

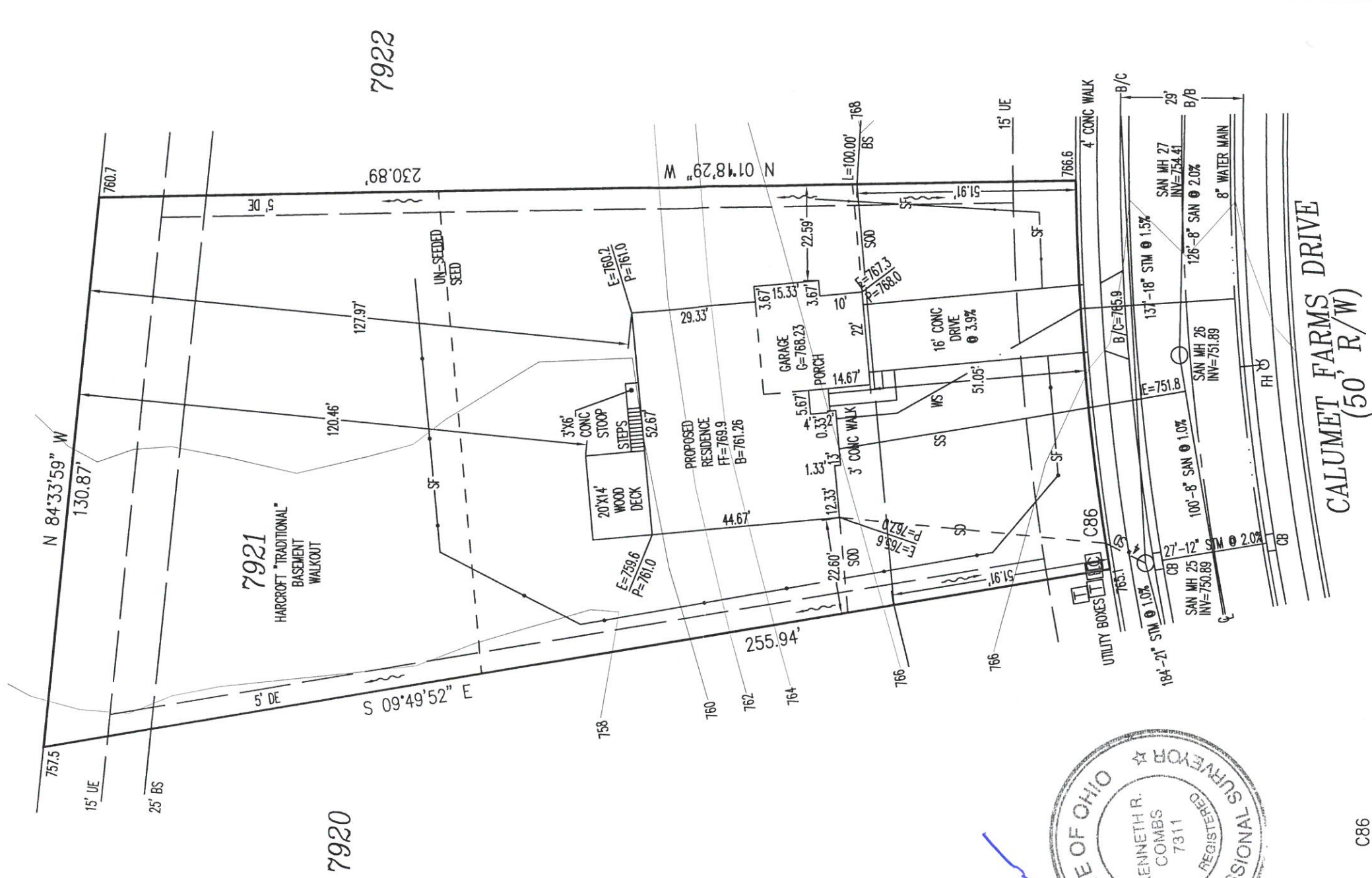
PLOT PLAN

LOT 7921 (26,676 SF) 0.6124 AC.
 TRIPLE CROWN AT KEENELEND ESTATES
 SECT. 12, TOWN 4, RANGE 3

CITY OF LEBANON
 WARREN COUNTY OHIO
 FOR: CRISTO HOMES



GREIDER RESIDENCE
 430 CALUMET FARMS DRIVE



QUANTITIES

- TOTAL LOT AREA= 26,676 SF
- CITY WALK= 303.7 SF
- HOUSE WALK= 60.5 SF
- DRIVE=899.4 SF
- APRON= 101.8 SF
- PATIO & PORCH= 44.2 SF
- DECK= 280.0 SF
- SEEDING= 7,000 SF
- SOD= 5,055.8 SF
- UNSEEDED= 11,217.5 SF

INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND SANITARY SERVICES BEFORE CONSTRUCTION.
 ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED. UNLESS F.E.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.
 A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

