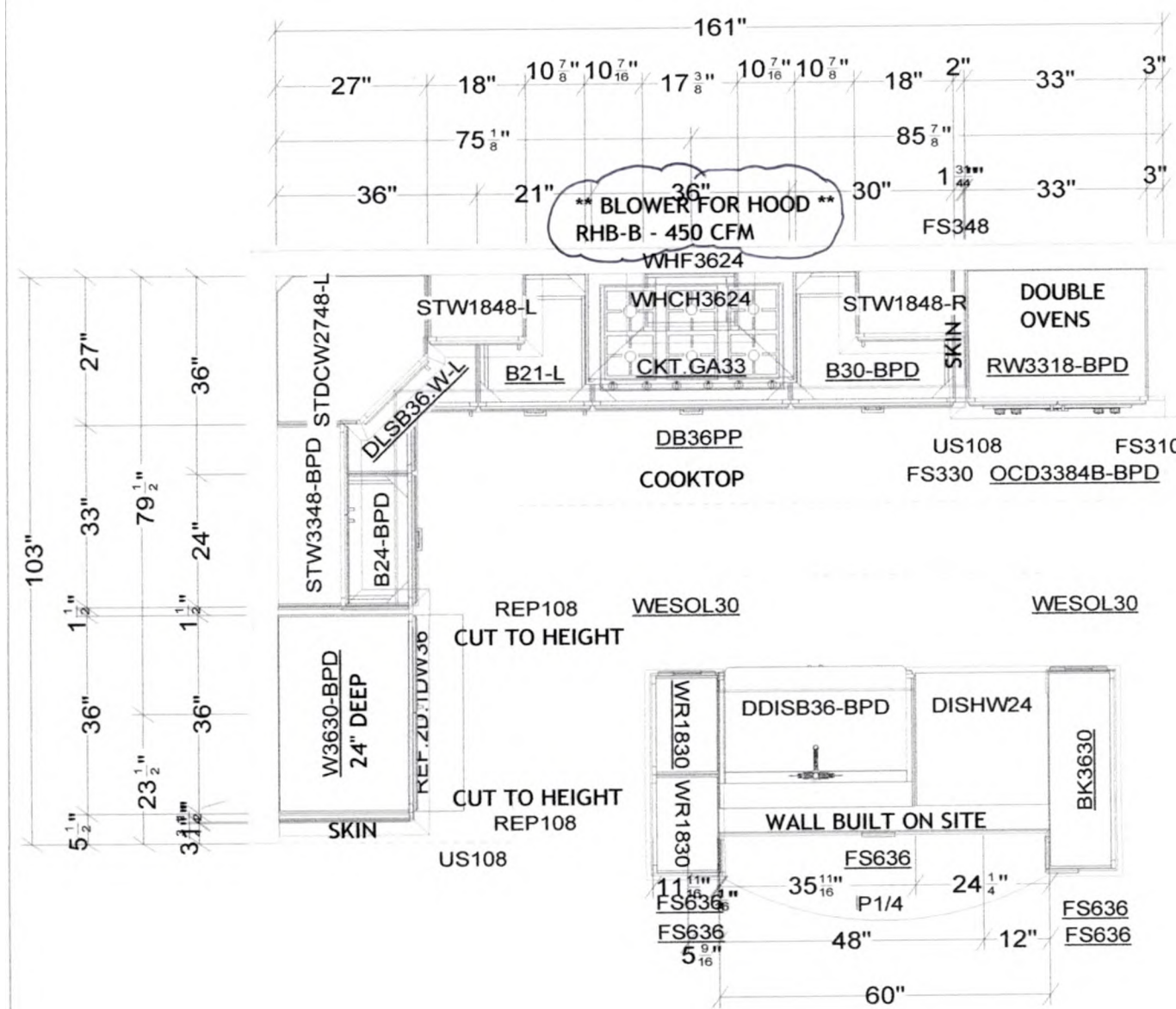
DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A-301

- GENERAL NOTES:
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS.
 4. ANGLED WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 5. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS.
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20# S.F. ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS.
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE.
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS.
 10. SPRING POINT FOR ARCHED GLASS WALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE.



24" DIAG. MOUNTED GRAB BAR - PROVIDE IN-WALL BLOCKING AND CONFIRM MOUNTING W/ MANUF. SPECS AND LOCATE IN FIELD



- ACCESSORIES**
- 4- TK96 (TOE KICK)
 - 3- TOEBASE6X96.SH (BASE FOR ISLAND BACK AND SIDES)
 - 1- P1/4 (SKIN FOR ISLAND BACK)
 - 1- IC (INSIDE CORNER)
 - 7- QR (BASE OF TOE AND BASEBOARD)
 - 3- FM-3/4 (SCRIBE)
 - 5- CM5H (CROWN)
 - 5- FS696-F4S (CROWN NAILER)
 - 1- REPAIR KIT
- HARDWARE COUNT**
- 32- DOORS
 - 7- DRAWERS

