

G2 1644
123 Holly Oak Court
Hamilton, OH 45013

2 Story Basement

2pc rough

kitchen sink - loop vent needed

2 hose bibs - no valves required

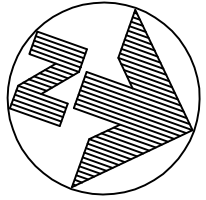
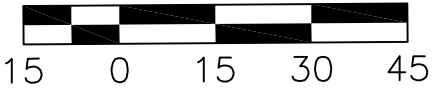
ice maker

1 tub

1 shower

inside water meter

Gas Furnace



BRAUN RESIDENCE
123 HOLLY OAK COURT

PLOT PLAN

LOT 31644 (16,664 SF) 0.383 ACRES

GARDNER RIDGE, SECTION THREE

CITY OF HAMILTON

BUTLER COUNTY, OHIO

FOR: CRISTO HOMES

M.O.E.=766.0

M.O.E.=766.0

FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT. SWALE ARROWS AND DRAINAGE ROUTES ARE SUBJECT TO CHANGE.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

CITY OF HAMILTON NOTES:
CONTRACTOR TO "LEAVE ROUGH GRADE BEHIND CURB IN TREE LAWN 3 INCHES BELOW TOP OF CURB TO HELP STOP SEDIMENT FROM FLOWING INTO THE STREET AND CURB INLETS. FINAL GRADE BEHIND CURB TO BE ESTABLISHED JUST PRIOR TO SEEDING."

*CONST. ENTRANCE-AS SHOWN HEREON FOR GRAPHICAL PURPOSES ONLY, "GRAVEL OR CRUSHED STONE CONSTRUCTION ENTRANCE UNDERLAIN WITH GEOTEXTILE" DIMENSIONS AND MATERIAL TO BE DETERMINED BY CITY.

