

PLOT PLAN
LOT 31596-0.230 AC.
GARDNER RIDGE, SEC. ONE, BLOCK B
CITY OF HAMILTON
BUTLER CO., OHIO
FOR: CRISTO HOMES

BUCHER RESIDENCE
144 WEEPING OAK DRIVE

SETBACKS
FRONT=30'
REAR=30'
SIDE=5'/15'

QUANTITIES

TOTAL LOT AREA=10,000 SF
 CITY WALK=256.0 SF
 HOUSE WALK=48.5 SF
 DRIVE=576.0 SF
 APRON=203.5 SF
 PATIO & PORCH=149.6 SF
 DECK=X
 SEEDING=7771.8 SF
 SOD=X
 UNSEEDED=X
 MS=733.4



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

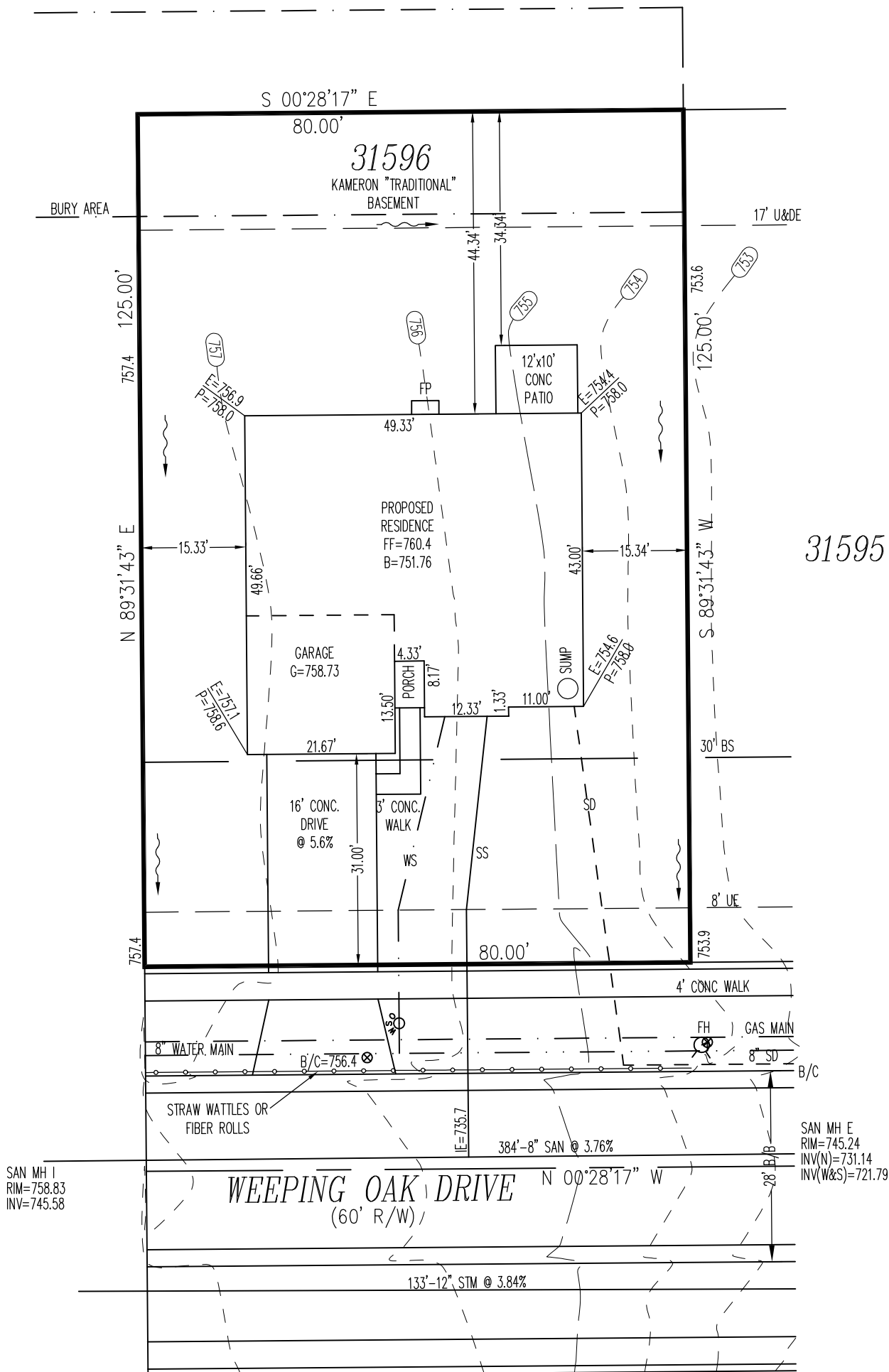
ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

