

CS 29 - 1430 Triple Crown

2 Story Slab - 3 baths

Laundry Tub

1 - 32x60 shower base

1 - tiled shower

1 - LH tub base

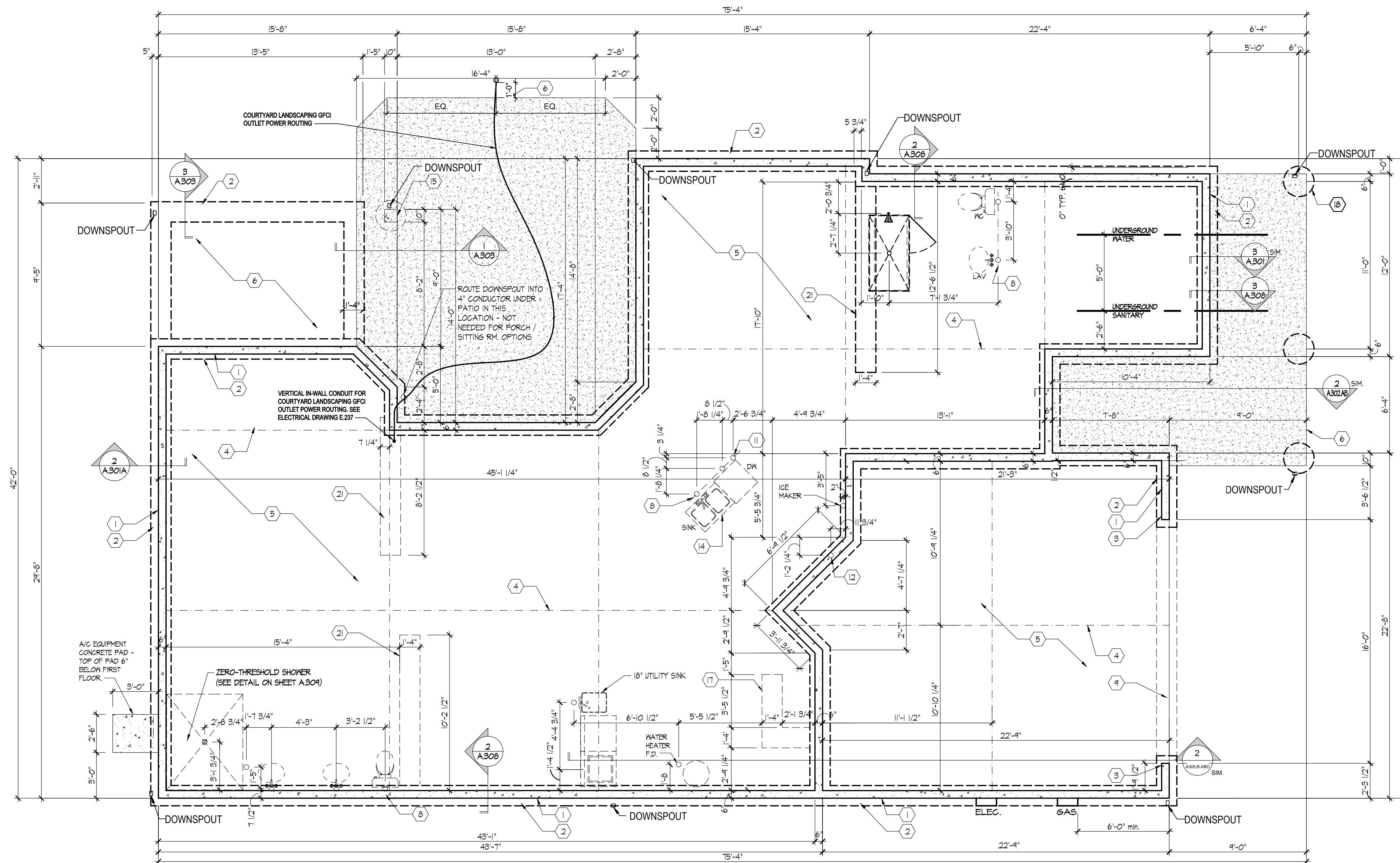
Ice maker

Electric heater - do not set on rough

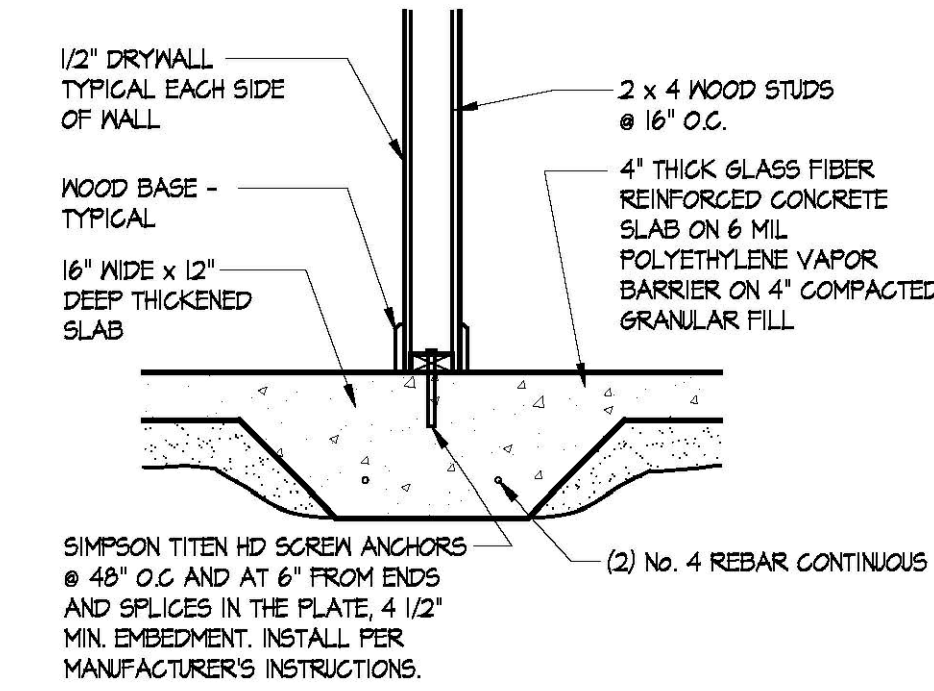
Wet bar 2nd floor

Requires pressure regulator on water main !!

Gas Furnace and Range - NO FIREPLACE !!