All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

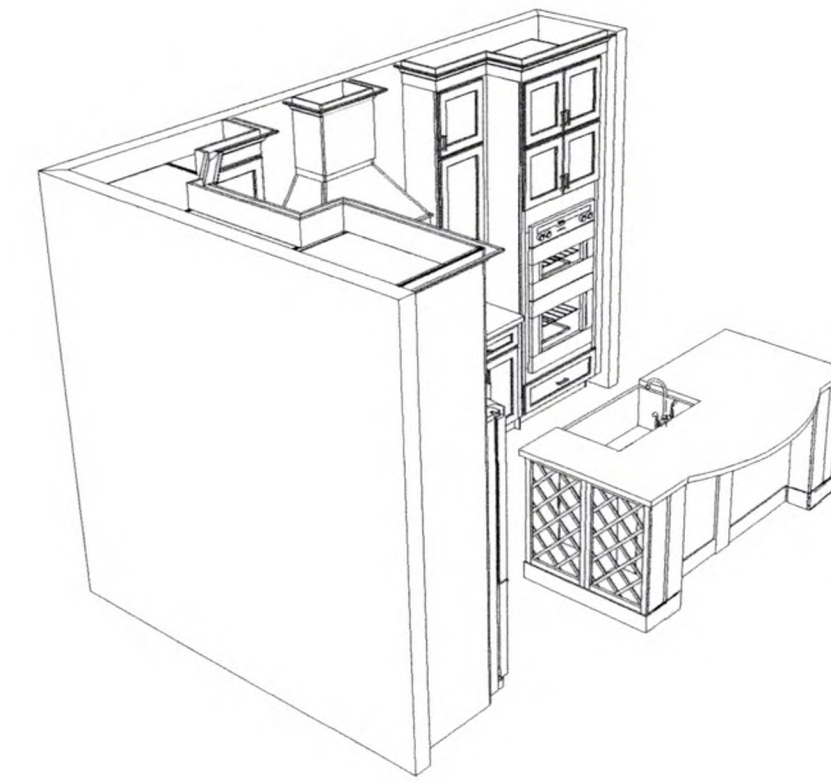
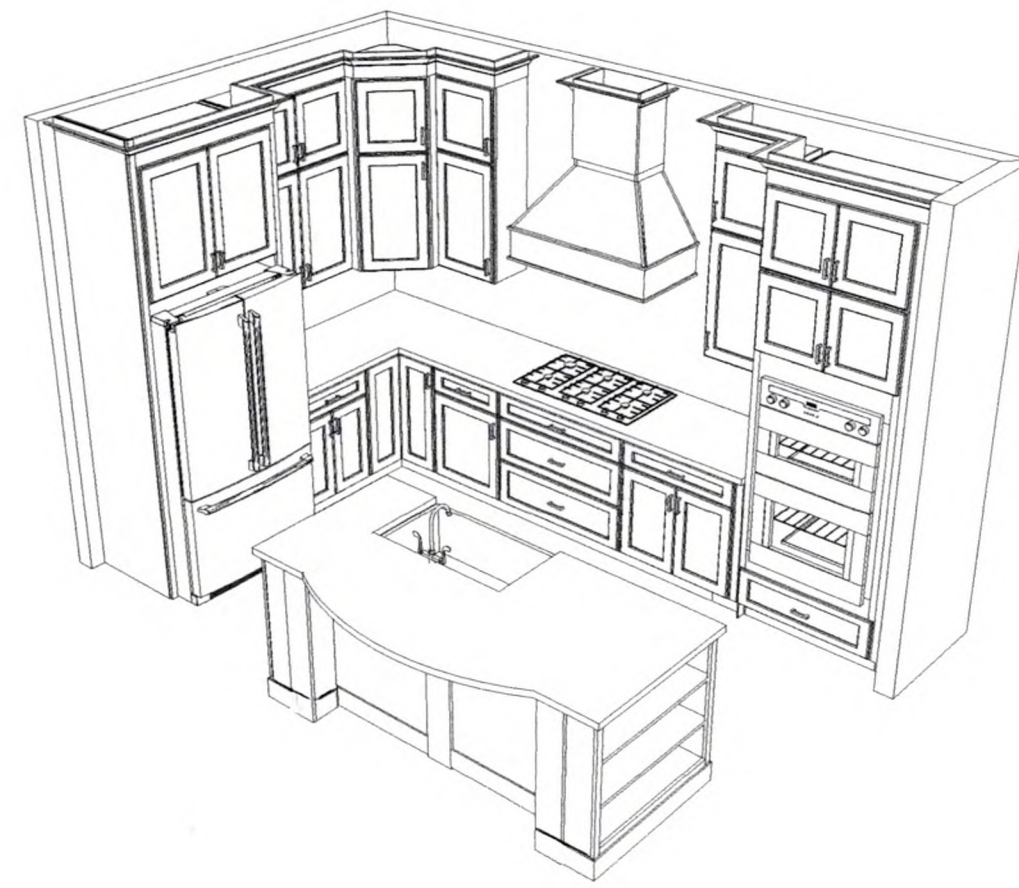
2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 6/20/2024
Printed: 6/20/2024

Lot 28 Kitchen - Palazzo Gourmet - Wine Island.kit

All Drawing #: 1 No Scale.