AN OPERATOR QUALIFIED (OQ) CONTRACTOR MUST INSTALL THE GAS SERVICE FROM THE CURB BOX TO THE METER

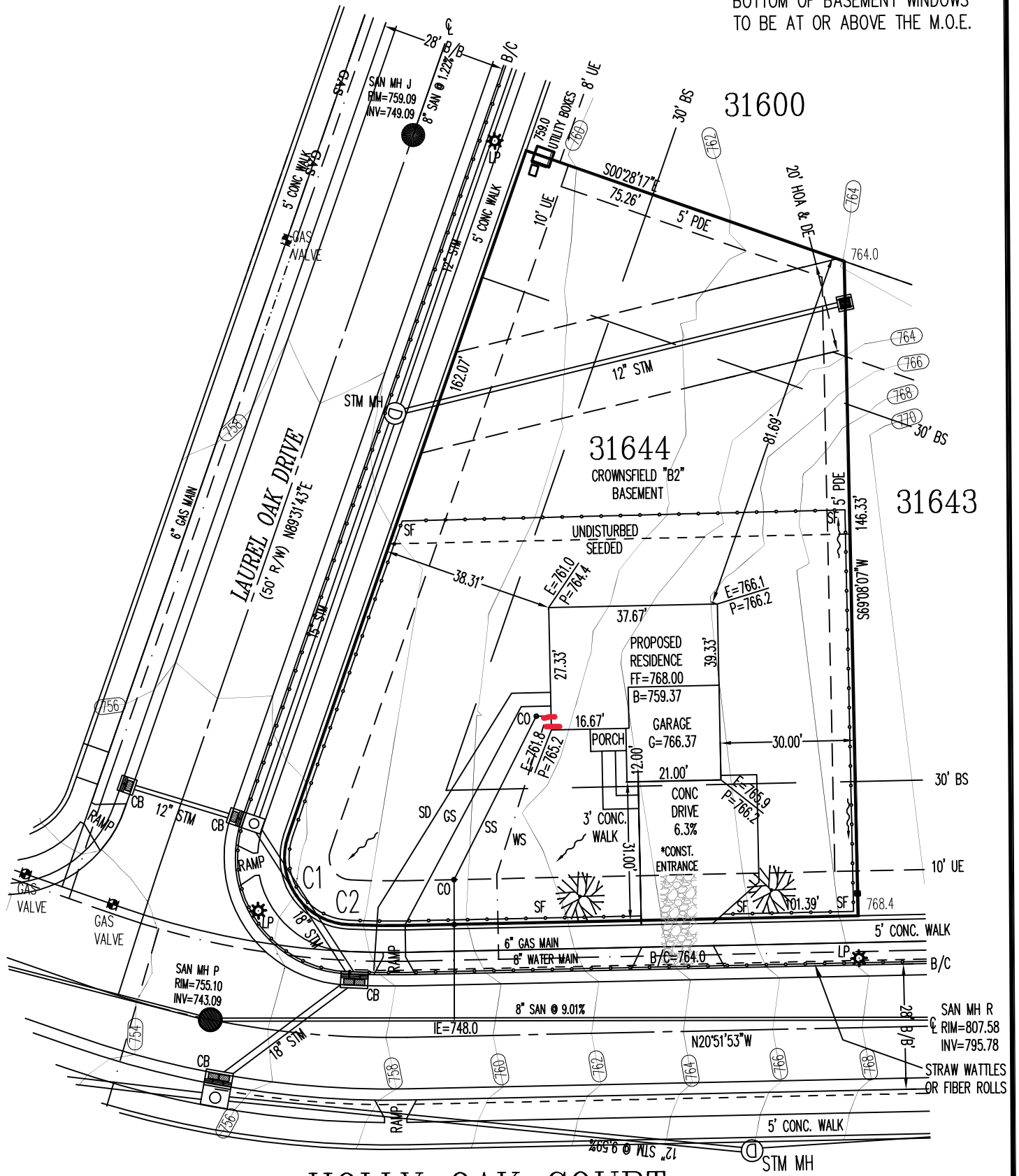
THE GAS SERVICE IS TO BE DIRECT BURY

THE MINIMUM VERTICAL DIFFERENCE BETWEEN THE FINISHED FLOOR ELEVATION OF THE LOWEST LEVEL AND THE CROWN OF THE SANITARY SEWER MAIN IS THREE (3) FOOT

IF THE SANITARY SEWER MAIN NEEDS TO BE TAPPED, A FACTORY WYE MUST BE USED. INSERTA-TEES ARE NOT PERMITTED

AN OPERATOR QUALIFIED (OQ) CONTRACTOR MUST INSTALL THE GAS SERVICE FROM THE CURB BOX TO THE METER. WATER SERVICE SHALL BE TYPE K COPPER FROM THE WATER MAIN TO THE METER. PLASTIC PIPE IS NOT RECOMMENDED ANYWHERE ON THIS PROJECT DUE TO THE CITY'S DISINFECTION PROCESS

TOP OF WINDOW WELLS OR BOTTOM OF BASEMENT WINDOWS TO BE AT OR ABOVE THE M.O.E.



HOLLY OAK COURT

(50' R/W)

YARD TREE SIZE AND SPECIES PER ZONING REQUIREMENTS.

DRAINAGE ARROWS AND ROUTES SUBJECT TO CHANGE



C1
R=15.00'
L=27.82'

C2
R=175.00'
L=12.87'

SETBACKS:
FRONT YARD=30'
REAR YARD=30'
SIDE YARD=5' MIN/15' TOTAL

QUANTITIES

TOTAL LOT AREA	16664	sq. ft.
CITY WALK	1541	sq. ft.
HOUSE WALK	54	sq. ft.
DRIVE	888	sq. ft.
APRON	93	sq. ft.
PATIO AND PORCHES	40	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	9460	sq. ft.
UNDISTURBED AREA	6499	sq. ft.

