

G2 1643

129 Holly Oak Court

Hamilton, OH 45013

1 Story Basement

3pc rough

loop vent kit sink

2 hose bibs - no valves required

ice maker

1 tub

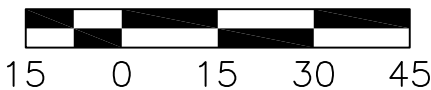
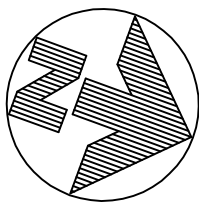
1 shower - rainhead shower head

inside water meter

Laundry Tub

Install pressure regulator - extra paid by owner

Gas Furnace , Fireplace and Range



LAWRENCE RESIDENCE  
129 HOLLY OAK COURT

M.O.E.=766.0

TOP OF WINDOW WELLS OR  
BOTTOM OF BASEMENT WINDOWS  
TO BE AT OR ABOVE THE M.O.E.

THE SANITARY SEWER LATERAL MATERIAL MUST BE SDR-26".  
THE SANITARY LATERAL SHOULD NOT GO THROUGH THE DRIVEWAY.

ADD A CLEANOUT AT THE R/W OR EASEMENT AND ANY BENDS IN THE SANITARY LATERAL.  
USE A COUNTERSUNK HEAD WHEN A RAISED HEAD IS CONSIDERED TO BE A TRIP HAZZARD.  
CLEANOUTS CANNOT BE LOCATED IN THE PUBLIC SIDEWALK OR DRIVEWAY.

FOR PERMITTING PURPOSES ONLY.

NO MONUMENTATION SET PER THIS DRAWING.

CONTRACTOR IS RESPONSIBLE AND SHALL VERIFY/ADHERE TO ANY (STATE, CITY, COUNTY,  
TOWNSHIP, ETC.) ENGINEERING, CONSTRUCTION, MATERIAL AND SAFETY CODES, SPECIFICATION  
AND/OR REQUIREMENTS.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES SHOWN HEREON ARE FOR GRAPHICAL  
PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

BUILDER IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER,  
SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY  
VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR  
PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR  
ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR  
TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

BUILDER IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND  
APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.  
SWALE ARROWS AND DRAINAGE ROUTES ARE SUBJECT TO CHANGE DEPENDING ON GRADING  
AND SITE CONDITIONS.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND  
ANY POTENTIAL WATER INFILTRATION. BUILDER IS RESPONSIBLE FOR ADEQUATE  
WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC.  
ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS,  
FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING  
ENCROACHMENTS THAT MAY OCCUR.

**CITY OF HAMILTON NOTES:**  
CONTRACTOR TO "LEAVE ROUGH GRADE BEHIND CURB IN TREE LAWN 3  
INCHES BELOW TOP OF CURB TO HELP STOP SEDIMENT FROM FLOWING  
INTO THE STREET AND CURB INLETS. FINAL GRADE BEHIND CURB  
TO BE ESTABLISHED JUST PRIOR TO SEEDING."

\*CONST. ENTRANCE-AS SHOWN HEREON FOR GRAPHICAL PURPOSES  
ONLY, "GRAVEL OR CRUSHED STONE CONSTRUCTION ENTRANCE  
UNDERLAIN WITH GEOTEXTILE" DIMENSIONS AND MATERIAL TO BE  
DETERMINED BY CITY.

AN OPERATOR QUALIFIED (OQ) CONTRACTOR MUST INSTALL THE GAS  
SERVICE FROM THE CURB BOX TO THE METER

THE GAS SERVICE IS TO BE DIRECT BURY

GAS CURB VALVES CANNOT BE LOCATED IN THE SIDEWALK OR  
DRIVEWAY

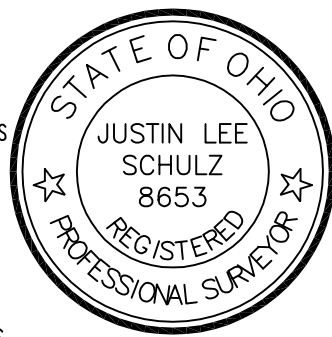
WATER SERVICE MUST BE TYPE K COPPER OR DUCTILE IRON, CLASS  
53. WE DO NOT RECOMMEND THE USE OF POLYETHYLENE PIPE FOR THE  
WATER SUPPLY DISTRIBUTION SYSTEM ON THIS JOB DUE TO THE  
CITY'S DISINFECTION PROCESS. FROM THE WATER MAIN TO THE METER.  
PLASTIC PIPE IS NOT RECOMMENDED ANYWHERE ON THIS PROJECT TO  
TO THE CITY'S DISINFECTION PROCESS

THE CONTRACTOR MUST FOLLOW THE CITY OF HAMILTON WATER MAIN  
AND WATER SERVICE TESTING PROCEDURES.

