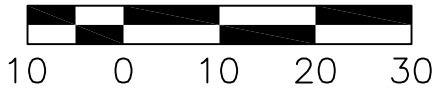


G2 1622
105 Holly Oak Court
Hamilton, OH 45013

1 Story Basement
Unfinished basement - 3 pc roughin
Loop vent kit sink
2 hose bibs - no valves required
ice maker
1 tub
1 shower
inside water meter

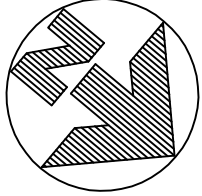
Gas Furnace



MARKET HOME
105 HOLLY OAK COURT

PLOT PLAN

LOT 31622 (27,311 SF) 0.627 AC.
GARDNER RIDGE, SECTION THREE
CITY OF HAMILTON
BUTLER COUNTY, OHIO
FOR: CRISTO HOMES



SETBACKS:
FRONT YARD=30'
REAR YARD=30'
SIDE YARD=5' MIN/15' TOTAL

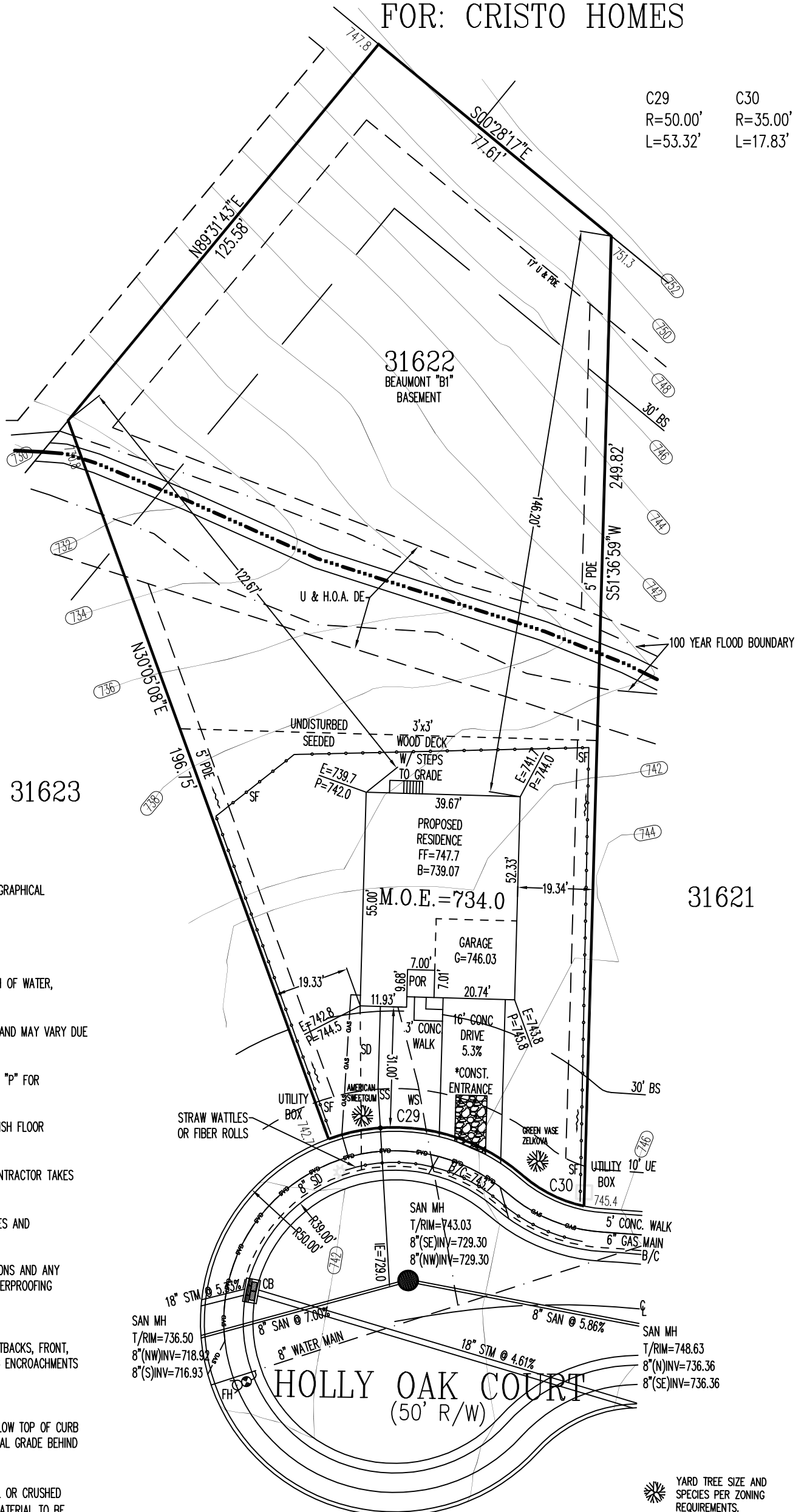
M.O.E.=734.0

TOP OF WINDOW WELLS OR
BOTTOM OF BASEMENT WINDOWS
TO BE AT OR ABOVE THE M.O.E.