Prior to construction, a geotechnical report shall be obtained by the builder. Apex assumes no responsibility for soil conditions.

APEX ENGINEERING & SURVEYING INC.
 ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



C86
 R=621.00'
 L=92.38'

SETBACKS:
 FRONT = 50'
 REAR = 25'
 SIDE = 10' MIN. / 25' TOTAL

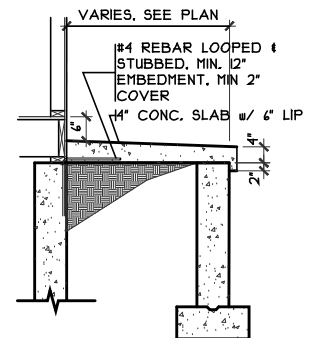
SCALE: 1"=30'
 DATE: 06-08-16
 DRAWN: JLL
 DESIGNED:
 CHECKED: KRC

APEX
 ENGINEERING & SURVEYING, INC.
 1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
 PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

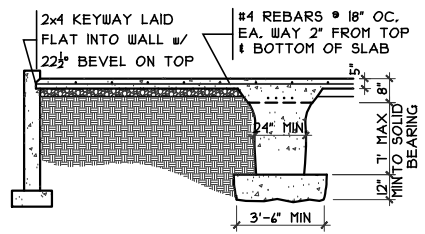
REVISIONS:
 1. 6-20-16
 2.
 3.
 4.

PROJECT: KEENELEND
 DRAWING: 160860PA

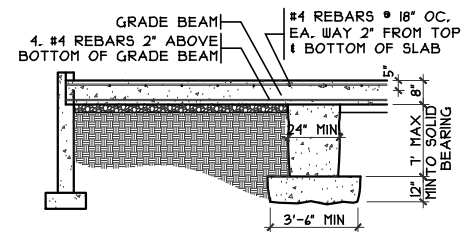
SHEET
 1 OF 1



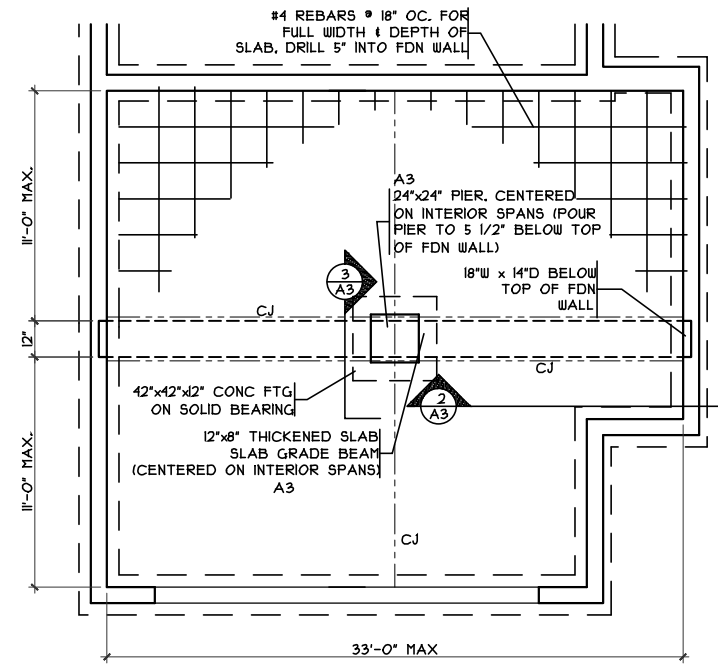
1 THICKENED SLAB DETAIL
 SCALE: 1/4" = 1'-0"