ADD A CLEANOUT AT THE R/W OR EASEMENT DNA ANY BEND IN THE  
LATERAL. USE A COUNTERSUNK HEAD WHEN A RAISED HEAD IS  
CONSIDERED A TRIP HAZARD. CLEANOUTS ARE NOT TO BE LOCATED  
IN THE SIDEWALK OR DRIVEWAY.

THE MINIMUM VERTICAL DIFFERENCE BETWEEN THE FINISHED FLOOR  
ELEVATION OF THE LOWEST LEVEL AND THE CROWN OF THE SANITARY  
SEWER MAIN IS THREE (3) FOOT

IF IT IS NECESSARY TO TAP THE SANITARY SEWER MAIN A FACTORY  
WYE MUST BE USED.



AN OPERATOR QUALIFIED (OQ)  
CONTRACTOR MUST INSTALL THE  
GAS SERVICE FROM THE CURB  
BOX TO THE METER.  
WATER SERVICE SHALL BE TYPE  
K COPPER FROM THE WATER  
MAIN TO THE METER. PLASTIC  
PIPE IS NOT RECOMMENDED  
ANYWHERE ON THIS PROJECT  
DUE TO THE CITY'S DISINFECTION  
PROCESS

**SETBACKS:**  
FRONT YARD=30'  
REAR YARD=30'  
SIDE YARD=5' MIN/15' TOTAL