1 FOUNDATION PLAN
1/4" = 1'-0"



SECTION 5
3/4" = 1'-0"

- FOUNDATION CODED NOTES**
(FOUNDATION PLAN ONLY)
(ALL NOTES NOT APPLICABLE TO ALL SHEETS)
- POURED CONCRETE FOUNDATION STEM WALL (TYPICAL) - SEE WALL SECTIONS SHEETS.
 - 16" WIDE CONCRETE FOOTING WITH FIBERGLASS BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TOP OF FOOTING SET 16" BELOW FINISHED FLOOR - TYPICAL.
 - PROVIDE MIN. 2 ANCHOR BOLTS EACH SIDE OF GARAGE DOORS.
 - SAW CUT CONTROL JOINT IN CONCRETE SLAB, 1/8" WIDE x 1/4" DEEP - TYPICAL.
 - 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER AND 4" GRAVEL BASE - TYPICAL.
 - 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 4" GRAVEL BASE - TYPICAL IN GARAGES.
 - NOT USED.
 - PIPE LOCATION CENTERED ON WALL ABOVE.
 - NO STEM WALL AT GARAGE DOOR OPENINGS.
 - NOT USED.
 - ELECTRICAL CONDUIT UNDER SLAB FOR ELECTRICAL OUTLET AT KITCHEN ISLAND.
 - NOT USED.
 - 24" SQUARE CONCRETE FOOTING WITH FIBERGLASS BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISH FLOOR.
 - DASHED LINES INDICATE LOCATION OF PLUMBING FIXTURES ABOVE - SHOWN FOR REFERENCE ONLY.
 - 10" WIDE x 10" DEEP CONCRETE PIER WITH 24" DIA. FOOTING. MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF PIER SET 6" BELOW FINISHED FLOOR.
 - DOTTED LINE INDICATES WALL LINE OF BASE UNIT.
 - 8" DEEP x 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS.
 - 24" DIA. FOOTING - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE.
 - 12" DEEP CONCRETE FOOTING WITH (2) NO. 5 REBAR EACH WAY - SEE FLANS FOR SIZE - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE. 12" THICKENED SLAB EDGE TO CONTINUE DOWN TO FOOTING.
 - 24" WIDE CONCRETE FOOTING WITH FIBERGLASS BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
 - 12" DEEP x 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS. TYPICAL UNDER ALL INTERIOR SHEAR WALLS.
 - 36" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
 - 30" SQUARE CONCRETE FOOTING.
 - 24" SQUARE x 8" DEEP THICKENED SLAB WITH (3) NO. 4 REBAR CONTINUOUS EACH WAY.

- GENERAL FOUNDATION NOTES**
- SOIL BEARING CAPACITY ASSUMED TO BE 2500 PSF AND SHALL BE VERIFIED BY SOILS ENGINEER PRIOR TO PLACEMENT OF BUILDING FOUNDATION. CONSULT ARCHITECT WHEN INADEQUATE SOIL CAPACITIES ARE FOUND.
 - ALL DIMENSIONS ARE TO FACE OF FOUNDATION / BASEMENT WALL UNLESS NOTED OTHERWISE.
 - HOLD DOWN TOP OF FOUNDATION WALL 8" AT ALL ENTRY DOORS TO ALLOW FOR EXTENSION OF FLOOR SLAB UNDER THE DOOR THRESHOLDS.
 - PLUMBING CONTRACTOR TO USE ROUND BUCKETS FOR FORMED SLAB PENETRATIONS.
 - CONCRETE CONTRACTOR TO INSTALL 1/2" EXP. JT. AROUND THE PERIMETER OF GARAGES.
 - CONCRETE CONTRACTOR COORDINATE WITH PLUMBING FOR LOCATION OF BLOCKOUTS FOR UNDERSLAB LINES.
 - CONCRETE CONTRACTOR - SEE FIRST FLOOR PLAN FOR SIDEWALKS AND PATIOS.
 - CONCRETE CONTRACTOR TO VERIFY SLAB PENETRATION AT TUB/SHOWER OPTIONS.
 - SEE WALL SECTION SHEETS FOR ANCHOR BOLT SPECIFICATIONS.

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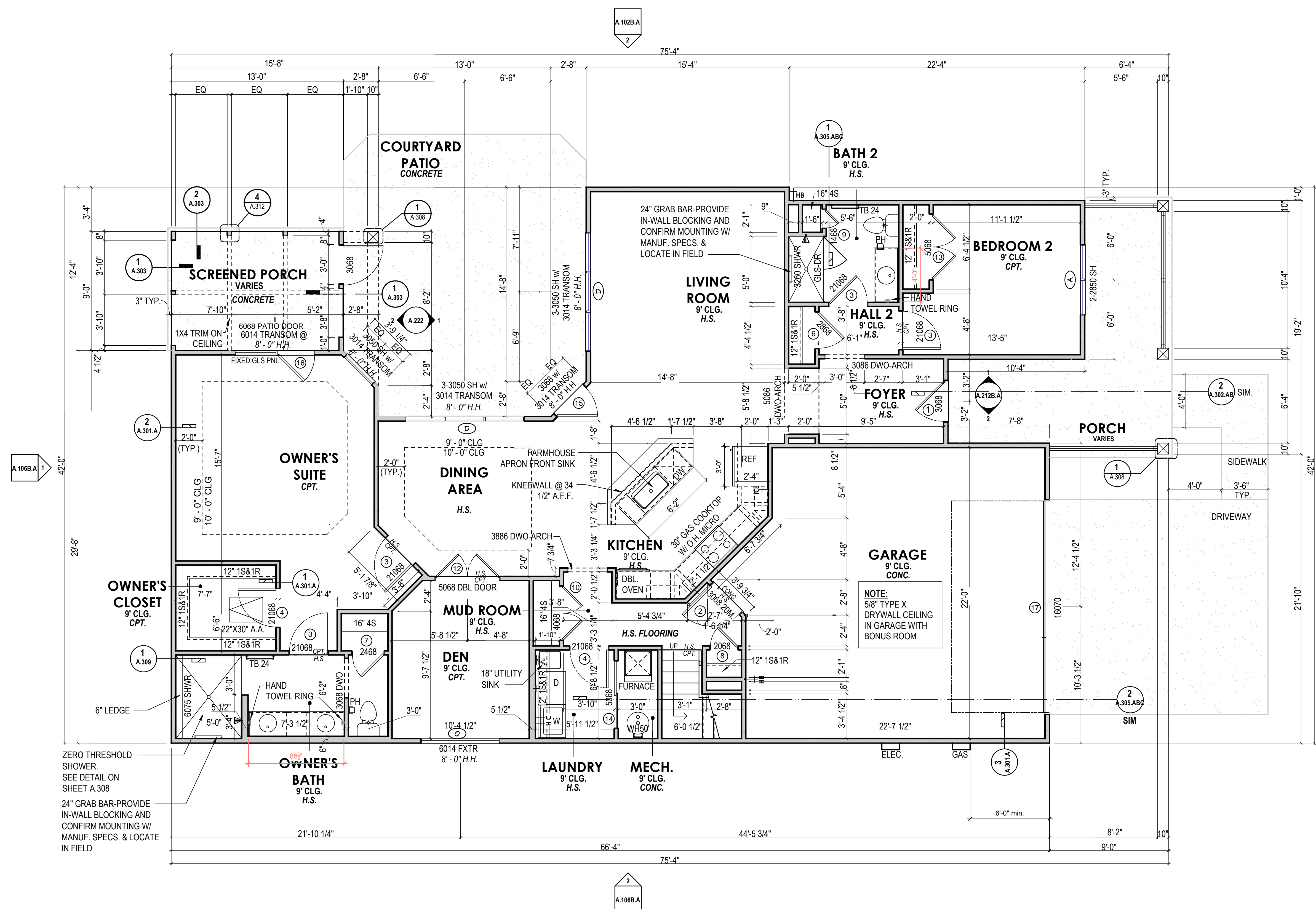
Artisan Communities
8055-C Corporate Blvd.
Plain City, OH 43064