2 WORKING DAYS BEFORE YOU DIG

CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

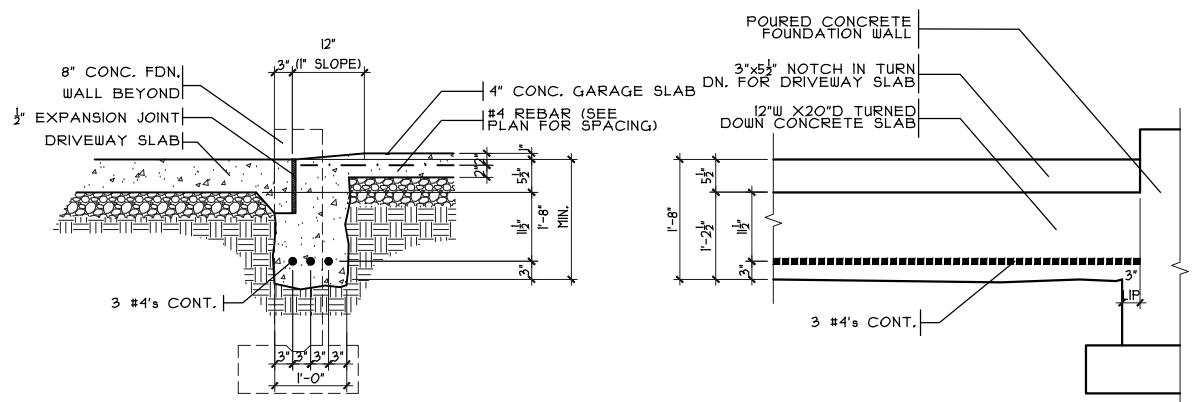
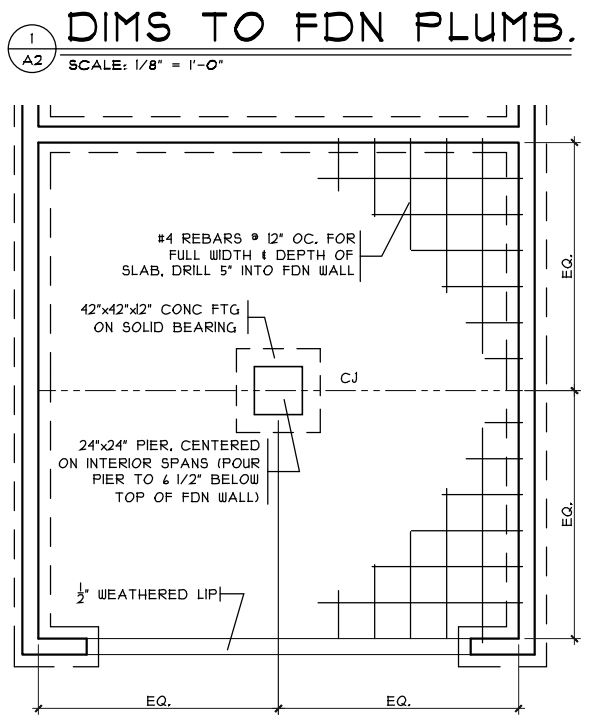
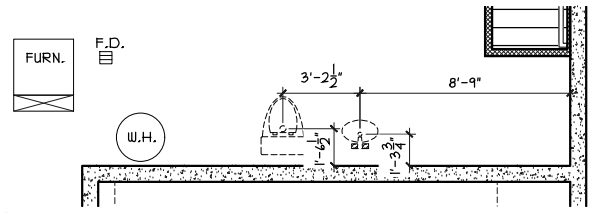
SCALE: 1"=30'
DATE: 9/25/2023
DRAWN: FAK
DESIGNED:
CHECKED: JLS