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

2020

Designed: 6/20/2024
Printed: 6/20/2024

Lot 28 Kitchen - Palazzo Gourmet - Wine Island.kit

All Drawing #: 1

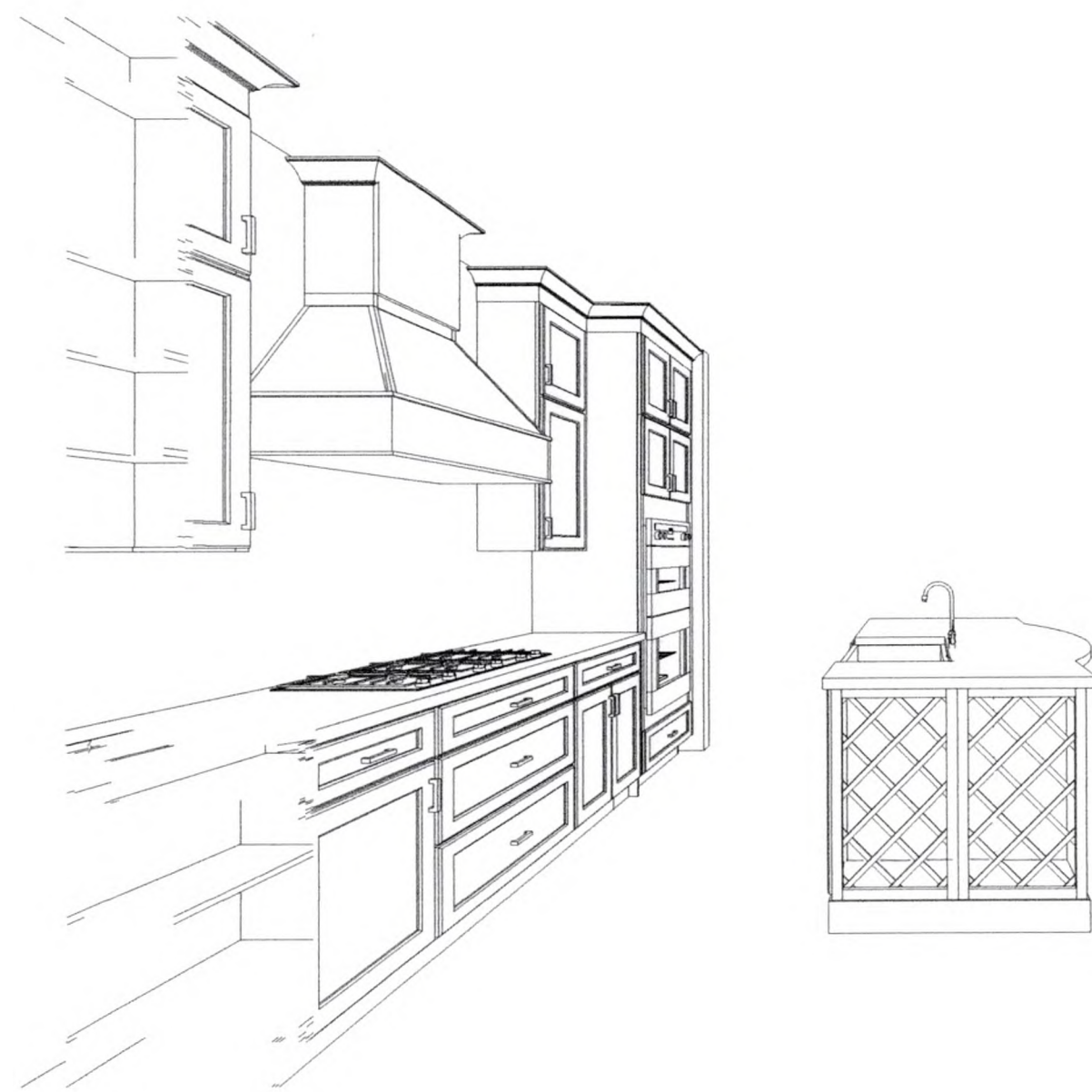
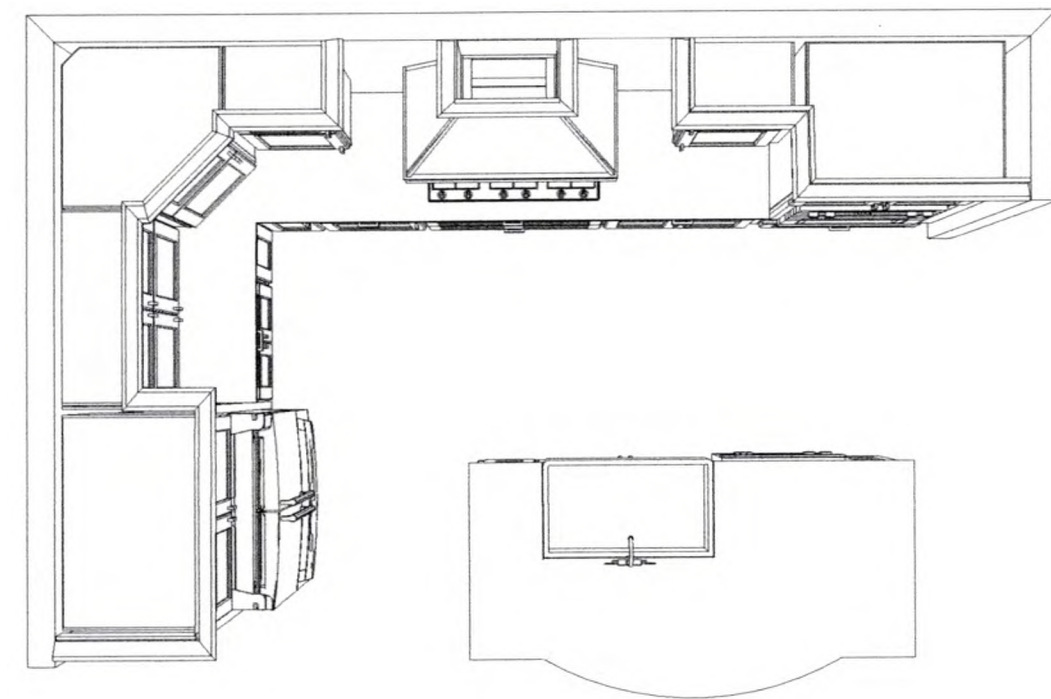
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2020