# PLOT PLAN

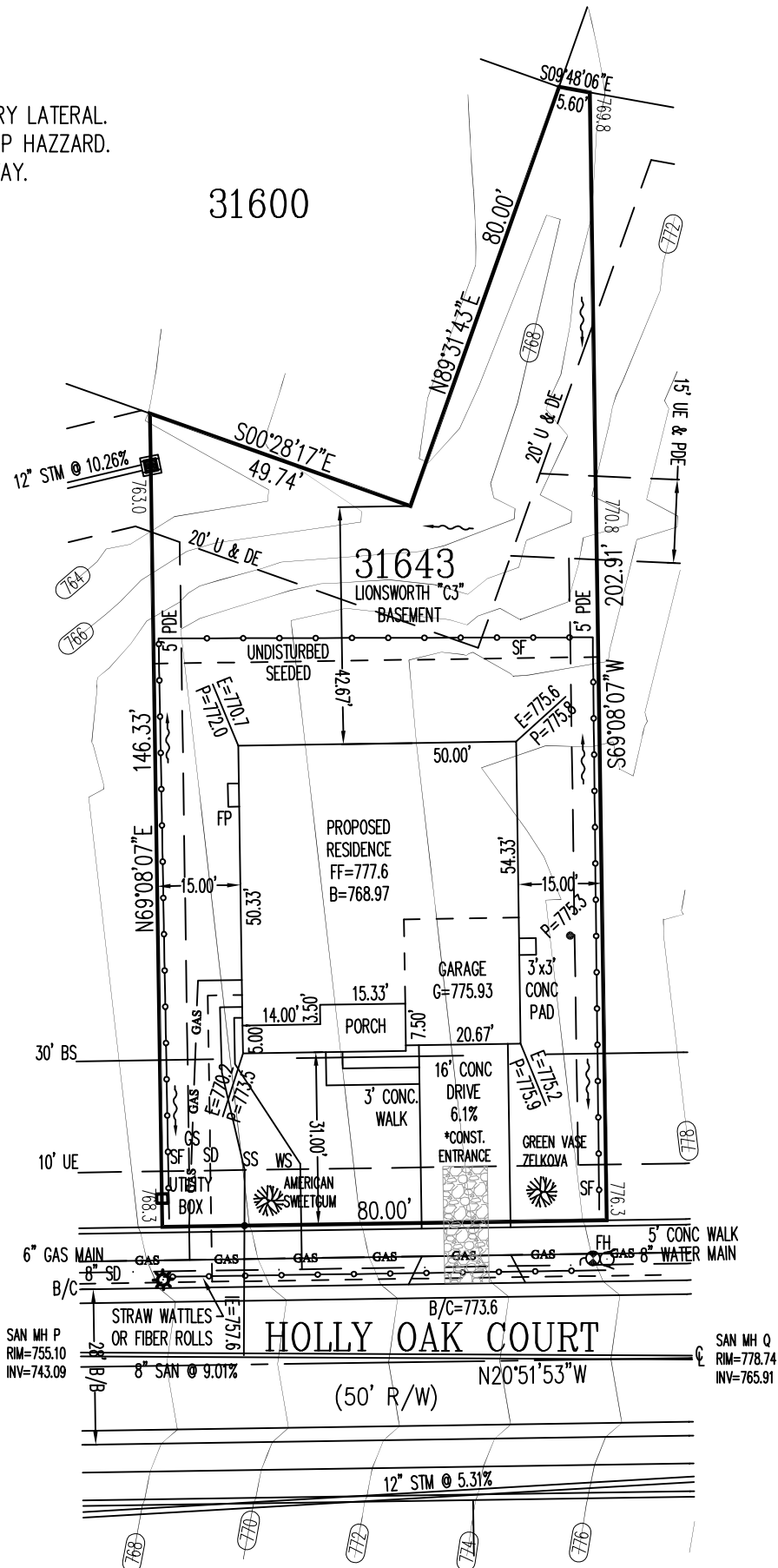
## LOT 31643 (12,178 SF) 0.393 ACRES

### GARDNER RIDGE, SECTION THREE

#### CITY OF HAMILTON

#### BUTLER COUNTY, OHIO

#### FOR: CRISTO HOMES



#### QUANTITIES

TOTAL LOT AREA	12178	sq. ft.
CITY WALK	320	sq. ft.
HOUSE WALK	60	sq. ft.
DRIVE	608	sq. ft.
APRON	93	sq. ft.
PATIO AND PORCHES	212	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	5100	sq. ft.
UNDISTURBED AREA	4072	sq. ft.

YARD TREE SIZE AND SPECIES PER ZONING REQUIREMENTS.

2 WORKING DAYS  
BEFORE YOU DIG

CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

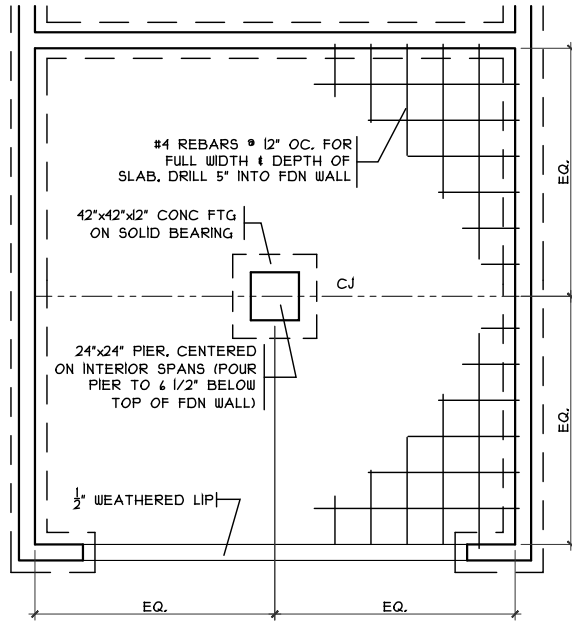
SCALE: 1"=30'  
DATE: 02-13-24  
DRAWN: JLL  
DESIGNED:  
CHECKED: JLS

1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

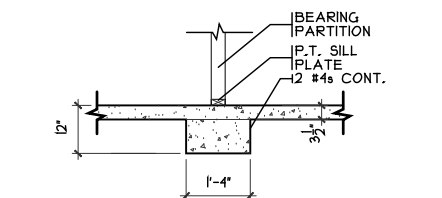
REVISIONS:  
1.  
2.  
3.  
4.