QUANTITIES

TOTAL LOT AREA	27,311 sq. ft.
CITY WALK	262 sq. ft.
HOUSE WALK	32 sq. ft.
DRIVE	703 sq. ft.
APRON	105 sq. ft.
PATIO AND PORCHES	49 sq. ft.
DECK	12 sq. ft.
SEEDING AREA	6,743 sq. ft.
UNDISTURBED AREA	18,080 sq. ft.

C29	C30
R=50.00'	R=35.00'
L=53.32'	L=17.83'



FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS.

TOPOGRAPHY FROM CONSTRUCTION PLANS, DATED MAY 2017. MAY NOT REFLECT CURRENT CONDITIONS.

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

CITY OF HAMILTON NOTES:
CONTRACTOR TO "LEAVE ROUGH GRADE BEHIND CURB IN TREE LAWN 3 INCHES BELOW TOP OF CURB TO HELP STOP SEDIMENT FROM FLOWING INTO THE STREET AND CURB INLETS. FINAL GRADE BEHIND CURB TO BE ESTABLISHED JUST PRIOR TO SEEDING."

*CONST. ENTRANCE-AS SHOWN HEREON FOR GRAPHICAL PURPOSES ONLY, "GRAVEL OR CRUSHED STONE CONSTRUCTION ENTRANCE UNDERLAIN WITH GEOTEXTILE" DIMENSIONS AND MATERIAL TO BE DETERMINED BY CITY.

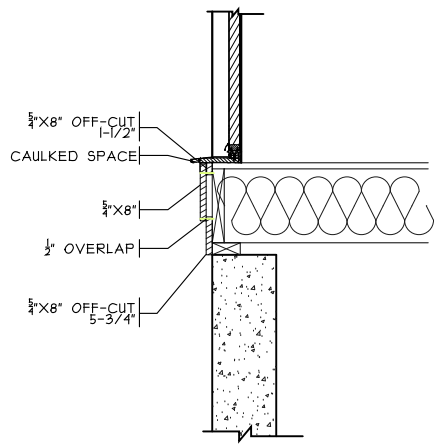
YARD TREE SIZE AND SPECIES PER ZONING REQUIREMENTS.

2 WORKING DAYS
BEFORE YOU DIG
OHIO811.org
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

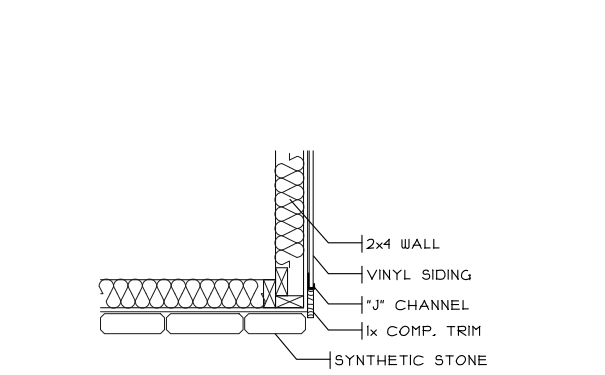
SCALE: 1"=30'
DATE: 06-02-23
DRAWN: JLL
DESIGNED:
CHECKED: JLS

APEX
ENGINEERING & SURVEYING, INC.
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

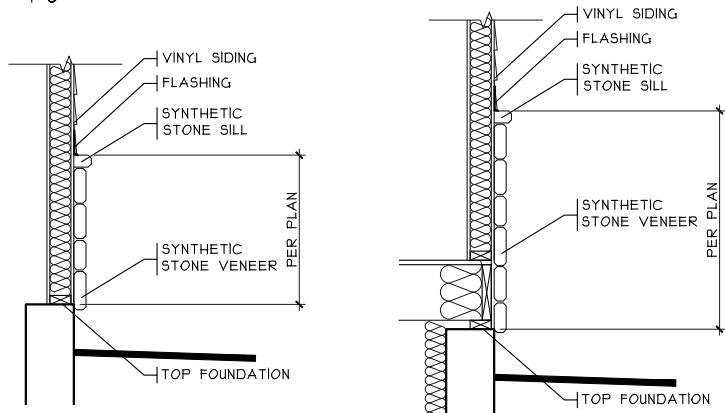
REVISIONS:
1.6-08-23 walk
2.
3.
4.
PROJECT: GARDNER
DRAWING: 231081PA
SHEET 1 OF 1