Designed: 6/20/2024
Printed: 6/20/2024

Lot 28 Kitchen - Palazzo Gourmet - Wine Island.kit

All Drawing #: 1



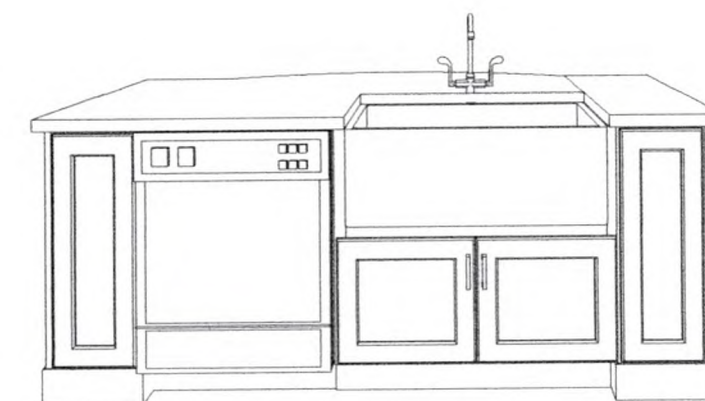
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2020

Designed: 6/20/2024
Printed: 6/20/2024

Lot 28 Kitchen - Palazzo Gourmet - Wine Island.kit

All Drawing #: 1



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2020

Designed: 6/20/2024
Printed: 6/20/2024

Lot 28 Kitchen - Palazzo Gourmet - Wine Island.kit

All Drawing #: 1



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2020

Designed: 6/20/2024
Printed: 6/20/2024

Lot 28 Kitchen - Palazzo Gourmet - Wine Island.kit

All Drawing #: 1

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PROJECT
PLAN: Palazzo
ELEV: Elevation A - Craftsman
LOT: 28