PLAN: Portico Bonus
GARAGE: Left
ELEVATION: Portico Bonus
Elevation A - Craftsman
LOT NUMBER: 29
ADDRESS: 1430 Triple Crown Way
Xenia, Ohio 45385

ISSUE:	DATE:	DESCRIPTION:
1	12/15/23	FOUNDATION PLAN
2	12/19/23	CD REVIEW SET
3	01/05/24	CD REVIEW SET
4	01/09/24	CD SET

DRAWING TITLE:
BONUS ROOM STEM-WALL SLAB PLAN - PORTICO BONUS ELEV. A
SHEET:
A.205B.A



- GENERAL NOTES**
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
 5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS
 10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE
 11. 8'-0" TALL INTERIOR DOORS OPTIONAL AT ALL FIRST FLOOR LOCATIONS.

ABBREVIATIONS

1S&1R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
DBL	DOUBLE
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWO	DRYWALL OPENING
ELEC	ELECTRIC
FLS	FLOATING SHELF
FX	FIXED
GLS	GLASS
HB	HOSE BIB
HDR	HEADER
H.S.	HARD SURFACE
O.H.	OVERHEAD
OPT.	OPTIONAL
PH	PAPER HOLDER
REF	REFRIGERATOR
SH	SINGLE HUNG
SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

WALL LEGEND

	BEARING FRAMING
	MASONRY LEDGE
	NON-BEARING FRAMING
	POURED FOUNDATION

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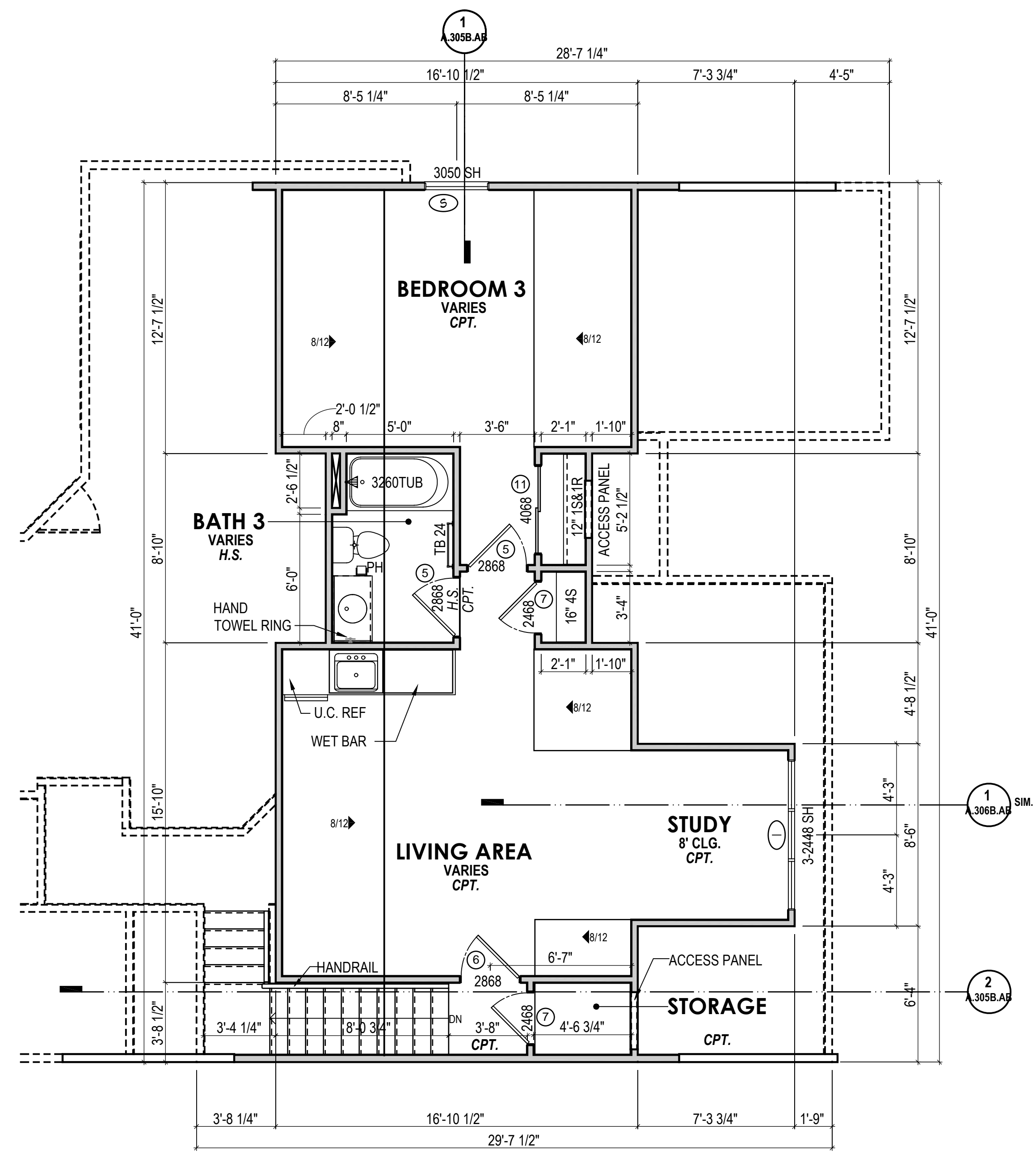
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DRAWING TITLE:
BONUS ROOM UDO - PORTICO
BONUS ELEV. A

SHEET:
A.237

UNIVERSAL DESIGN, BONUS ROOM
1 1ST FLOOR PLAN
1/4" = 1'-0"



1 **ELEVATION A BONUS ROOM**
2ND FLOOR PLAN
 1/4" = 1'-0"