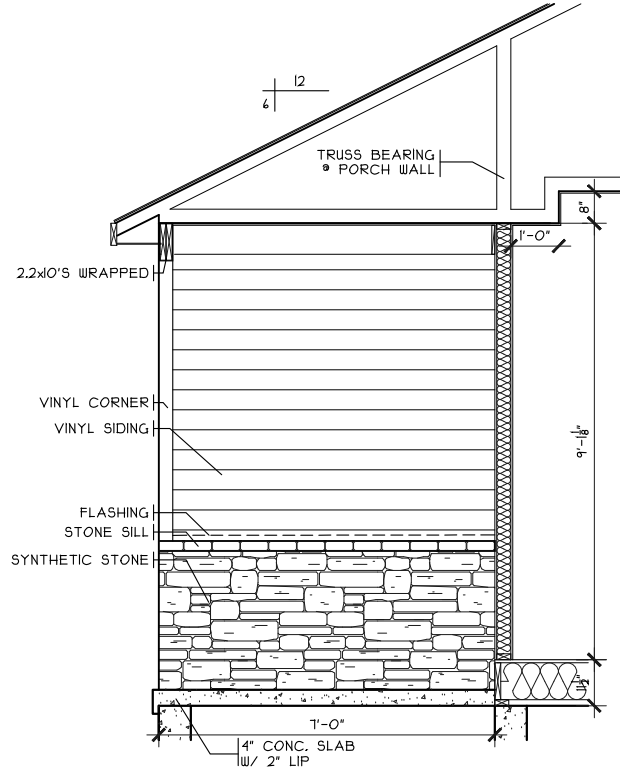
KICK PLATE DETAIL
SCALE: 1/4" = 1'-0"



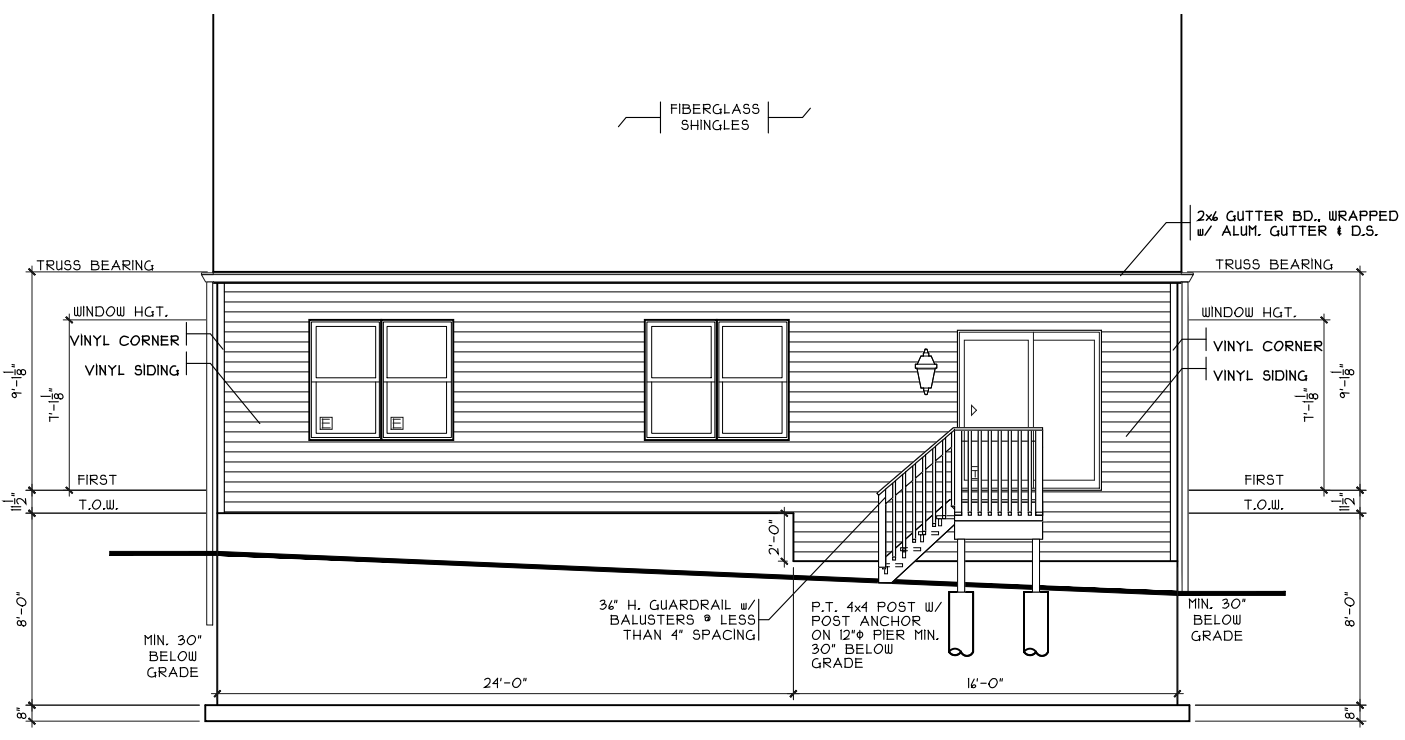
STONE CORNER DETAIL
SCALE: 1/8" = 1'-0"