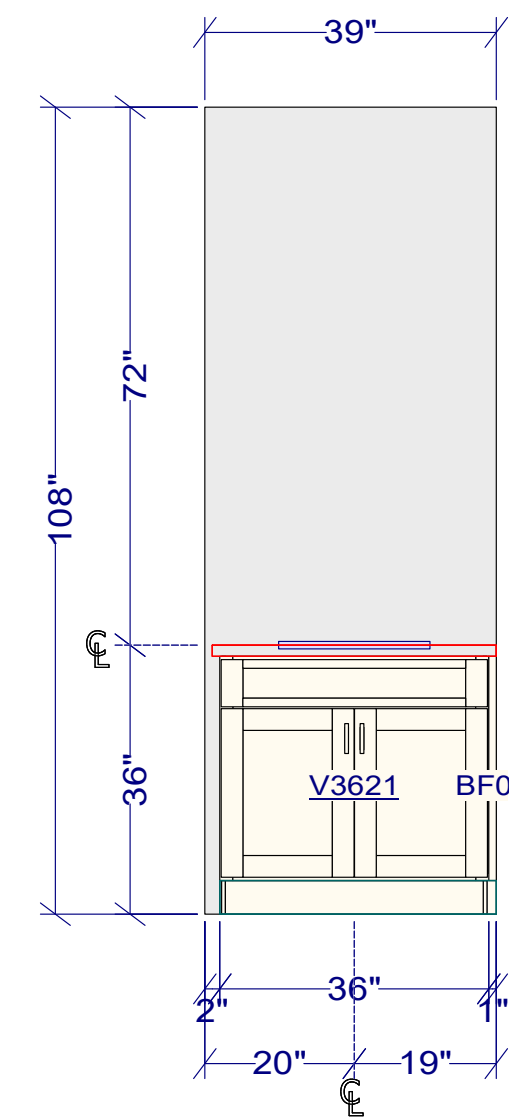
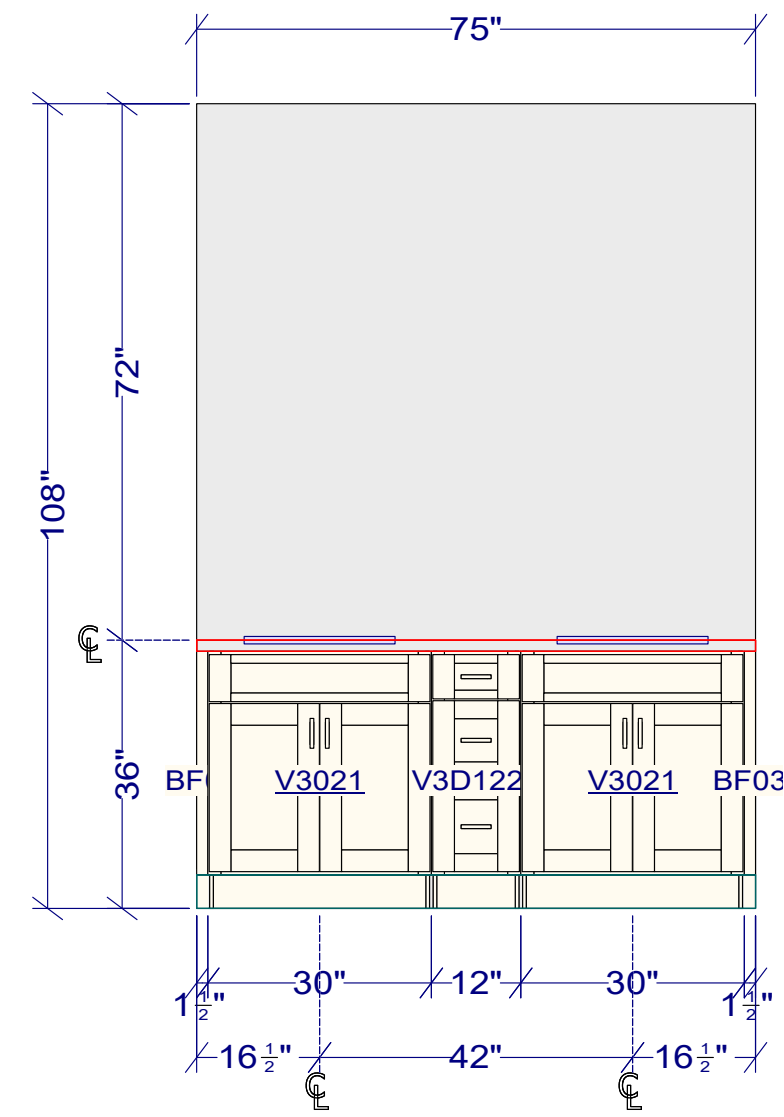
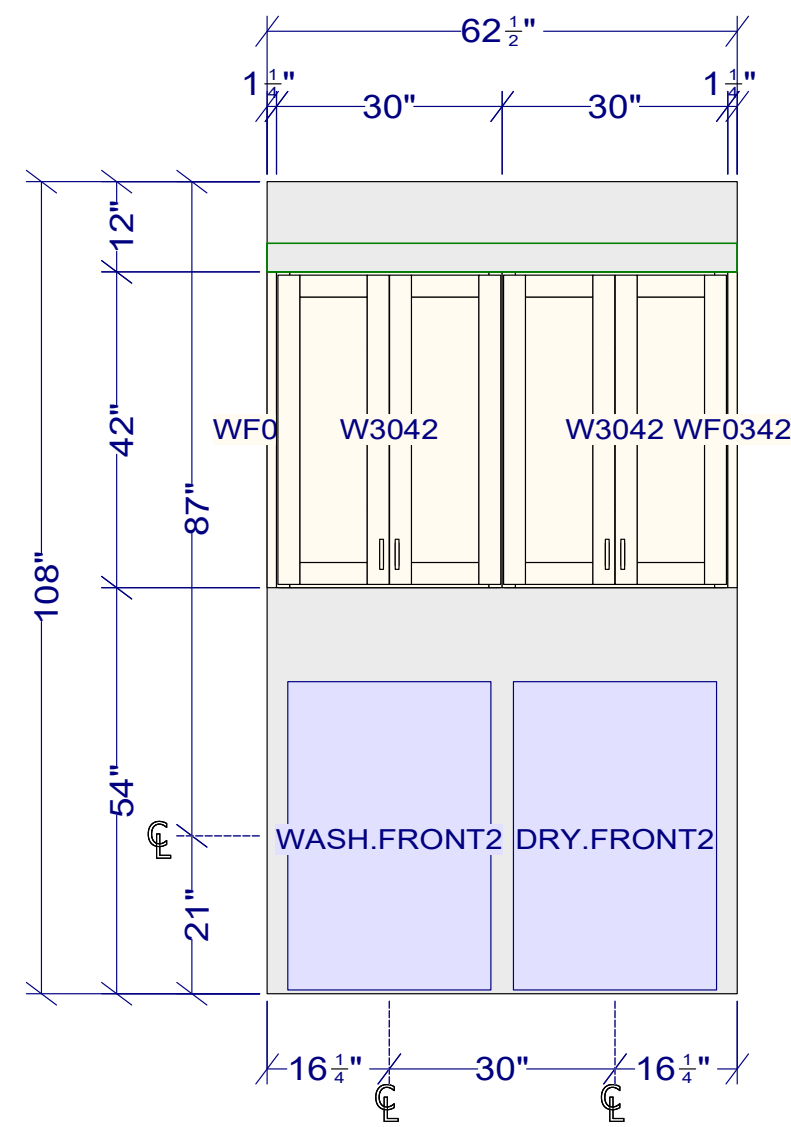