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W	WASHER
WH	WATER HEATER

WALL LEGEND

	BEARING FRAMING
	MASONRY LEDGE
	NON-BEARING FRAMING
	POURED FOUNDATION



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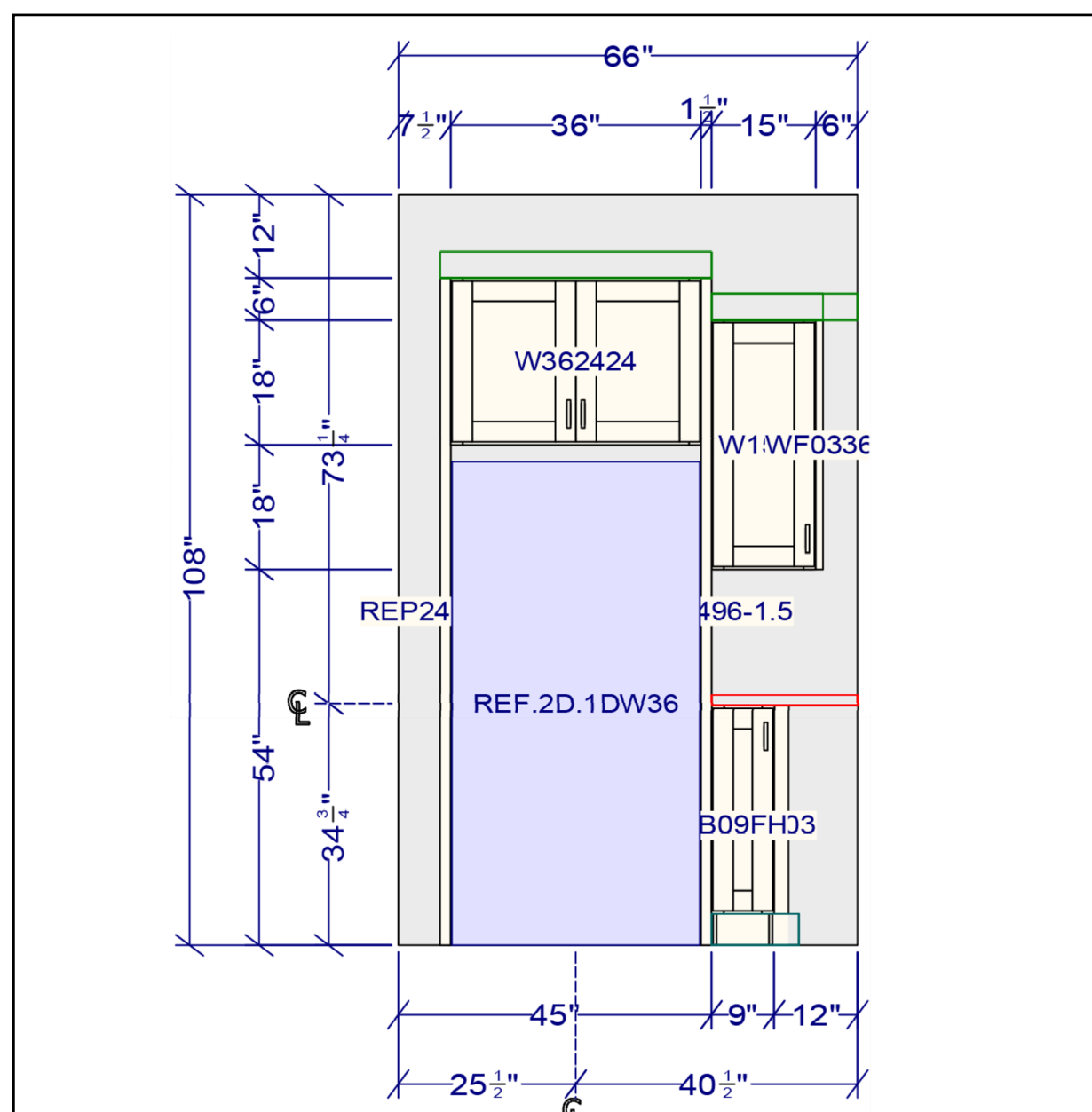