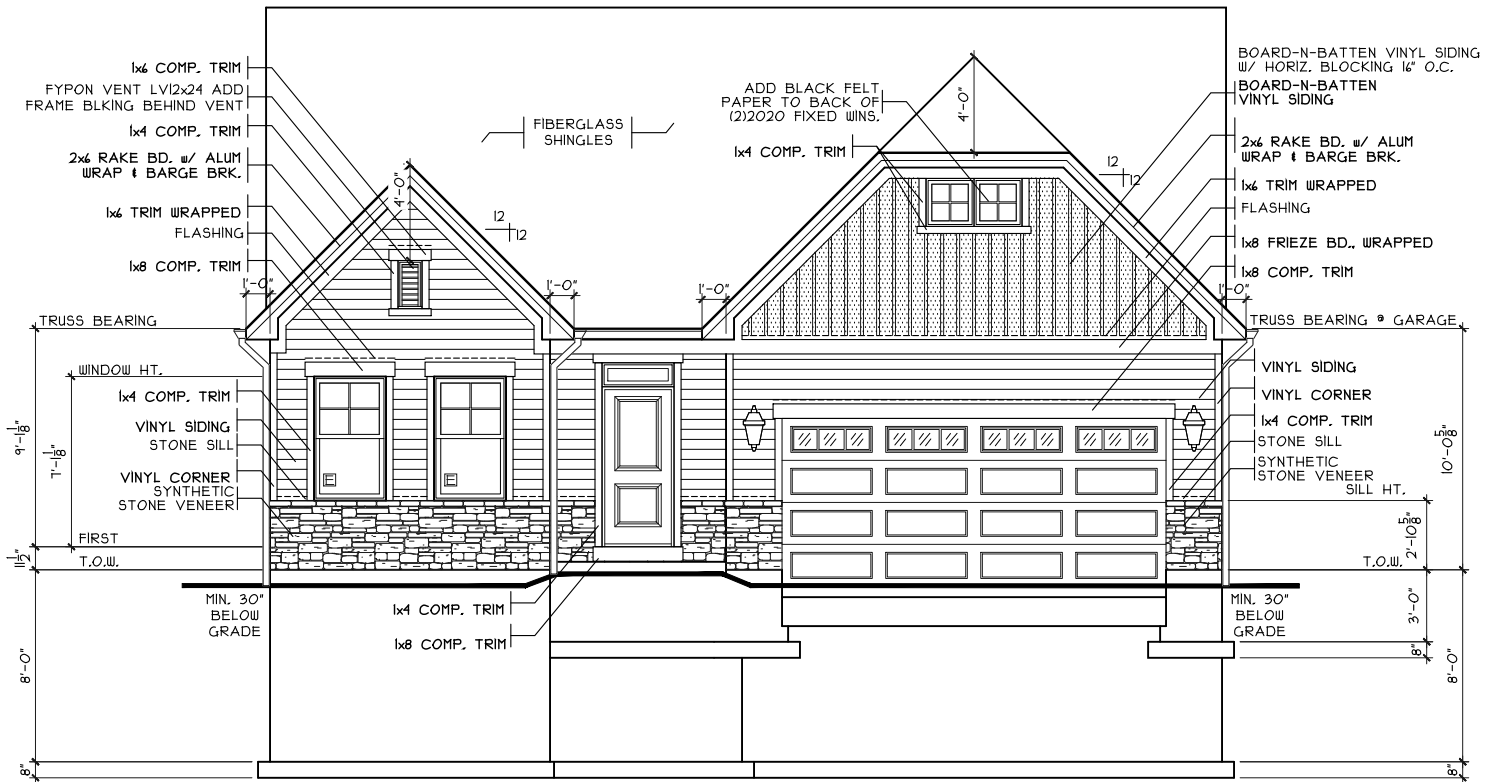
STONE BASE DETAIL
SCALE: 1/8" = 1'-0"