1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

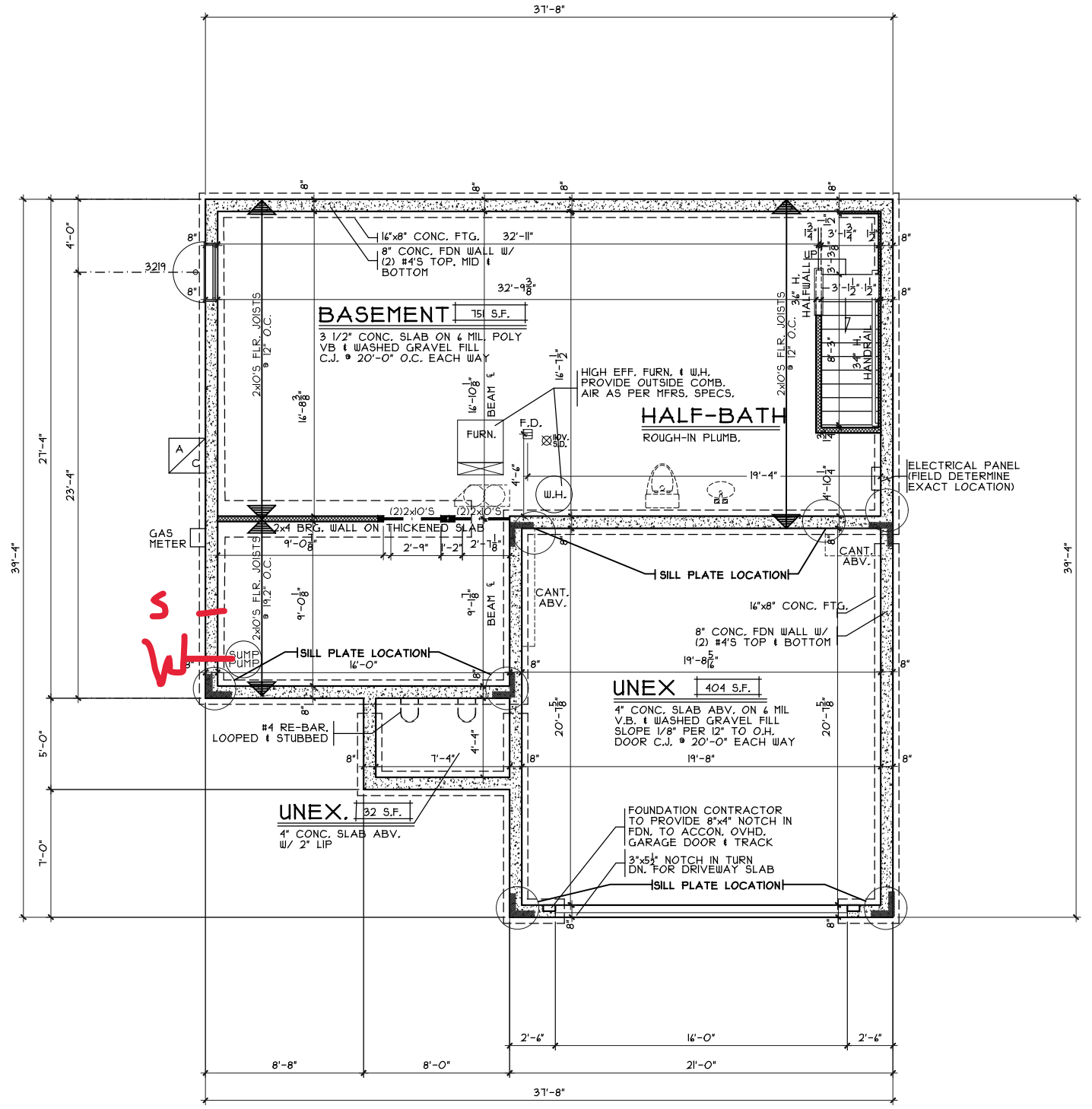
REVISIONS:
1.
2.
3.
4.

PROJECT: GARDNER
DRAWING: 231702PA

SHEET
1 OF 1



SECTION and ELEVATION of GARAGE DOOR GRADE BM
SCALE: 3/8" = 1'-0"



NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1" AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4".

FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

Foundation Plan
Plan: Crownfield Basement
Date: 8.22.2023
Drawn: TB
Scale: As Noted
Revised: 10.11.2023
Sheet: 3 of 8

Proposed Residence:
Braun Residence
123 Holly Oak Court
Views at Garden Ridge Lot #1644

CRISTO HOMES
7594 Tyers Place Blvd.
West Chester, OH 45069
www.cristohomes.com
513.755.0570