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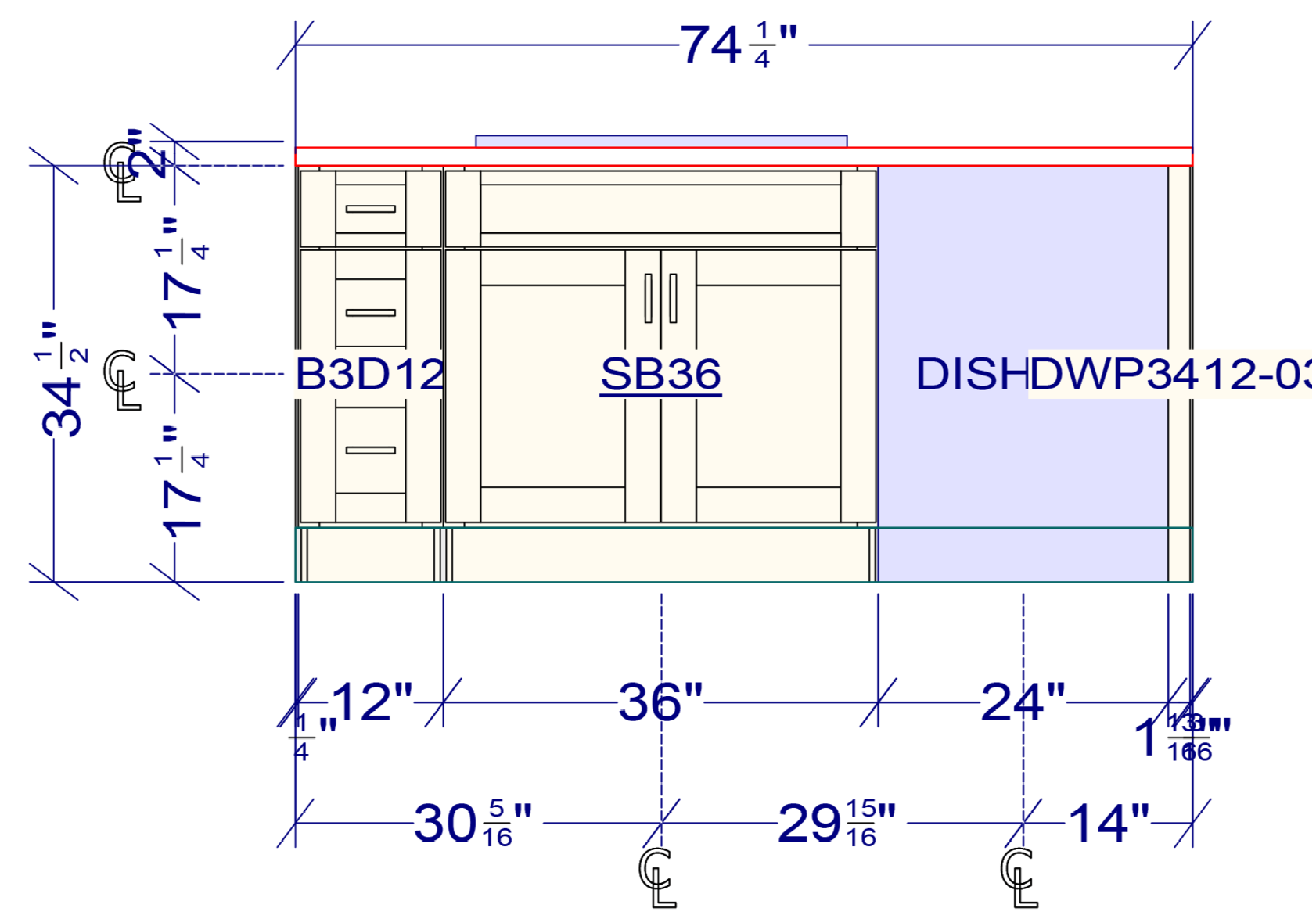
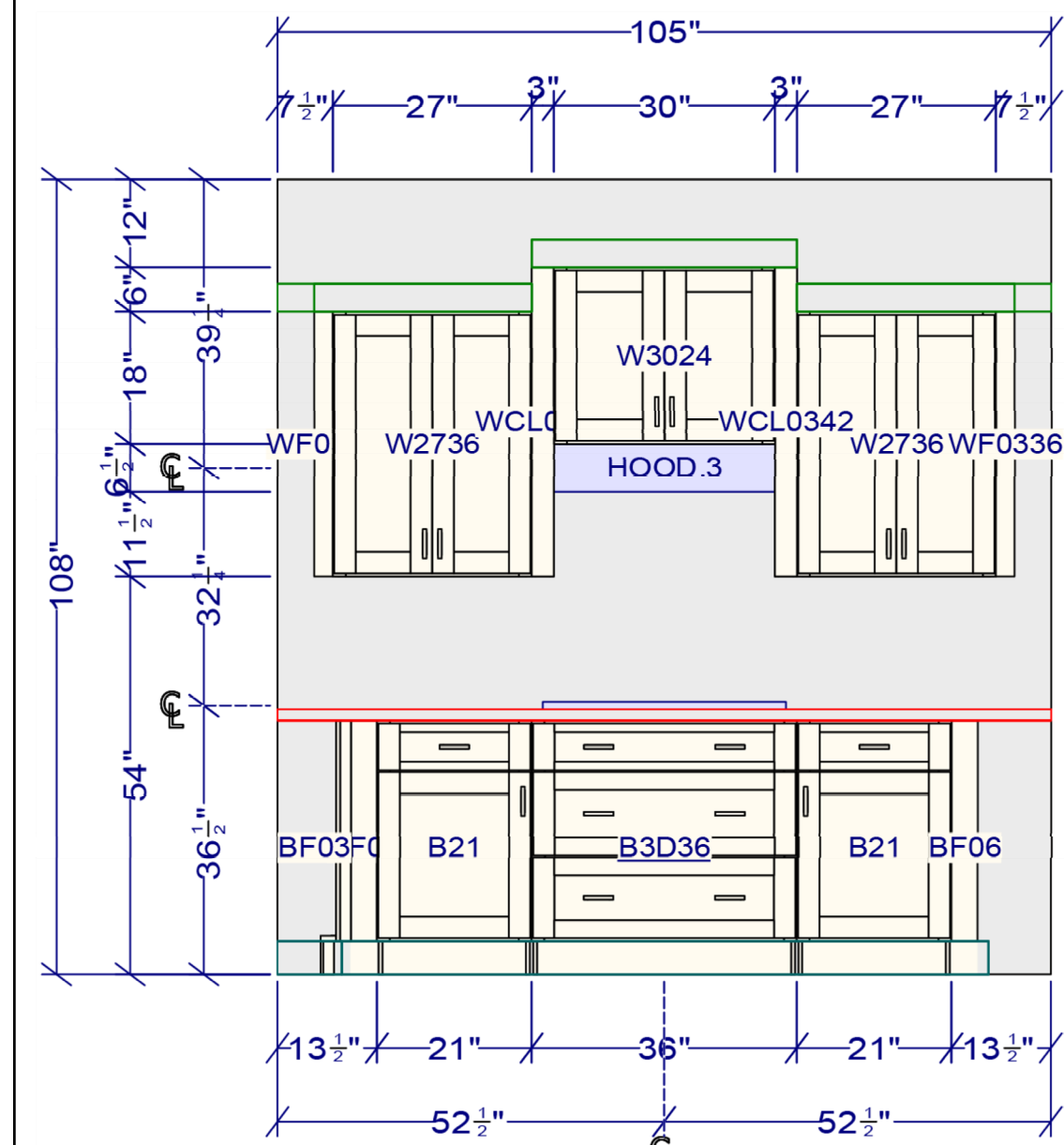
DRAWING TITLE:
BONUS ROOM 2ND FLOOR PLAN
 - PORTICO BNOUS ELEV. A