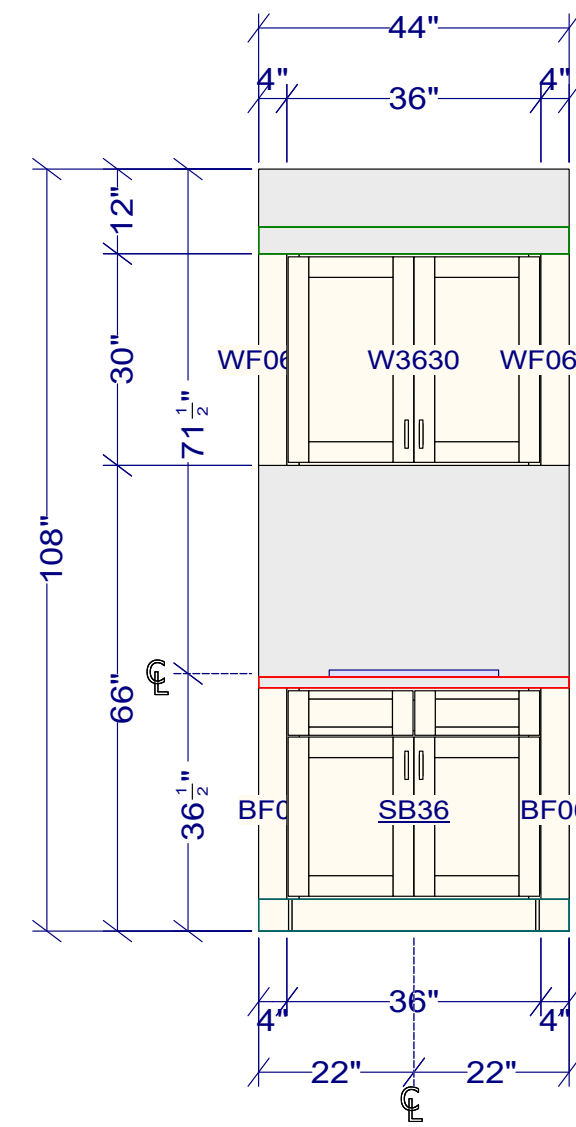
LOT ADDRESS: 1436 TRIPLE CROWN WAY
XENIA, OH 45385