FRONT PORCH DETAIL
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

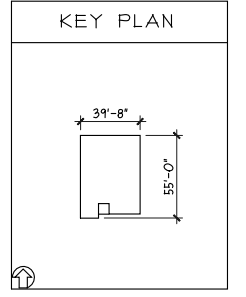


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations A
A1a	Left and Right Elevations A
A2	Foundation Plan
A3	First Floor Plan
A4	Typical Wall Sections/Stair Section
A5	Typical Framing Details (Aluminum)
G1	General Notes

NOTE:
PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

PLAN INFO.	
R1413B3	
3	BDRMS
4	BATH
4	CAR GARAGE
1	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	1643
FIRST	1643
LOWER (SLAB)	1523
GAR. (SLAB)	381



Front & Rear Elevations

Plan: Mayfair 1
Date: 5.17.2023
Drawn: JRK
Scale: As Noted
Revised: 6.22.2023
Sheet: 1 of 7

Prestige - G2-1622
Proposed Residence:
Market Home
105 Holly Oak Court
Gardner Ridge

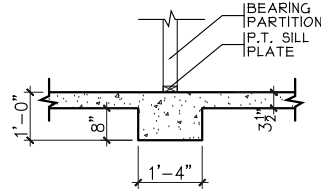
Mayfair I-B2 - Vinyl

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

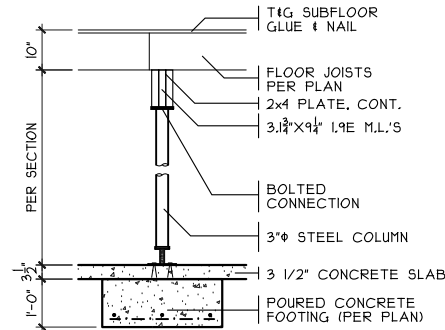
Hamilton
Butler County

CRISTO HOMES
7844 Tyers Place Blvd.
West Chester, OH 45389
513.755.0570 • www.cristohomes.com