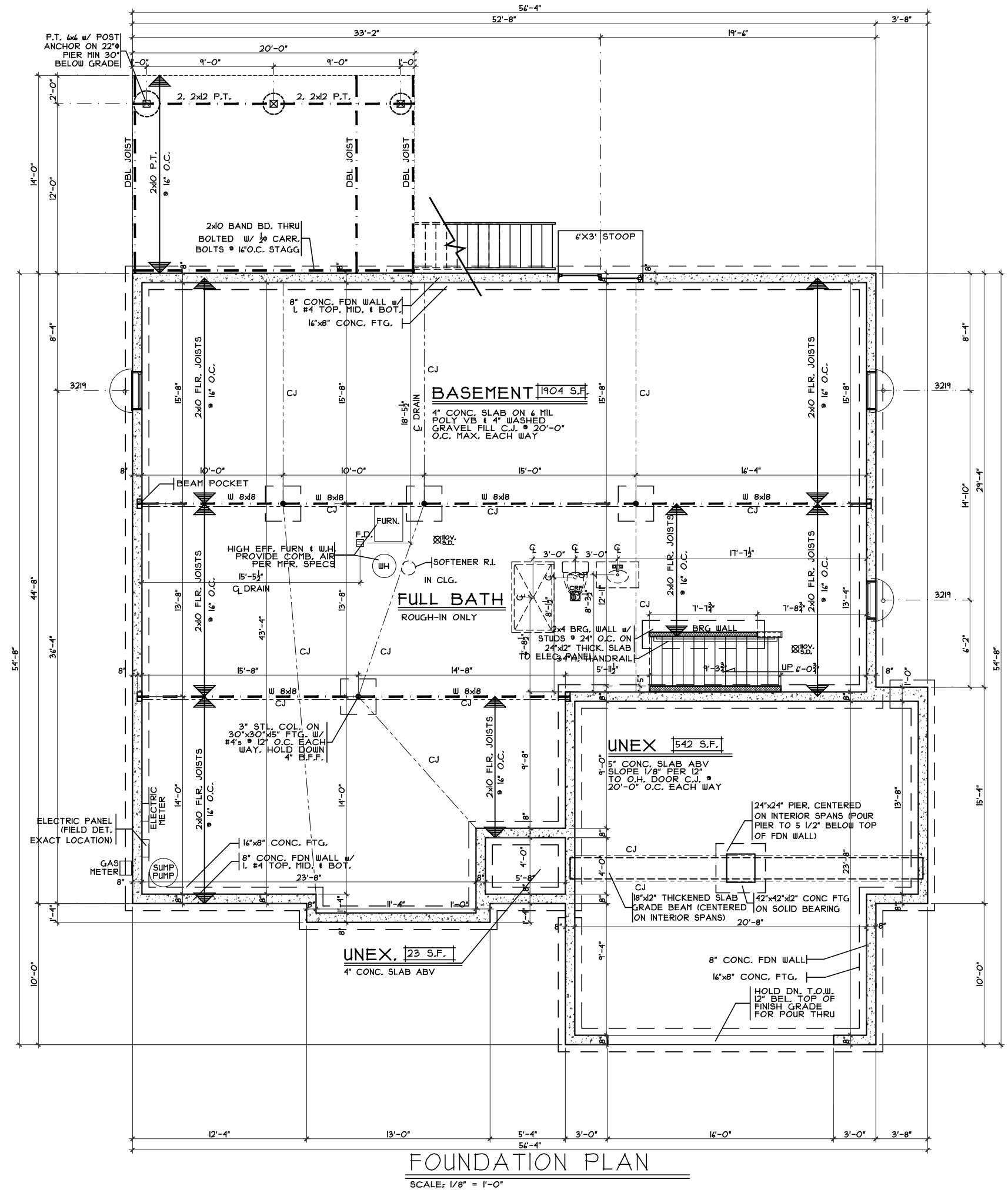
2 GRADE BM SECTION
 SCALE: 1/8" = 1'-0"