INTERIOR ELEVATIONS &
MILLWORK

KITCHEN

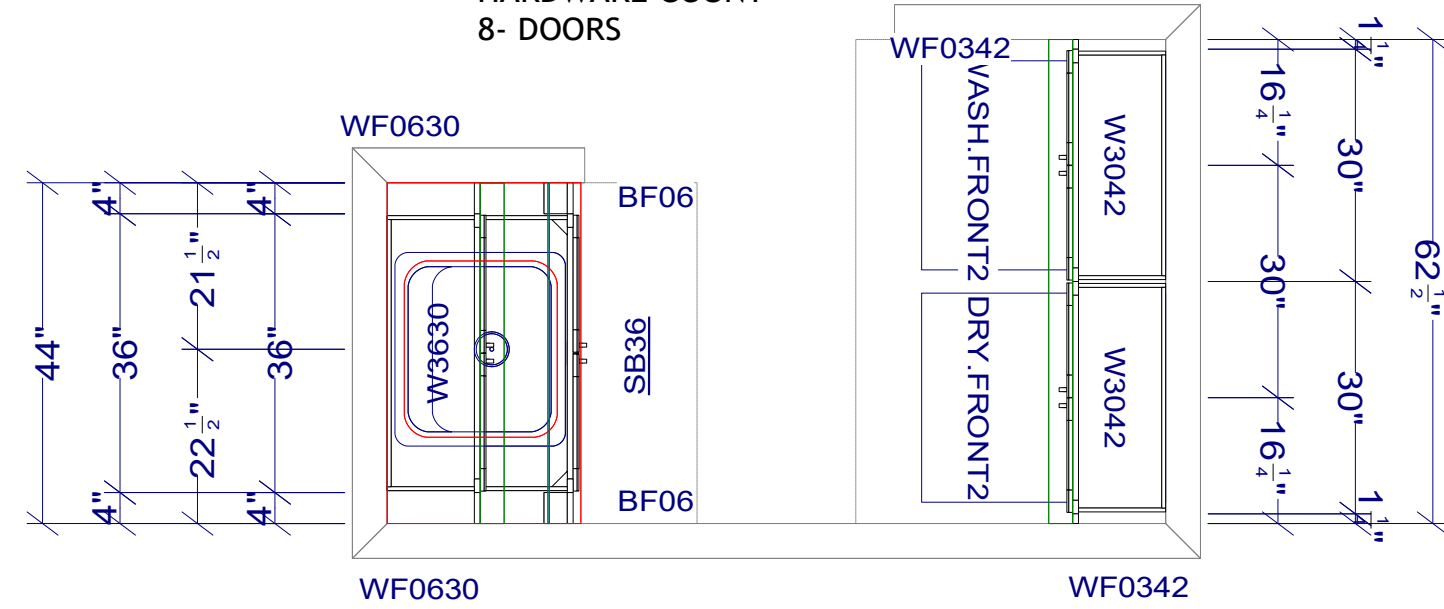
SHEET NUMBER

A-601

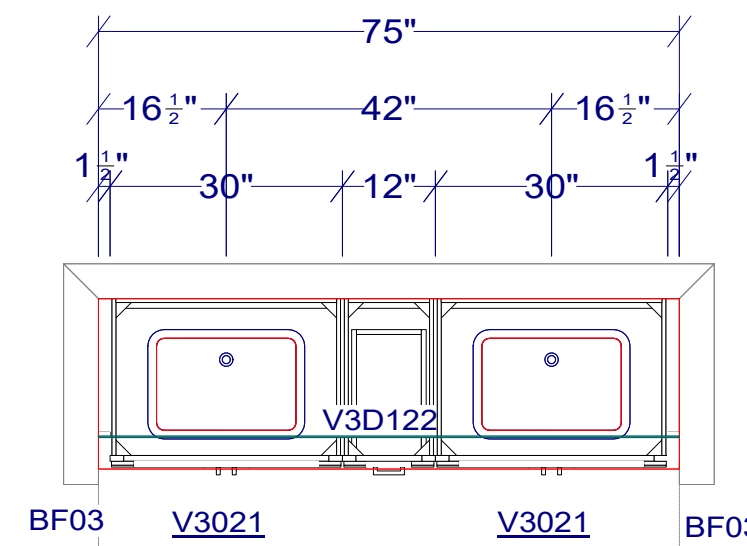


LAUNDRY ROOM
 1- TK96
 3- SCM
 2- CRM3

HARDWARE COUNT
 8- DOORS



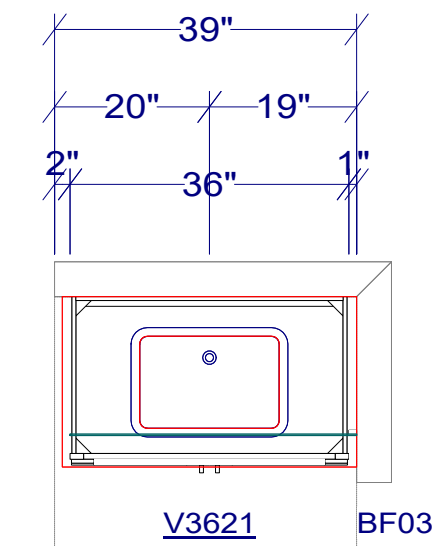
DELUXE LAUNDRY



OWNERS BATH
 1- TK96
 1- SCM

HARDWARE COUNT
 4- DOORS
 3- DRAWERS

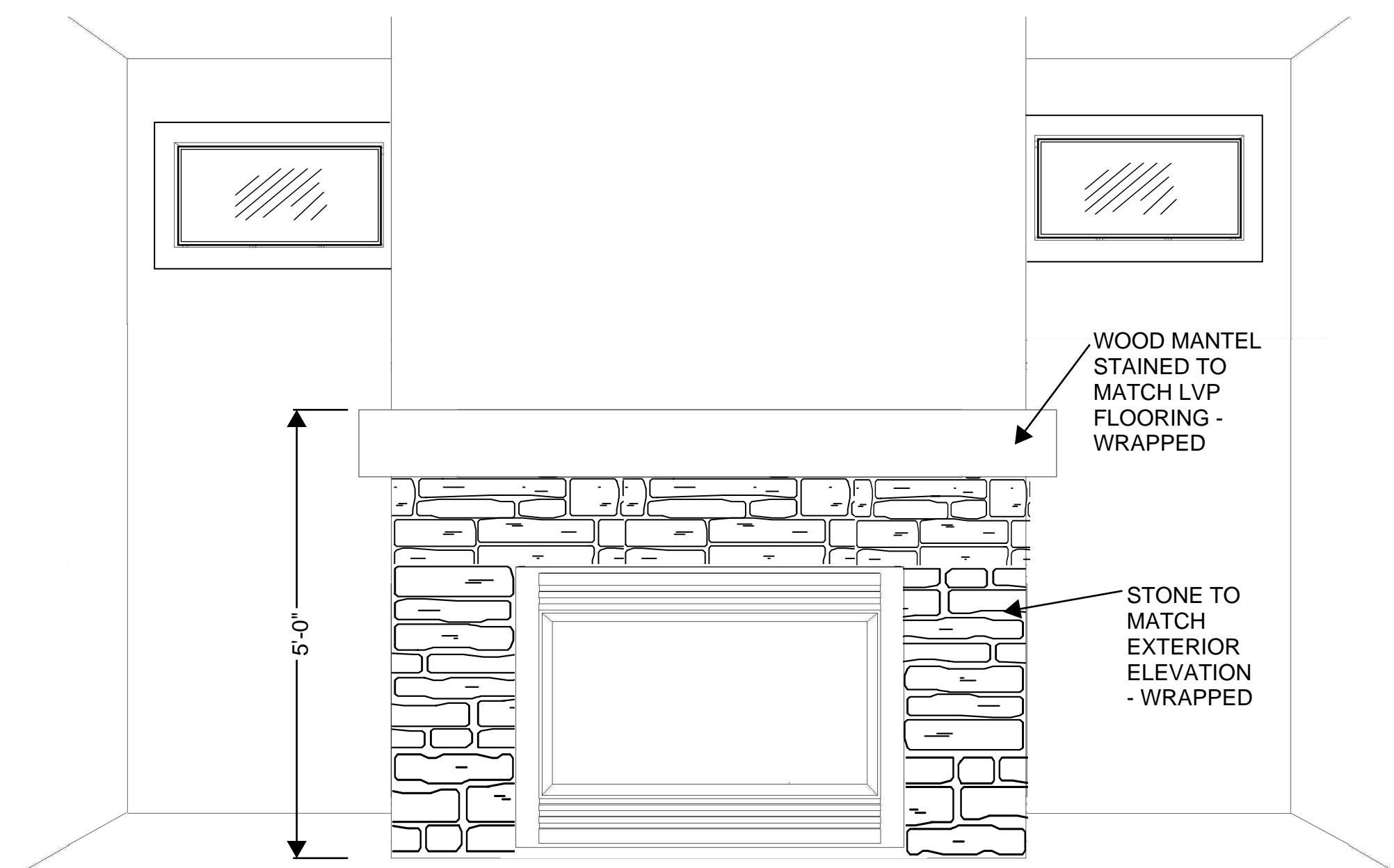
OWNER'S BATH