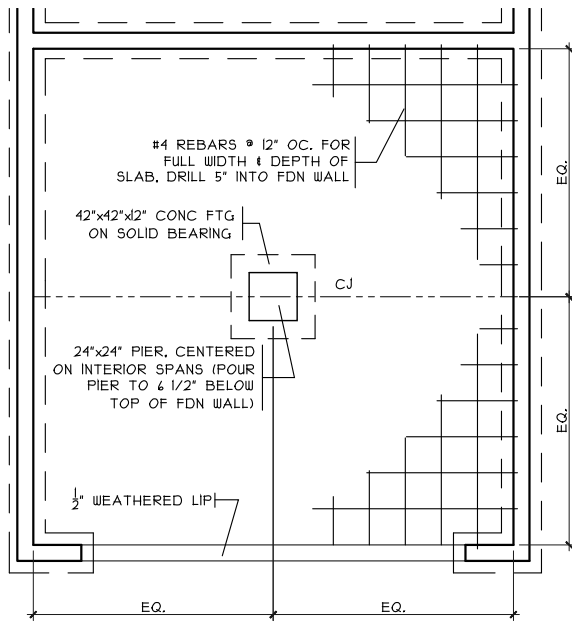
A1



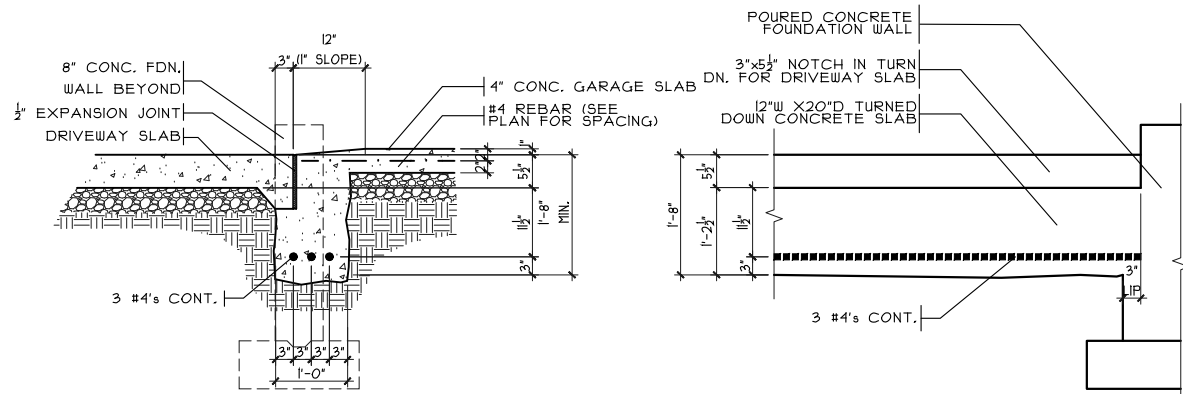
BRG. WALL FOOTER
 SCALE: 1/4" = 1'-0"



COLUMN DETAIL
 SCALE: 3/8" = 1'-0"



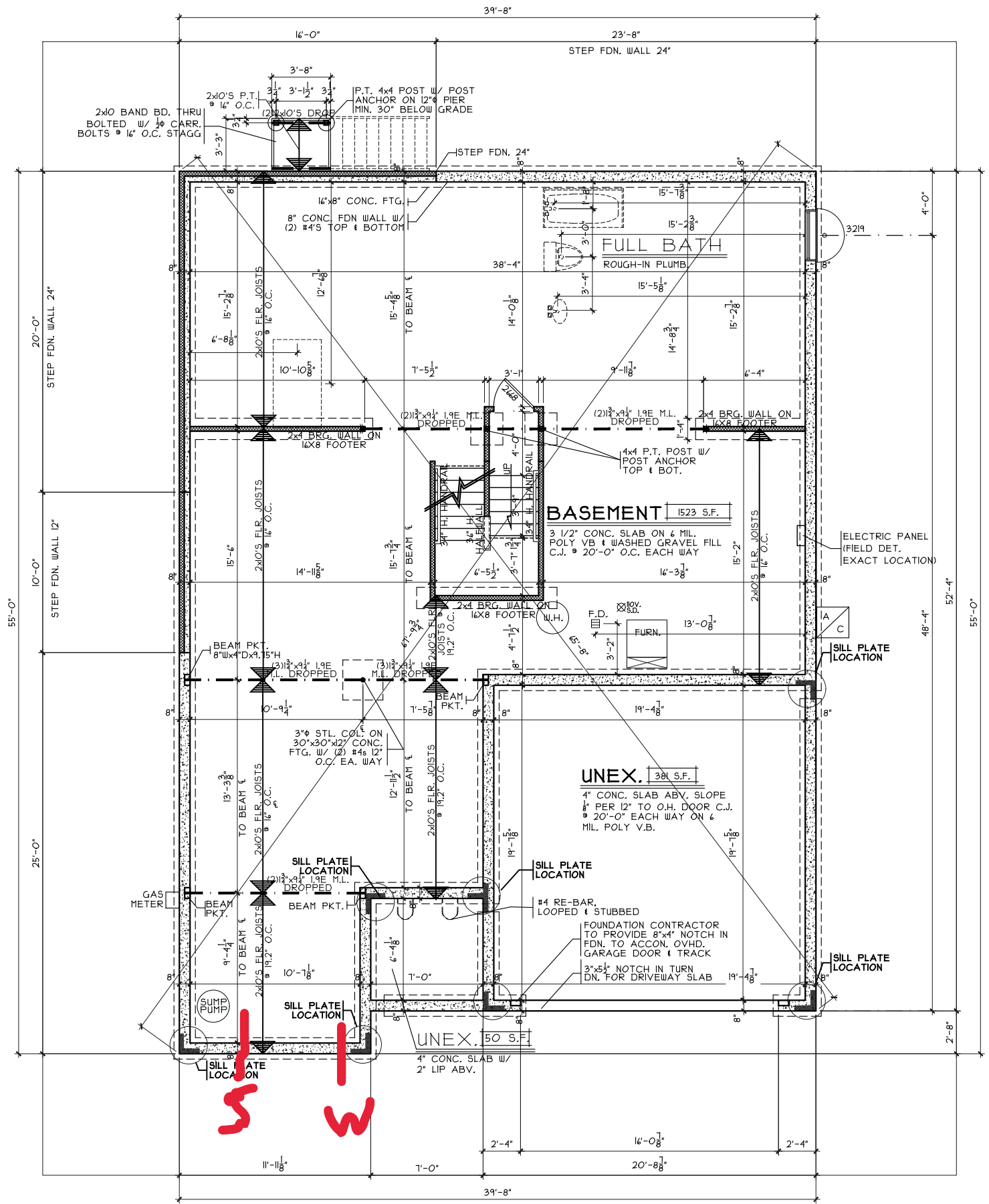
GRADE BM DETAIL
 SCALE: 1/8" = 1'-0"