PROJECT: GARDNER  
DRAWING: 240324PA

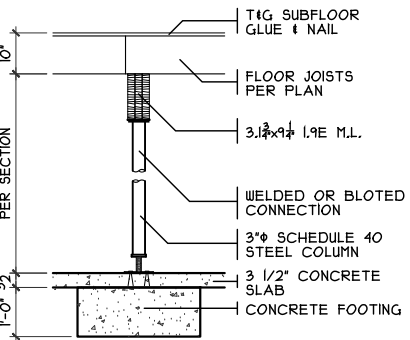
SHEET  
1 OF 1



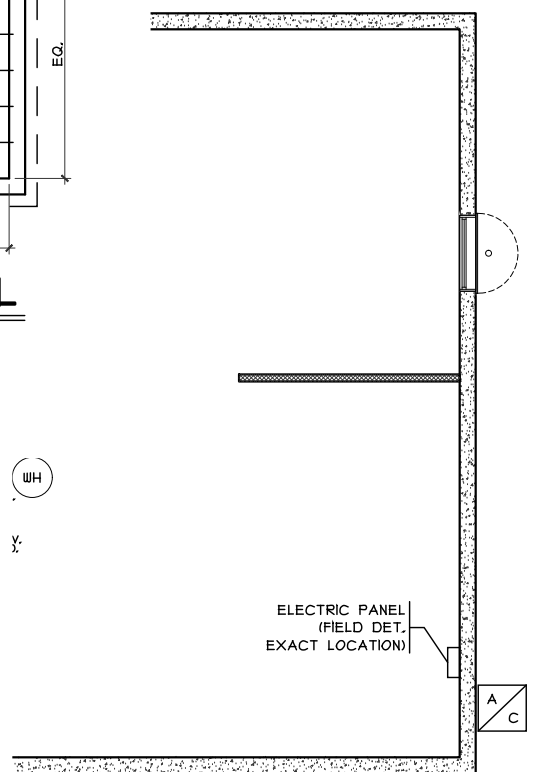
**GARAGE BM DETAIL**  
SCALE: 1/8" = 1'-0"



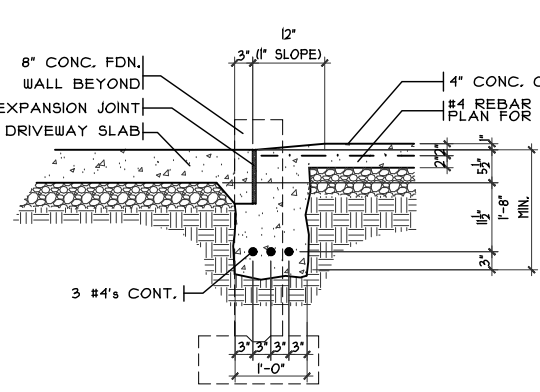
**THICKENED SLAB**  
SCALE: 1/4" = 1'-0"