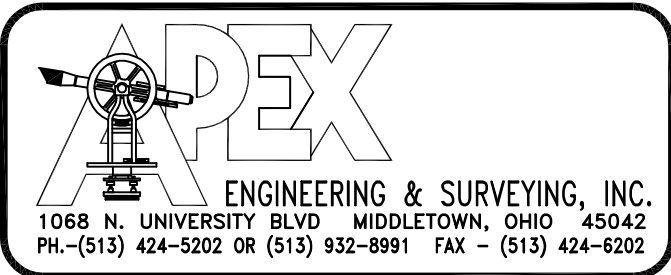
PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



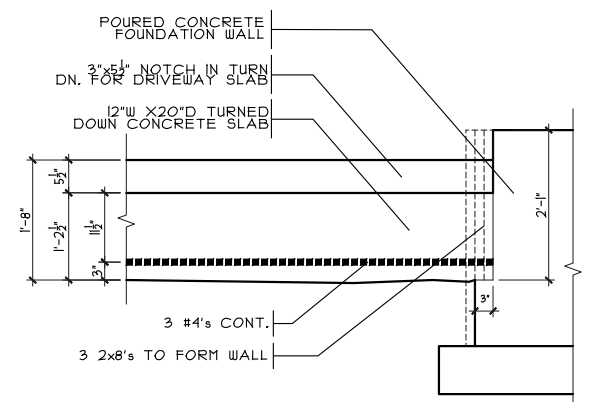
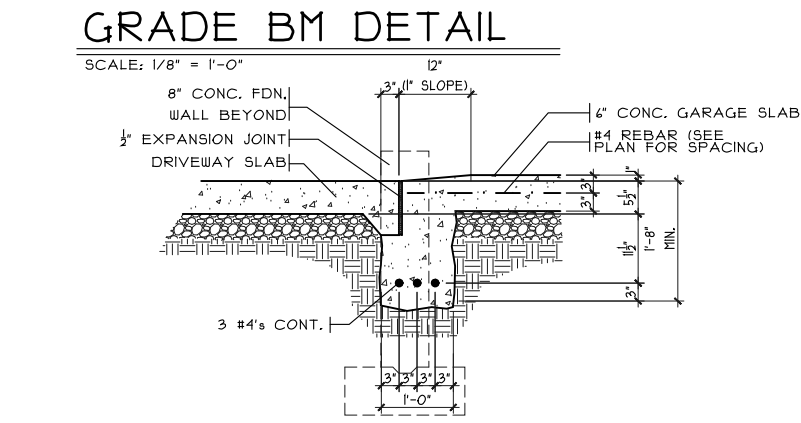
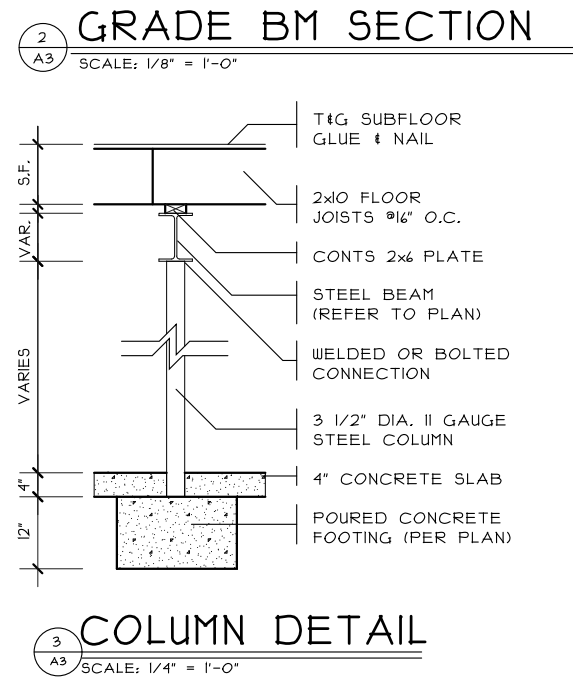
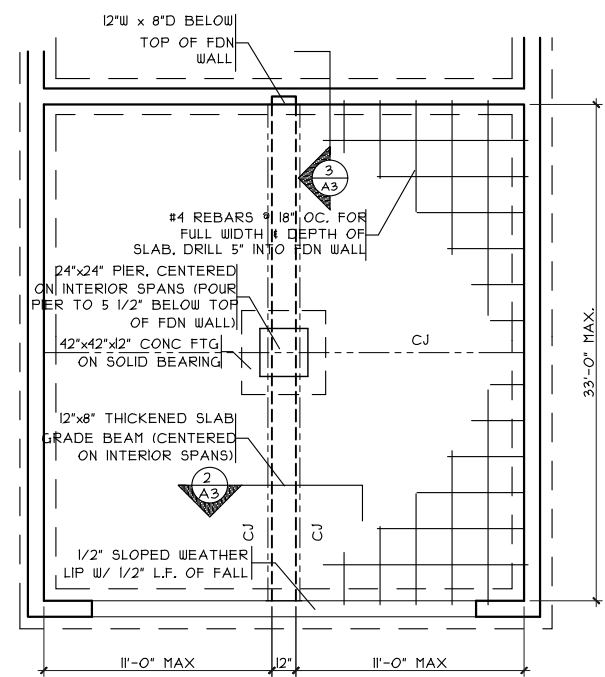