1 GRADE BM SECTION
 SCALE: 1/8" = 1'-0"



GRADE BM DETAIL
 SCALE: 1/8" = 1'-0"



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

Foundation Plan - Traditional
 KES1-7921
 Proposed Residence:
 Greider Residence
 430 Calumet Farms Dr.
 Keenland Estates Lot #7921
 Lebanon
 Warren County

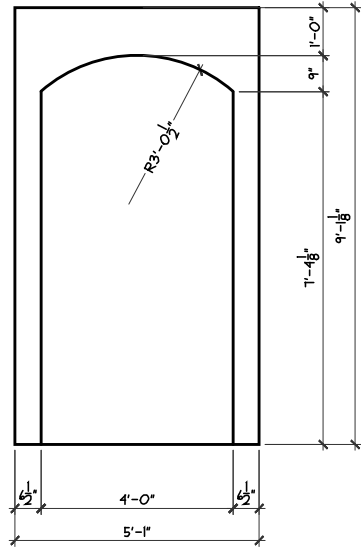
Harcroft - Traditional - Brick Wrap - Vinyl
 Issue Dates
 Review #1 6.9.2016
 Correction 7.1.2016

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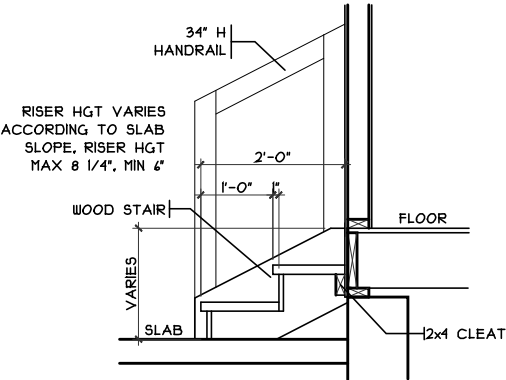
Plan : Harcroft
 Date: 5.26.2016
 Drawn: CKB
 Scale : As Noted
 Revised: 7.1.2016
 Sheet : 3 of 11

CRISTO HOMES
 7594-A Tylers Place Blvd.
 West Chester, OH 45389
 513.755.0570 www.cristohomes.com