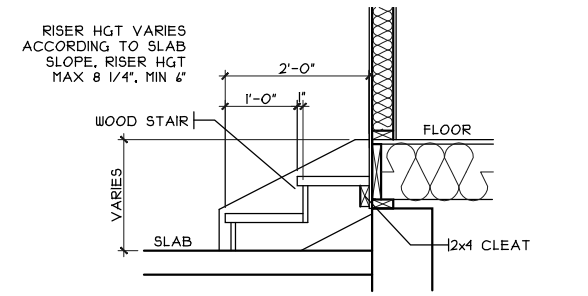
Hamilton
Butler County

Crownfield Bsm - B2 - Vinyl

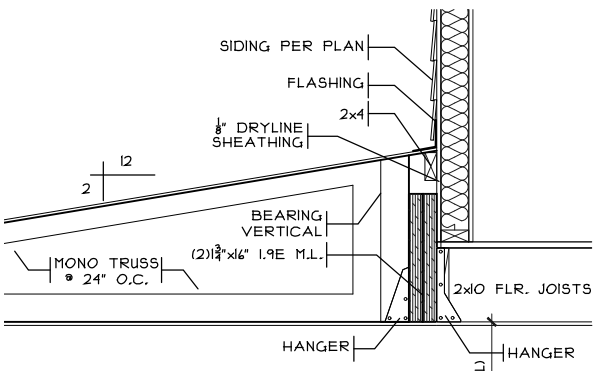
Review	Issue	Dates

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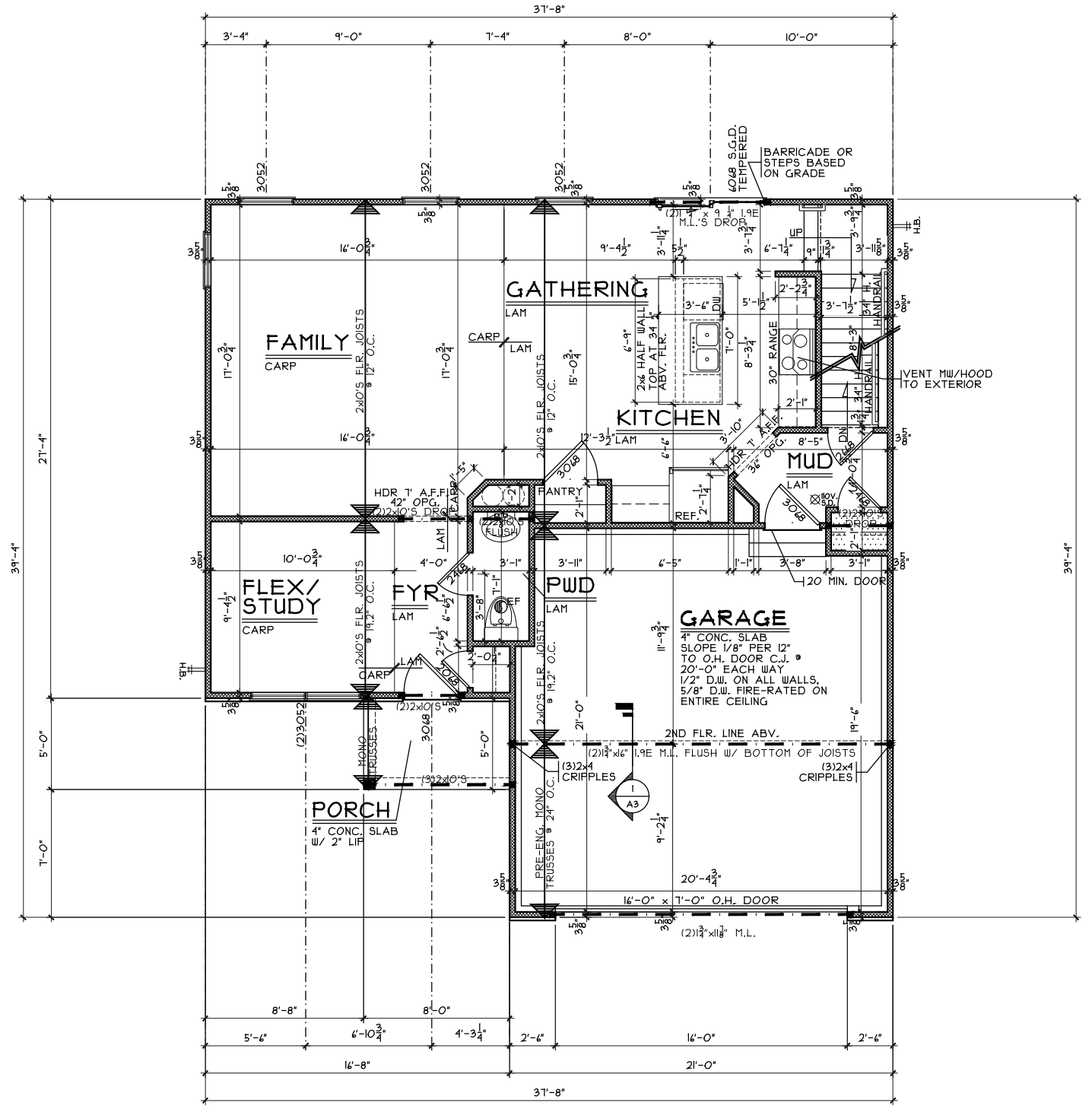
A2



GARAGE STAIRS DETAIL
 SCALE: 1/8" = 1'-0"



GARAGE DETAIL
 SCALE: 1/2" = 1'-0"



NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1" AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4".

FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0" 849 SQ. FT.