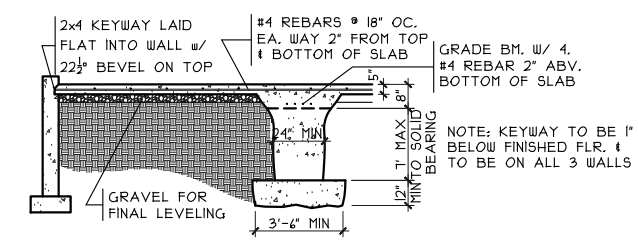
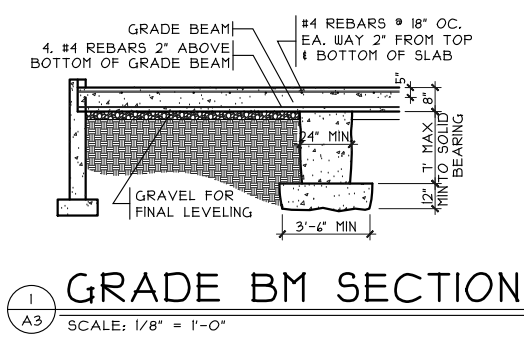
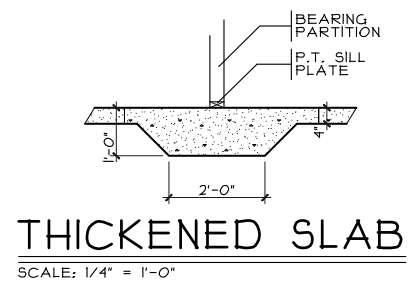
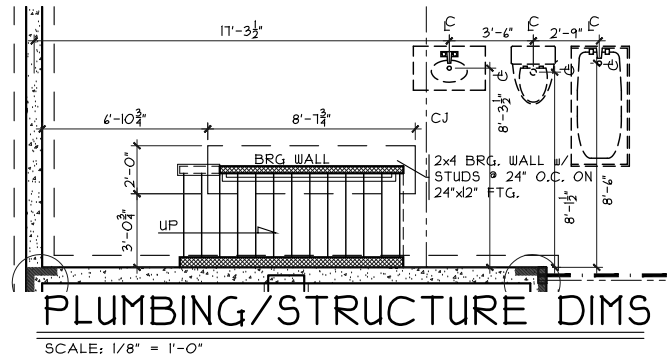
TOPO BY APEX
9-17-14, AND MAY
NOT MATCH CURRENT
CONDITIONS