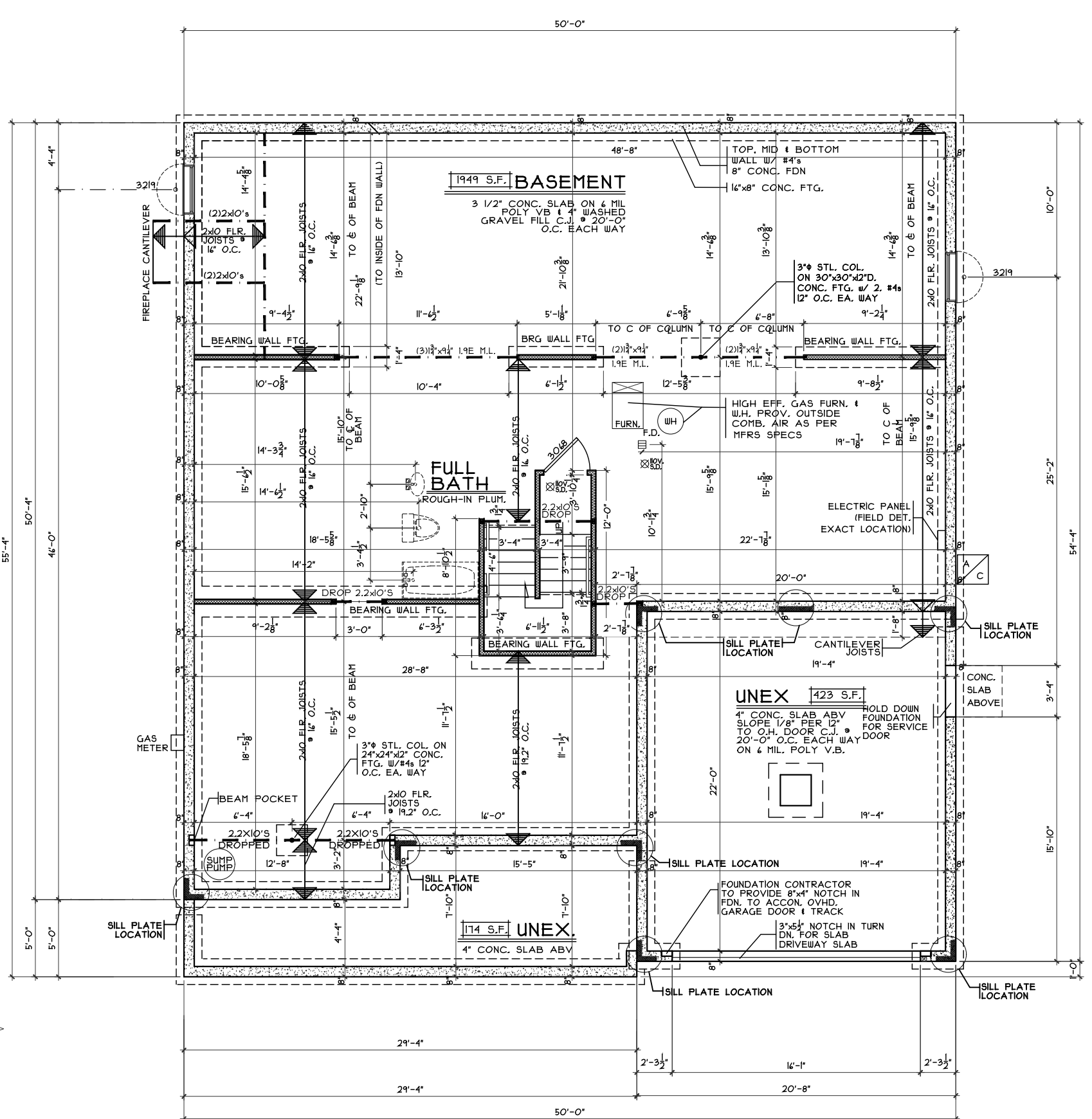
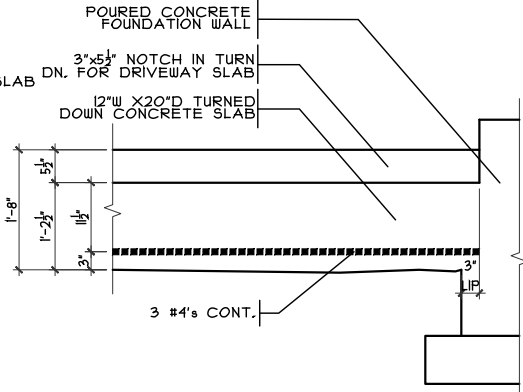
**COLUMN DETAIL**  
SCALE: 1/4" = 1'-0"



**DIMS TO FDN PLUMB.**  
SCALE: 1/8" = 1'-0"



**GARAGE BM DETAIL**  
SCALE: 1/8" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

NOTES: THE SANITARY LATERAL MUST BE AT LEAST 4" WITH A MINIMUM 2% SLOPE. THE GAS SERVICE SHOULD RUN THROUGH THE CONCRETE DRIVEWAY

Foundation Plan

Plan: Lionsworth  
Date: 11.16.2023  
Drawn: DSG  
Scale: As Noted  
Revised: 3.5.2024  
Sheet: 3 of 11

Prestige G2-1643

Proposed Residence:  
Lawrence, Catherine  
129 Holly Oak Court  
Views at Garden Ridge Lot 1643