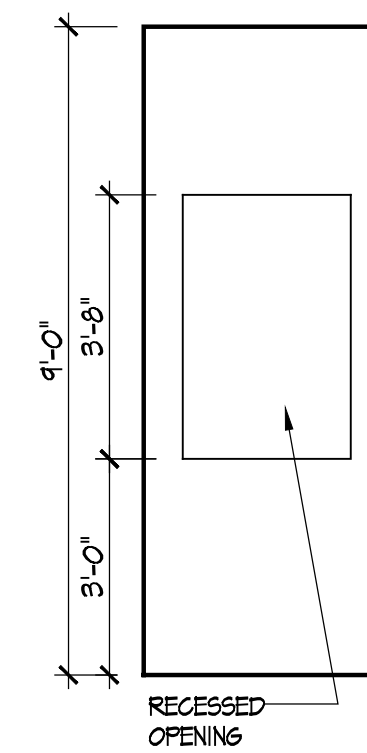
BATH #2
 1- TK96
 1- SCM

HARDWARE COUNT
 2- DOORS

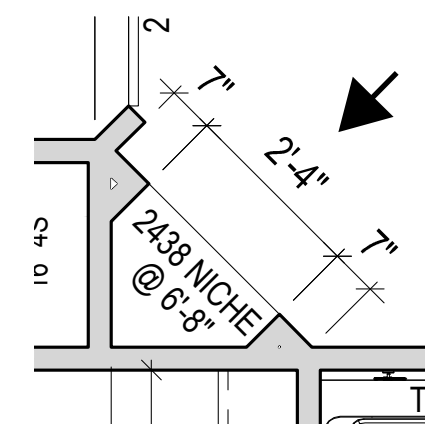
BATH 2



FIREPLACE ELEVATION



OWNER'S SUITE HALLWAY NICHE



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 LOT: 28

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 XENIA, OH 45385

INTERIOR ELEVATIONS & MILLWORK
BATHROOMS, LAUNDRY

SHEET NUMBER
A-602