SCALE: 1"=20'
 DATE: 04-06-18
 DRAWN: JLL
 DESIGNED:
 CHECKED: KRC

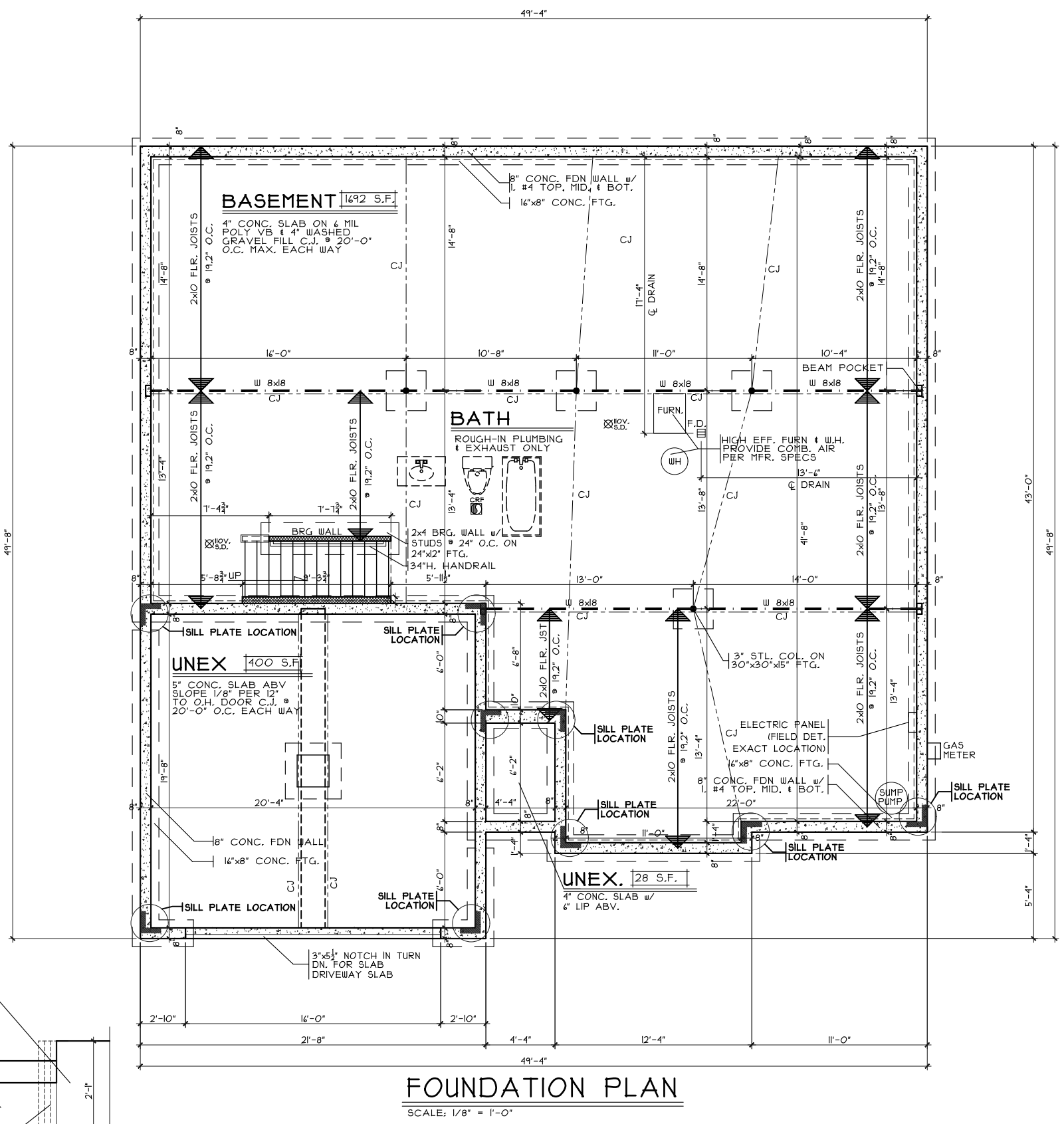


REVISIONS:
 1.
 2.
 3.
 4.