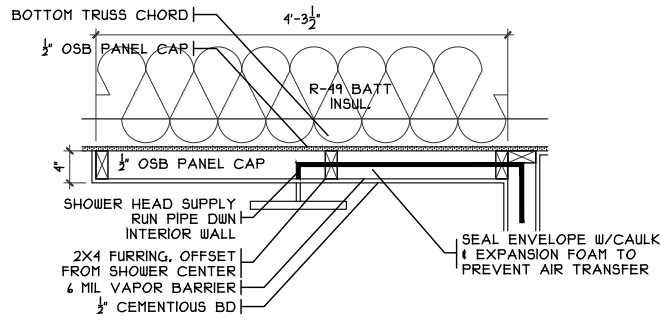
Lionsworth-C3 - Vinyl

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

Issue Dates

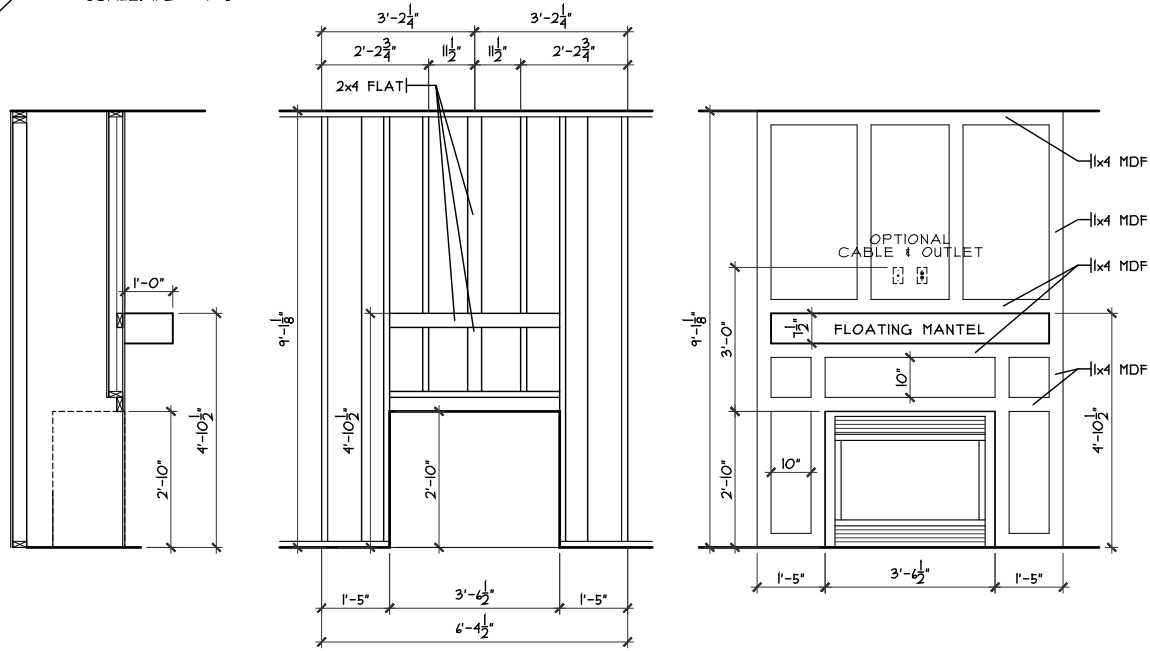
Review	Issue Dates

A2



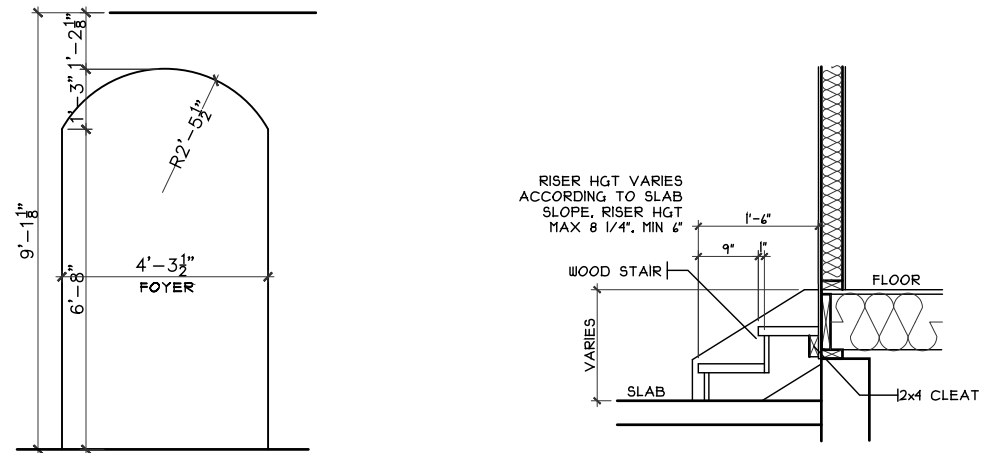
**RAIN HEAD SHWR DETAIL**

SCALE: 1/2" = 1'-0"



**FIREPLACE FRAMING DETAIL**

SCALE: 1/4" = 1'-0"