SHEET:
A.255B.A



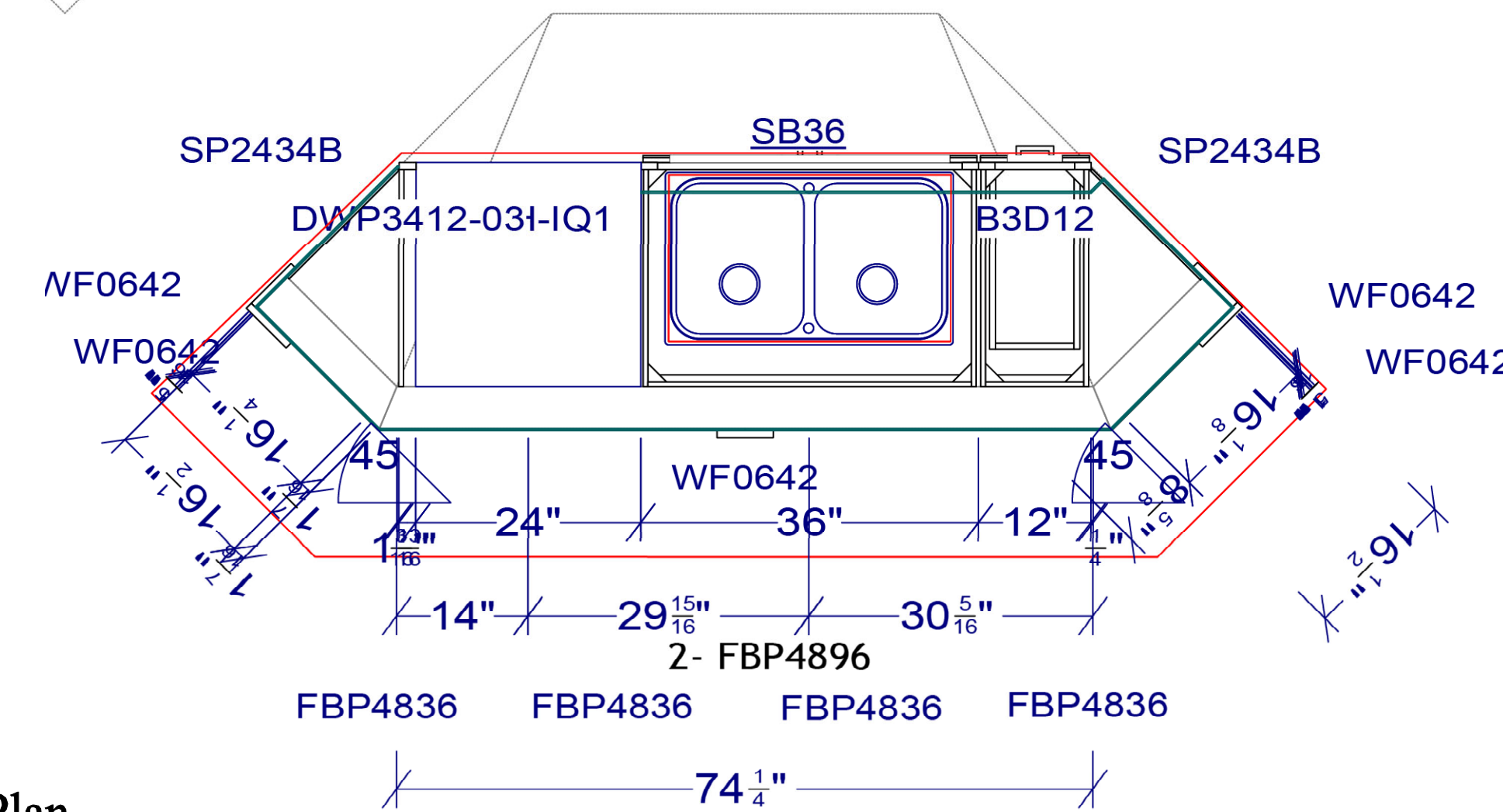
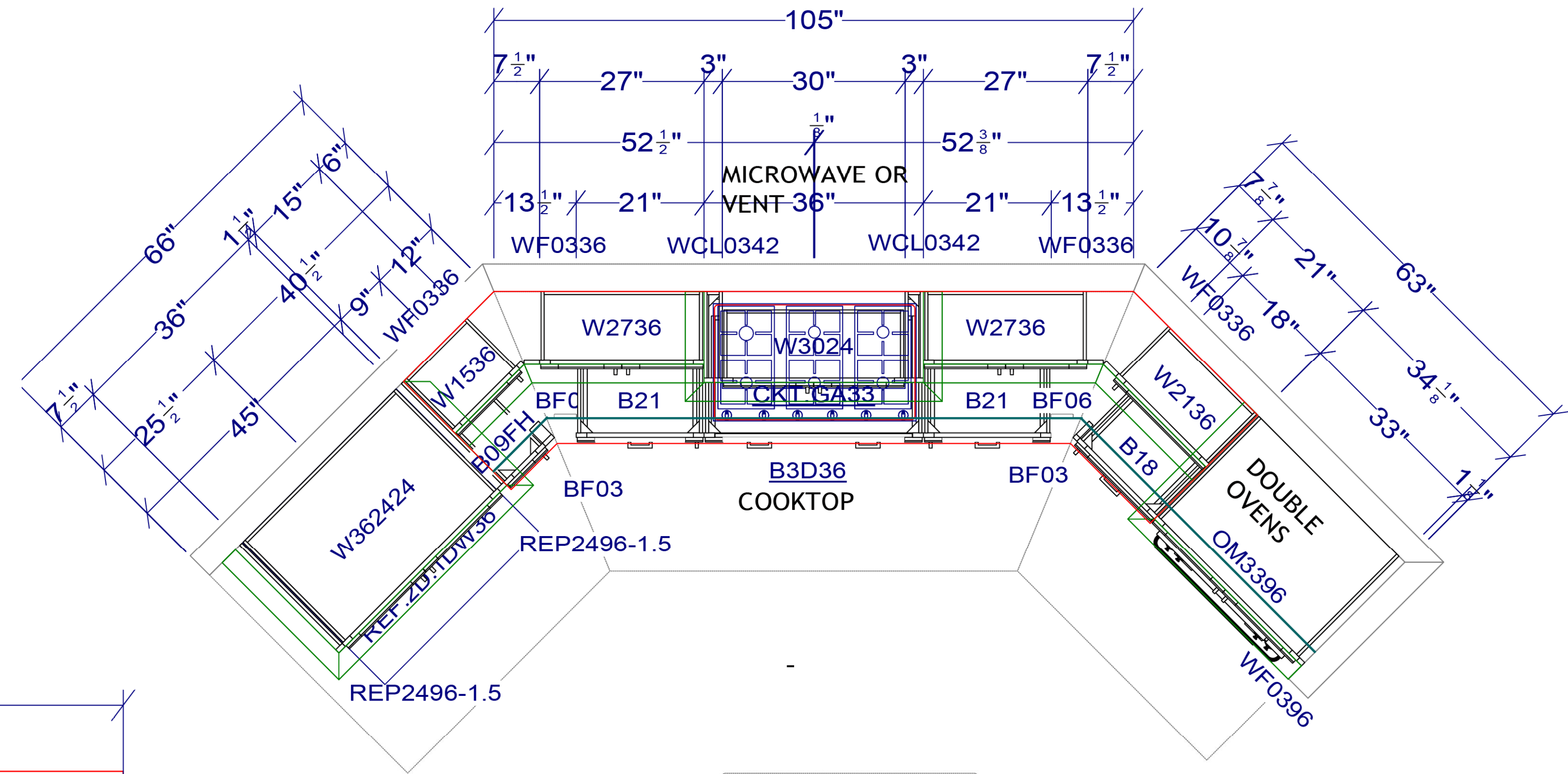
- ACCESSORIES**
- 3- TK96 (TOE KICK)
 - 2- BBM (BASE FOR ISLAND BACK)
 - 5- SHM (BASE OF TOE)
 - 5- SCM (SCRIBE)
 - 5- CRM3 (CROWN)
 - 1- REPAIR KIT