First Floor Plan
 Plan: Crownfield Basement
 Date: 8.22.2023
 Drawn: TB
 Scale: As Noted
 Revised: 10.11.2023
 Sheet: 5 of 8

Renaissance - G2-1644
 Proposed Residence:
 Braun Residence
 123 Holly Oak Court
 Views at Garden Ridge Lot #1644

Crownfield Bsm1 - B2 - Vinyl
 Hamilton
 Butler County

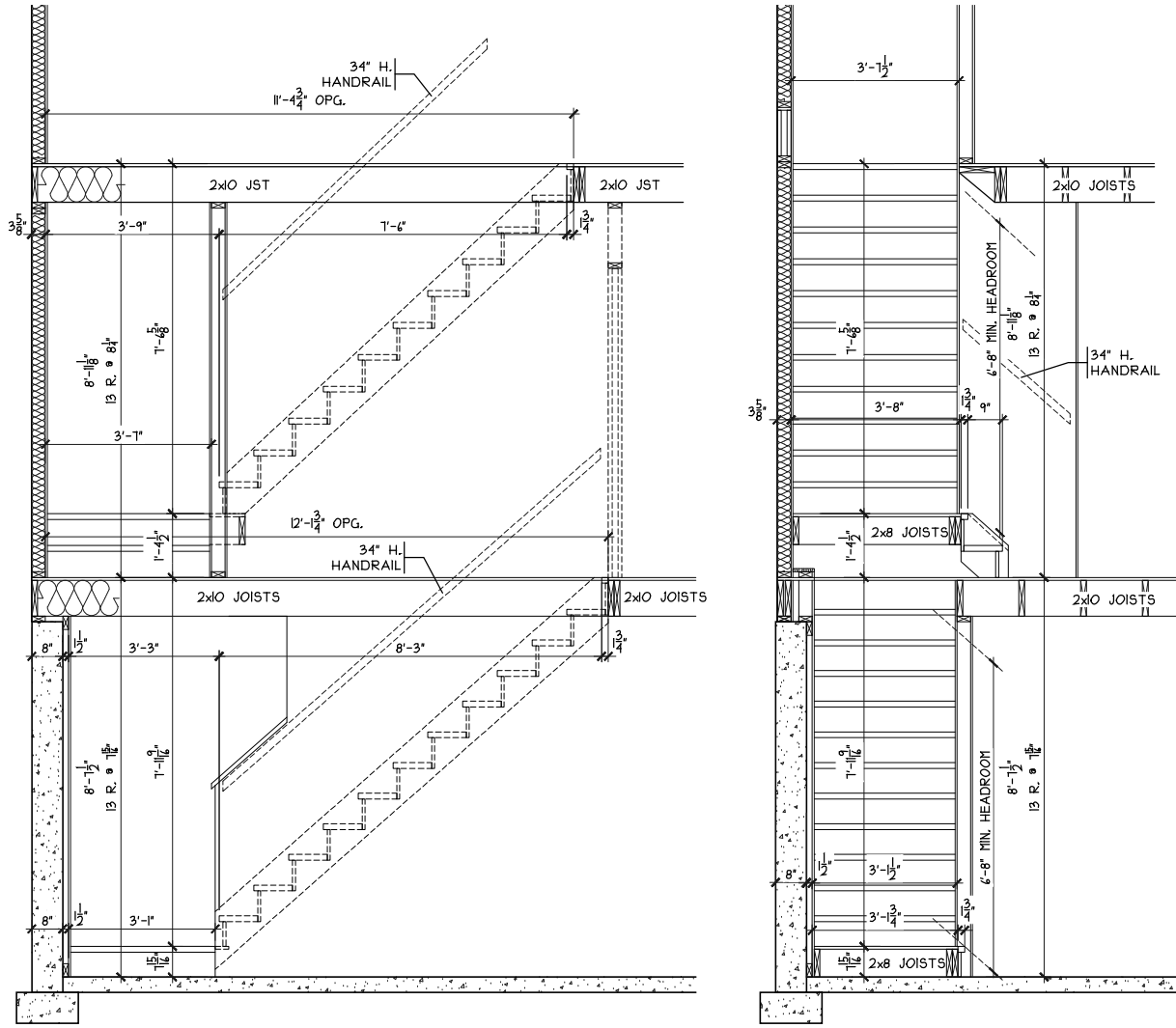
Issue Dates

Review

A3

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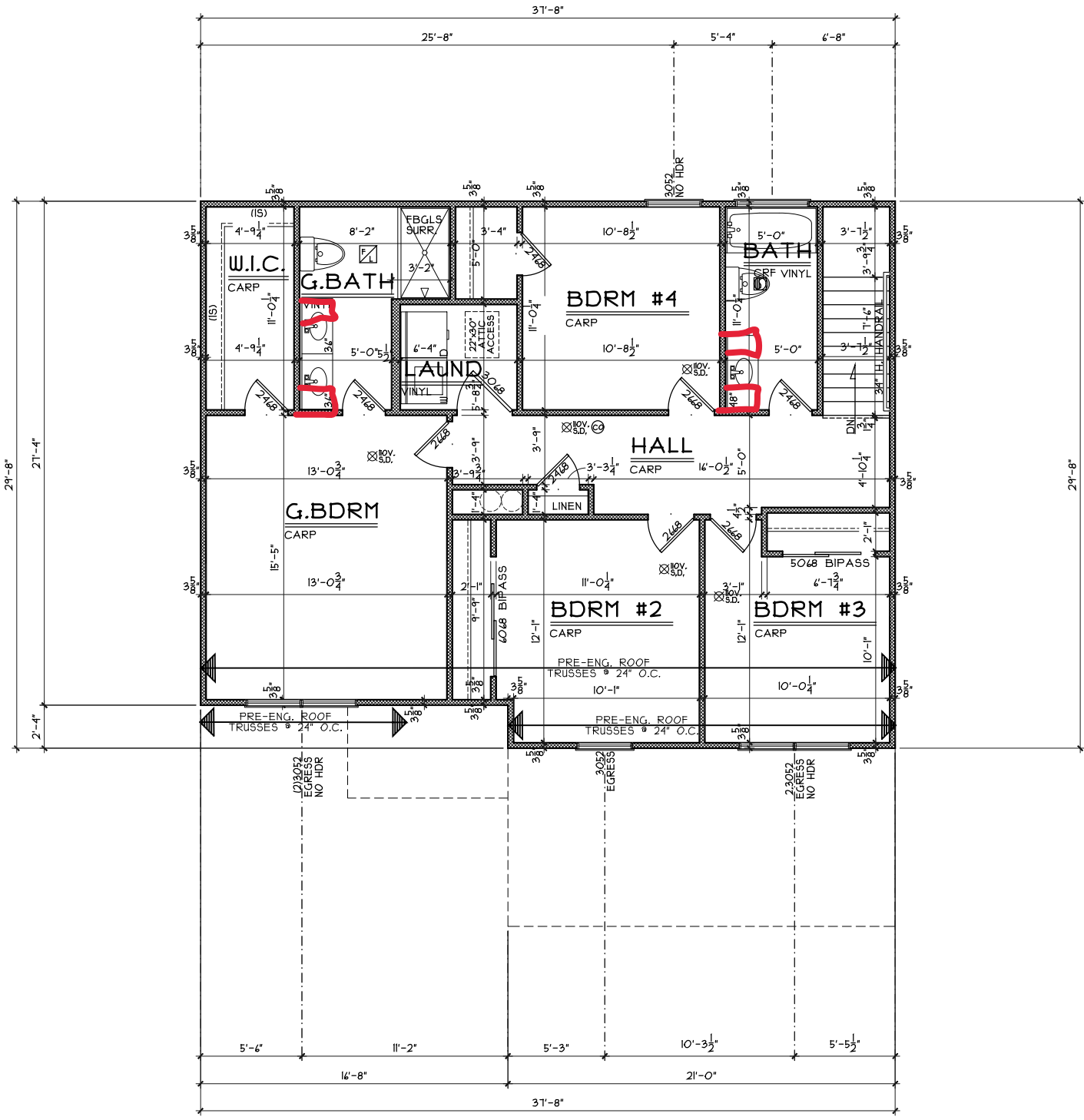
STAIR SECTION

SCALE: 1/4" = 1'-0"

NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1' AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4".

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0" 1038 SQ. FT.



Second Floor Plan

Plan: Crownfield Basement
 Date: 8.22.2023
 Drawn: TB
 Scale: As Noted
 Revised: 10.11.2023
 Sheet: 6 of 8

Renaissance - G2-1644

Proposed Residence:
 Braun Residence
 123 Holly Oak Court
 Views at Garden Ridge Lot #1644

Crownfield Bsm2 - B2 - Vinyl

Hamilton
 Butler County

Issue Dates

Review	Issue Dates

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