SECTION

ELEVATION

GARAGE DOOR GRADE BM
 SCALE: 3/8" = 1'-0"



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

NOTE:
 ■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

Foundation Plan

Plan: Mayfair 1
 Date: 5.17.2023
 Drawn: JRK
 Scale: As Noted
 Revised: 6.22.2023
 Sheet: 3 of 7

Prestige - G2-1622

Proposed Residence:
 Market Home
 105 Holly Oak Court
 Gardner Ridge



Mayfair I-B2 - Vinyl

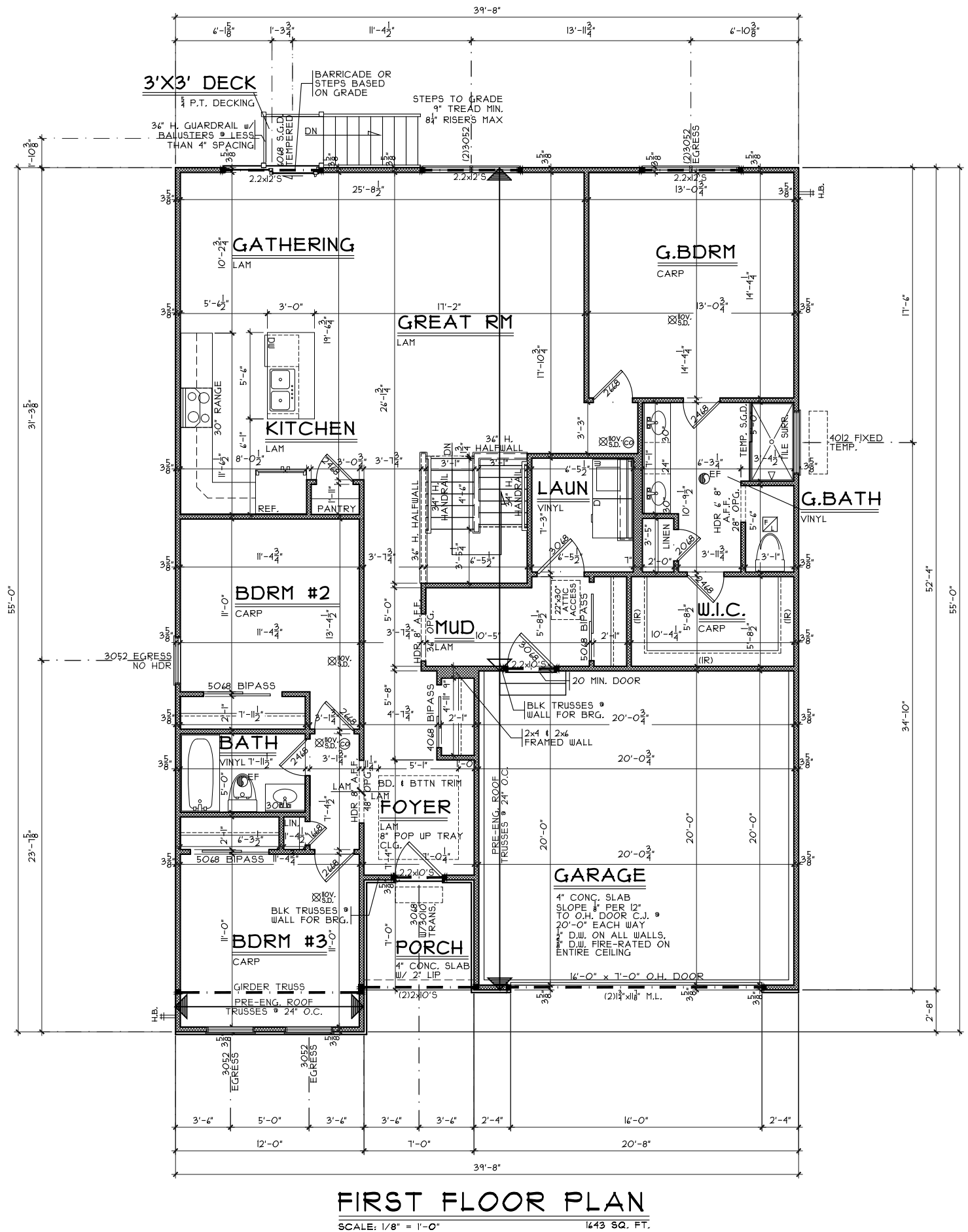
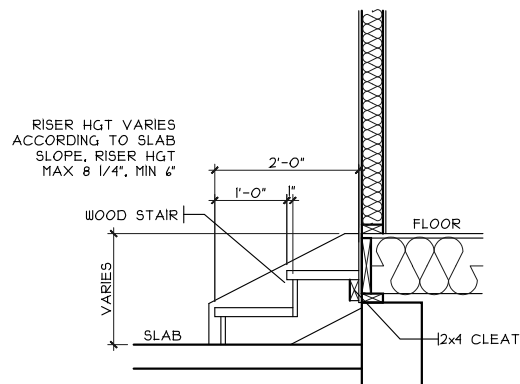
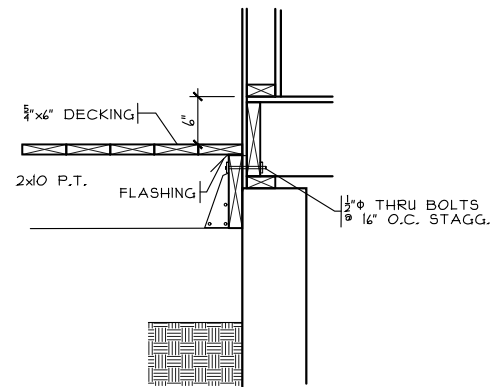
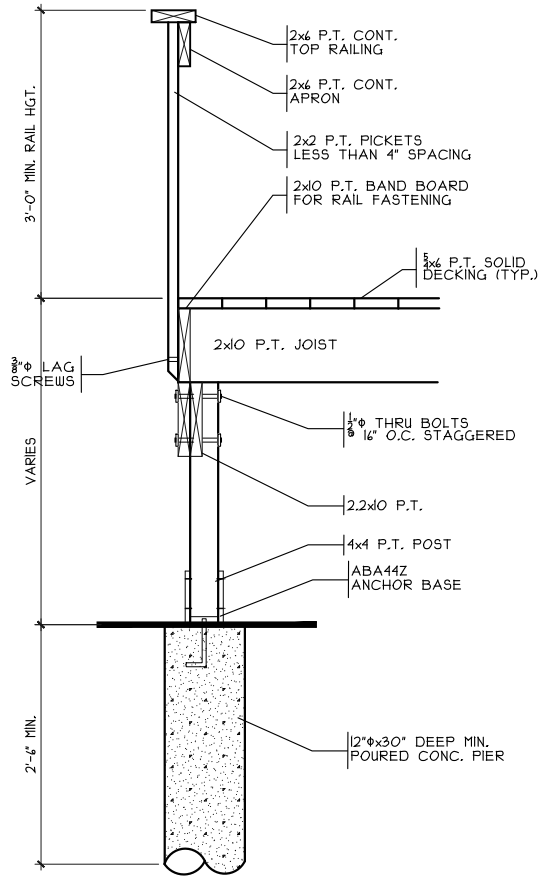
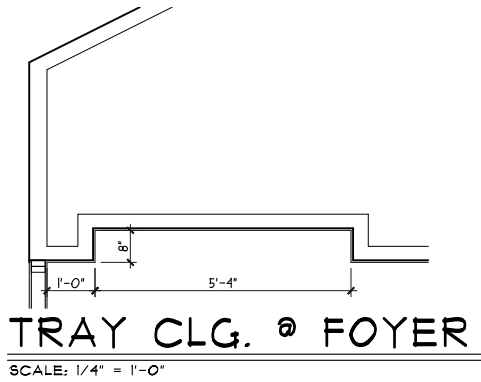
Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

Issue Dates

Review	Issue Dates

Hamilton
 Butler County

A2



NOTE:
 ■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

First Floor Plan
 Plan: Mayfair 1
 Date: 5.17.2023
 Drawn: JRK
 Scale: As Noted
 Revised: 6.22.2023
 Sheet: 4 of 7

Proposed Residence:
 Market Home
 105 Holly Oak Court
 Gardner Ridge

CRISTO HOMES
 7844 Tyers Place Blvd.
 West Chester, OH 45389
 513.755.0570 • www.cristohomes.com

Mayfair I-B2 - Vinyl
 Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

Hamilton
 Butler County

Issue Dates
 Review

A3