- HARDWARE COUNT**
- 18- DOORS
 - 10- DRAWERS



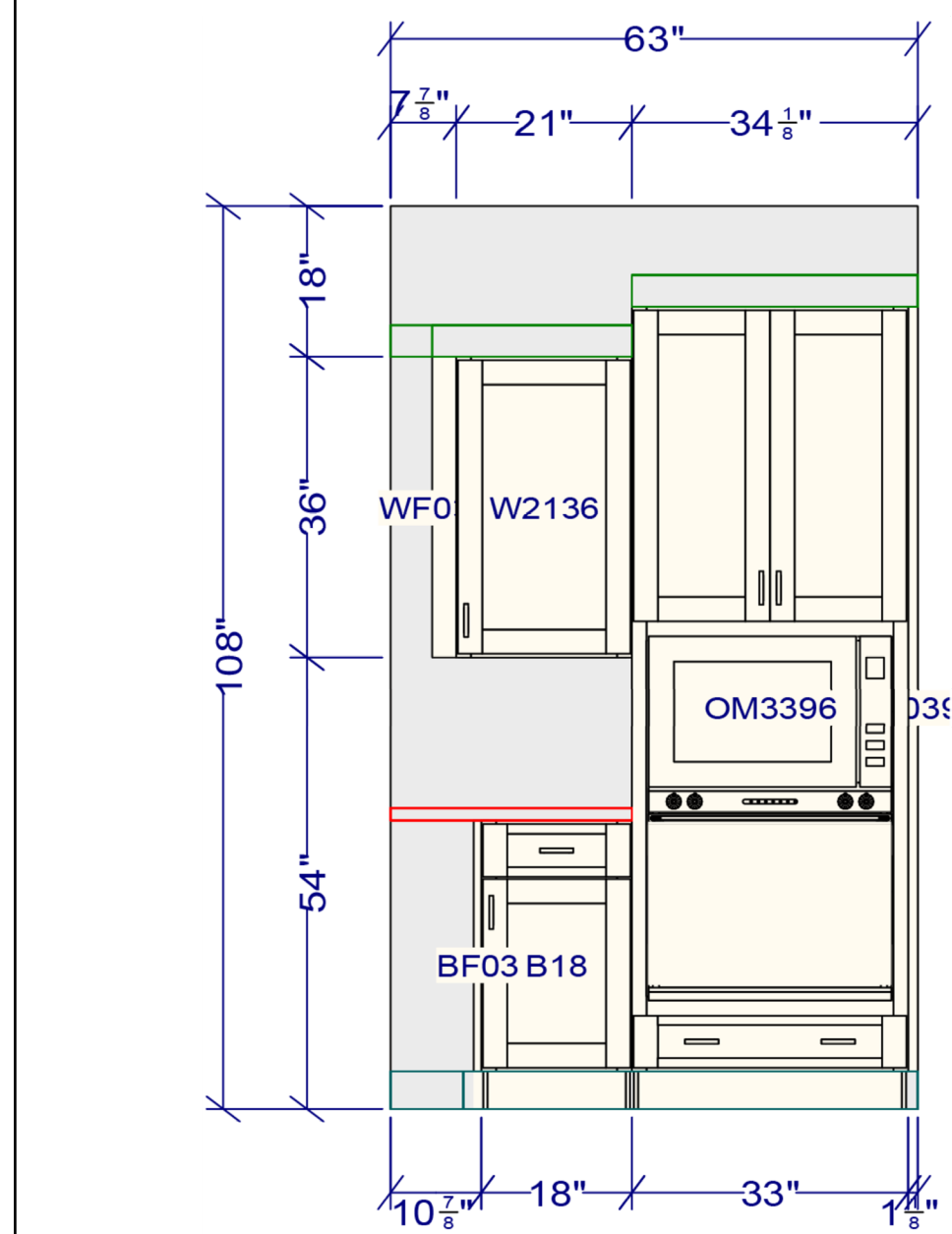
Kitchen Island Elevation

Scale: 3/8" = 1'-0"



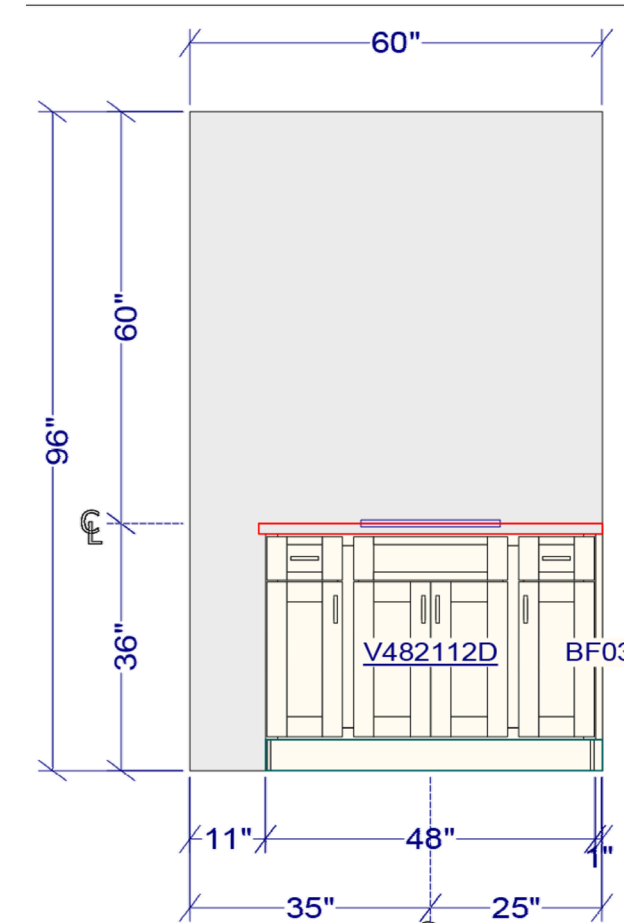
Kitchen Plan

Scale: 3/8" = 1'-0"



Kitchen Elevations

Scale: 3/8" = 1'-0"