PROJECT: GARDNER DRAWING: 180599PA	SHEET 1 OF 1
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GARAGE DOOR GRADE BM
SCALE: 3/8" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

Foundation Plan - Traditional

Plan : Kameron
Date : 3/23/18
Drawn: CKB
Scale : As Noted
Revised: 5/10/18
Sheet : 7 of 21

Proposed Residence:
Bucher Residence
144 Weeping Oak Drive
Gardner Ridge Lot #1596

Hamilton
Butler County

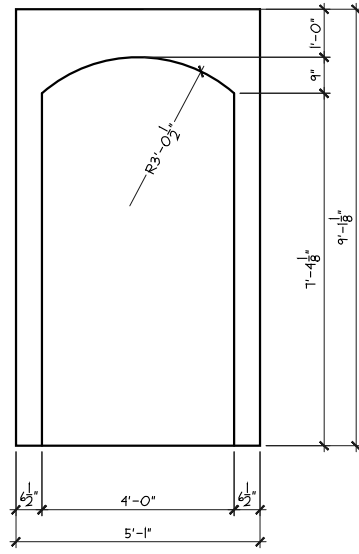
Issue Dates
Review #1 3/30/18
Changes 4/19/18

GR-1596

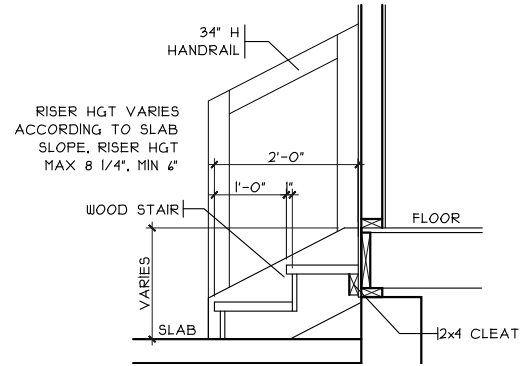
CRISTO HOMES
7594-A Tylers Place Blvd.
West Chester, OH 45389
513.755.0570 www.cristohomes.com

Kameron - Traditional - Vinyl
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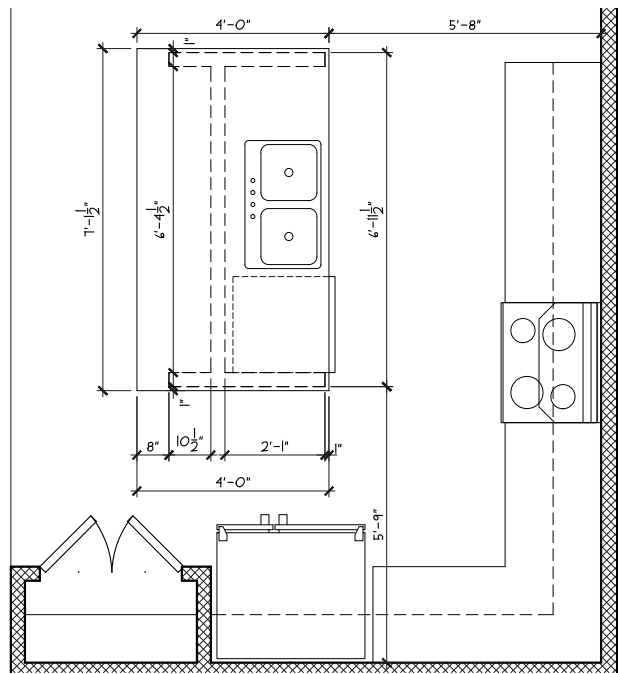
A3