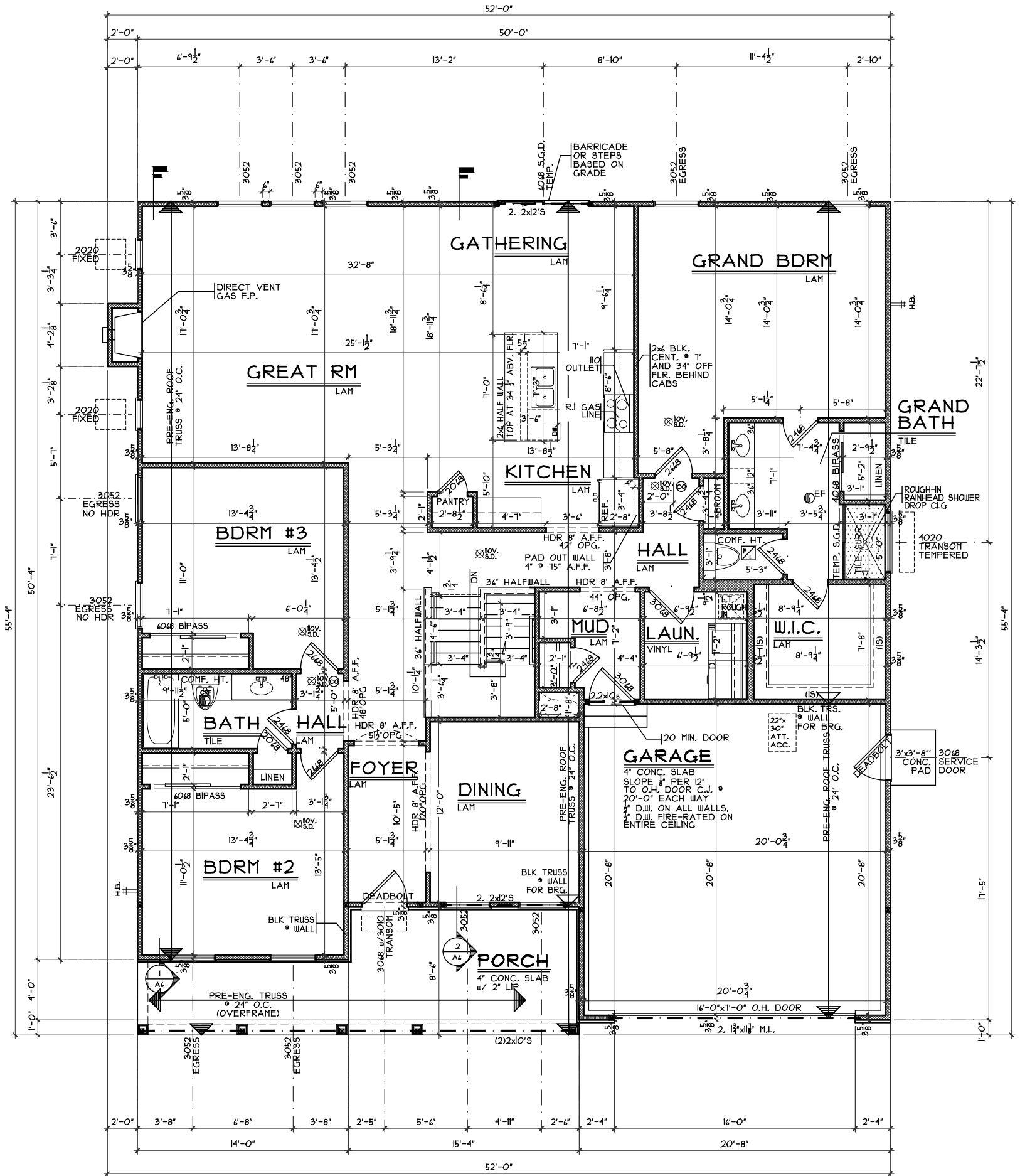


**ARCHED OPENING**

SCALE: 1/4" = 1'-0"

**GARAGE STEPS DETAIL**

SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0" 2111 SQ. FT.

First Floor Plan

Plan: Lionsworth  
 Date: 11.16.2023  
 Drawn: DSG  
 Scale: As Noted  
 Revised: 3.5.2024  
 Sheet: 4 of 11

Prestige G2-1643

Proposed Residence:  
 Lawrence, Catherine  
 129 Holly Oak Court  
 Views at Garden Ridge Lot 1643

Lionsworth-C3 - Vinyl

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

Issue Dates

Review	Date

Hamilton  
 Butler County

**A3**