Bath #2 Elevation

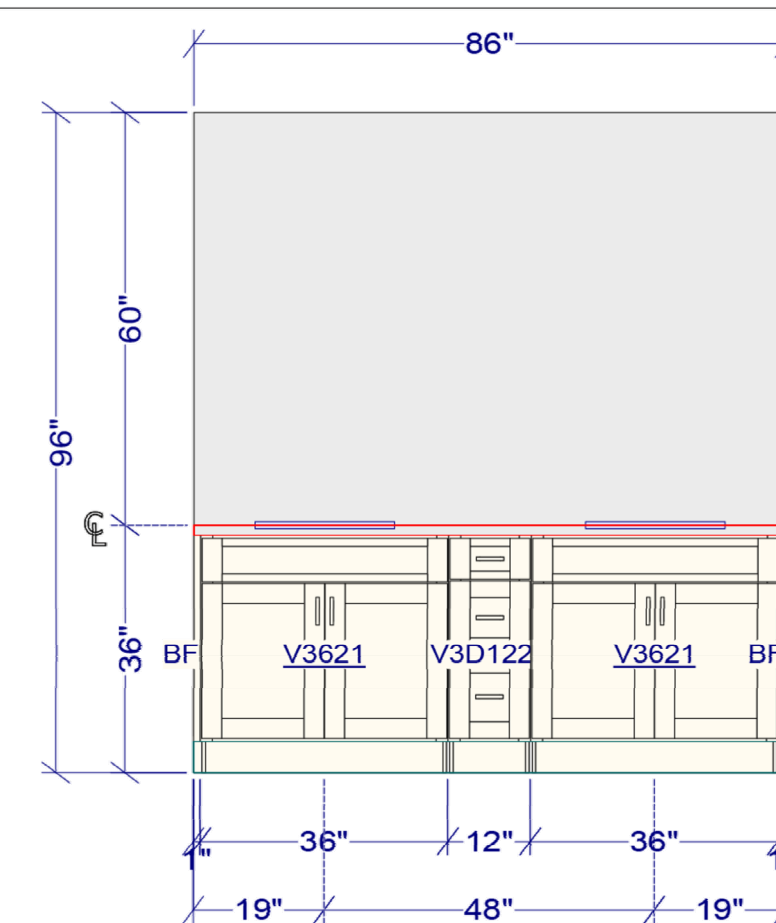
Scale: 3/8" = 1'-0"

- BATH #2**
- 1- TK96
 - 1- SCM

- HARDWARE COUNT**
- 4- DOORS
 - 2- DRAWERS

Bath #2

Scale: 3/8" = 1'-0"



Owner's Bath Elevation

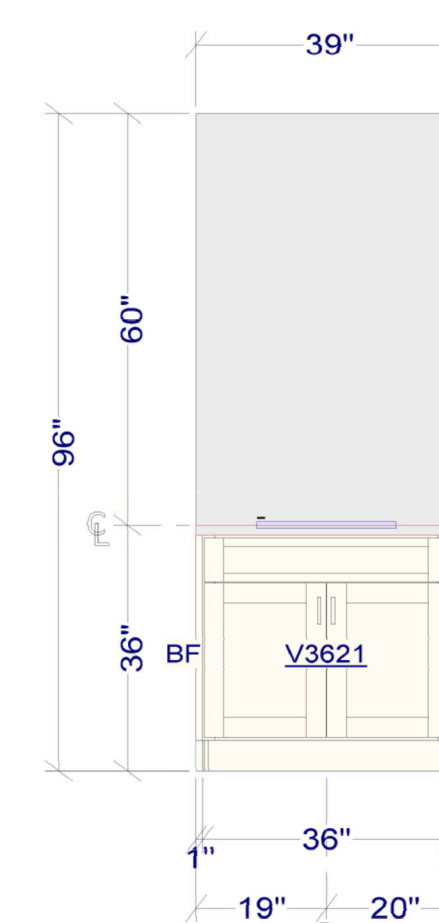
Scale: 3/8" = 1'-0"

- OWNERS BATH**
- 1- TK96
 - 1- SCM

- HARDWARE COUNT**
- 4- DOORS
 - 3- DRAWERS

Owner's Bath

Scale: 3/8" = 1'-0"



Bonus Room Bath Elevation

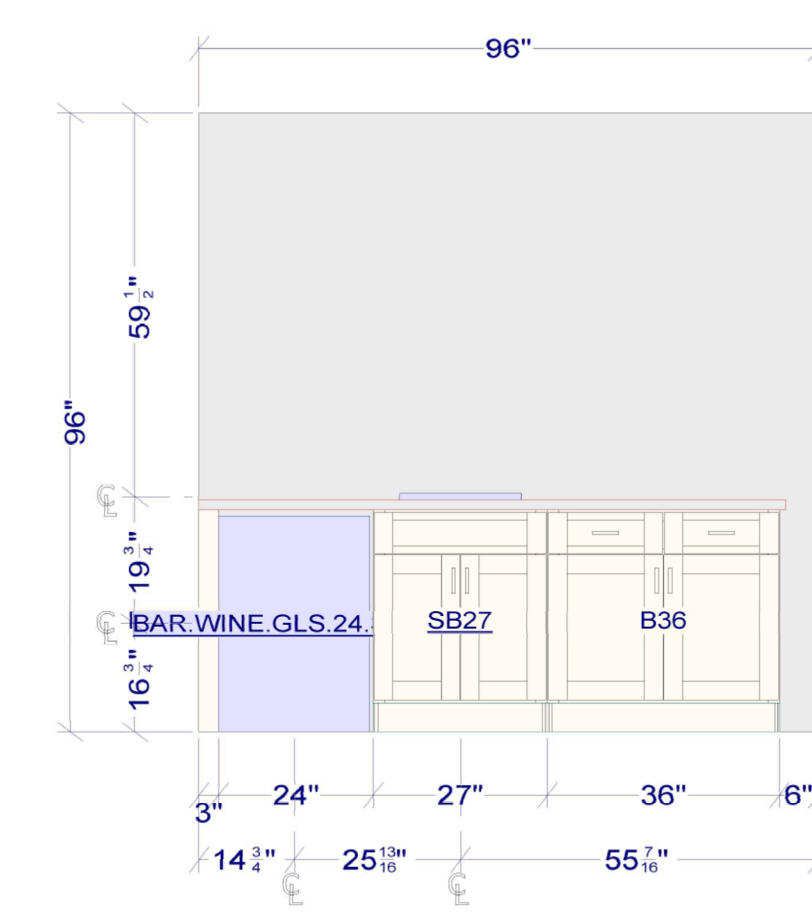
Scale: 3/8" = 1'-0"

- BONUS ROOM BATH**
- 1- TK96
 - 1- SCM

- HARDWARE COUNT**
- 2- DOORS

Bonus Room Bath

Scale: 3/8" = 1'-0"



Bonus Room Bar Elevation

Scale: 3/8" = 1'-0"

- BONUS ROOM BAR**
- 1- TK96
 - 1- SCM

- HARDWARE COUNT**
- 4- DOORS
 - 2- DRAWERS

Bonus Room Bar

Scale: 3/8" = 1'-0"



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DRAWING TITLE:
INTERIOR ELEVATIONS

SHEET:

A.501