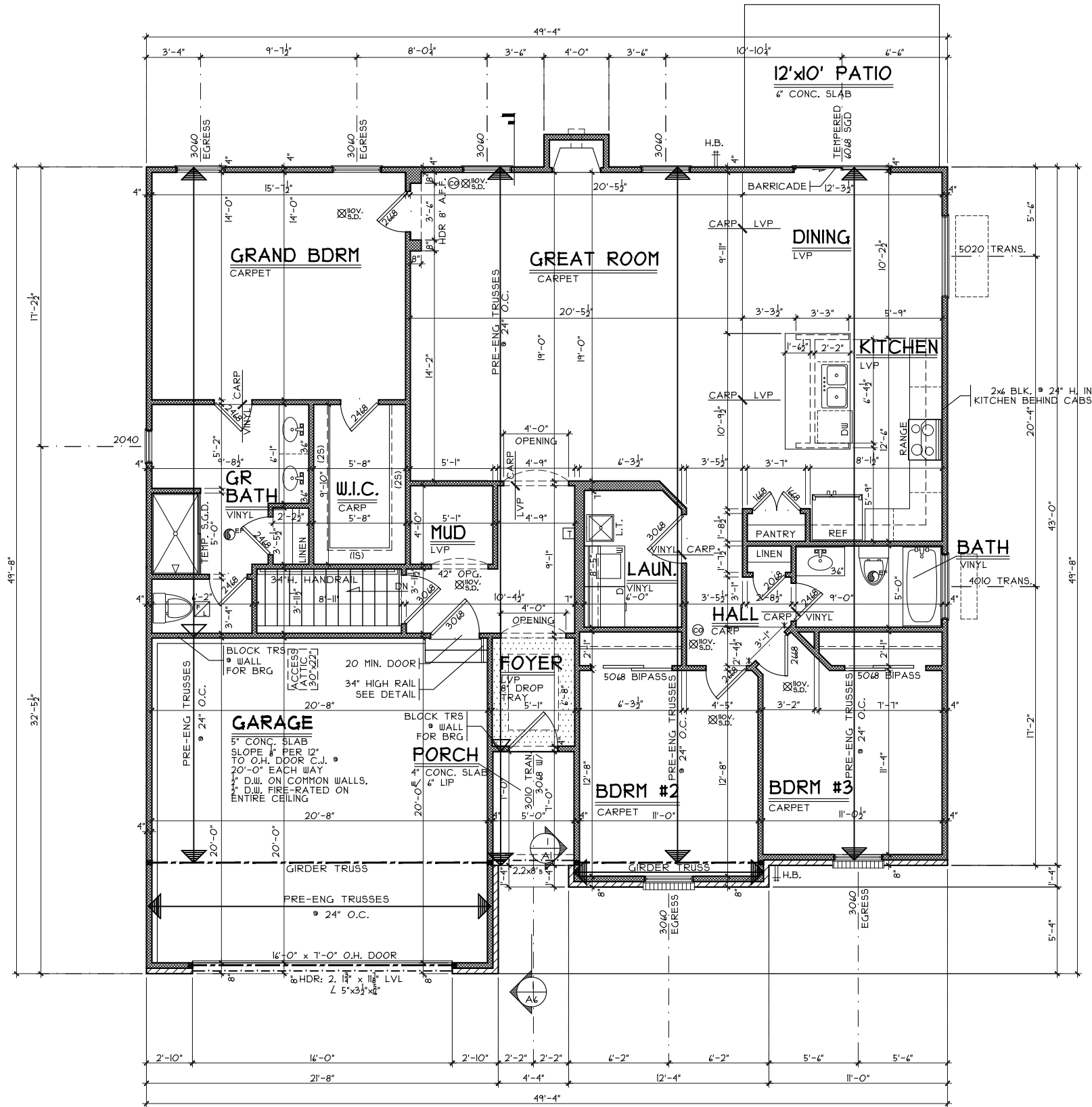
ARCH DET.
SCALE: 1/4" = 1'-0"



GARAGE HANDRAIL DET.
SCALE: 1/8" = 1'-0"



ISLAND FRM'G/CAB'T LAYOUT
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" 1805 S.F.

NOTE:
■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER. CONTINUOUS TO SOLID BEARING BELOW.

First Floor Plan - Traditional

Plan : Kameron
Date : 3/23/18
Drawn: CKB
Scale : As Noted
Revised: 5/10/18
Sheet : 9 of 21



Proposed Residence:
Bucher Residence
144 Weeping Oak Drive
Gardner Ridge Lot #1596

Hamilton
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Kameron - Traditional - Vinyl

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Issue Dates

Review #1 3/30/18
Changes 4/19/18

A4