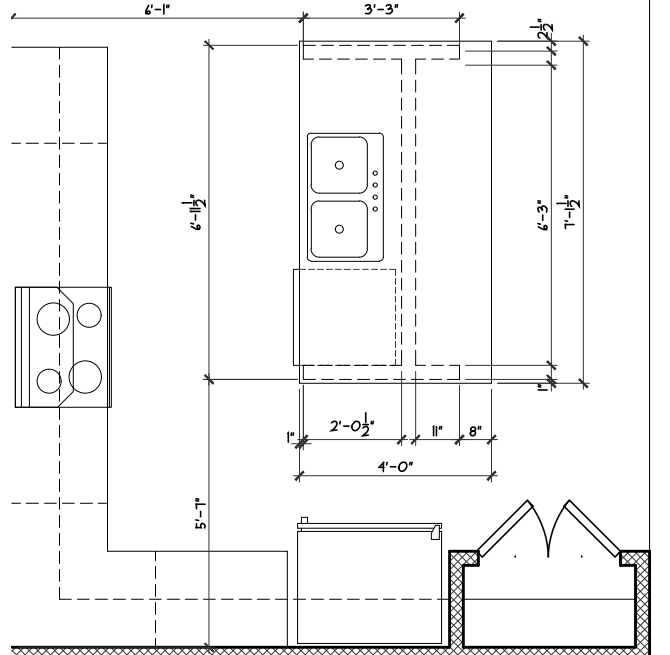
A3



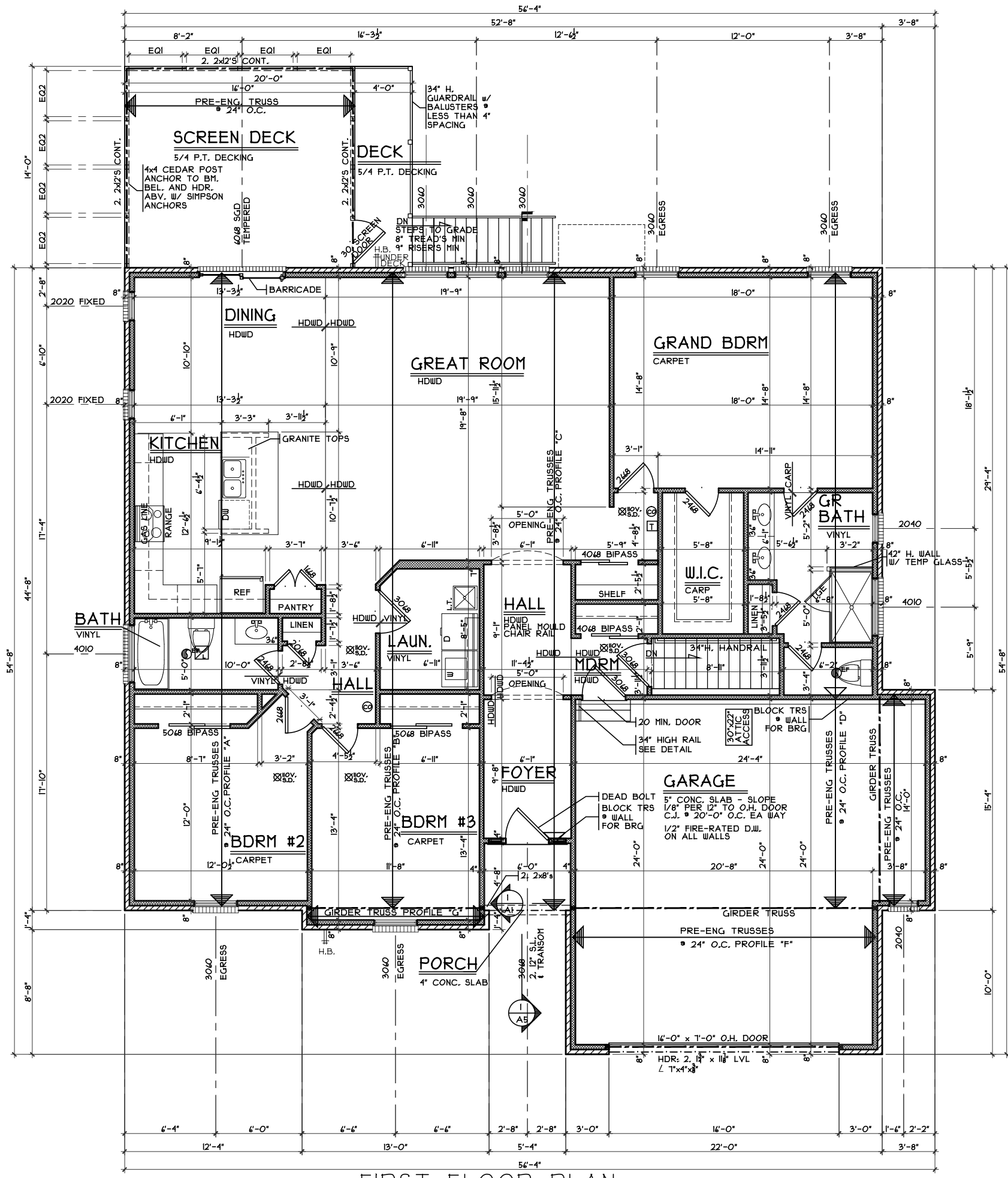
ARCH DET.
SCALE: 1/8" = 1'-0"



GARAGE HANDRAIL DET.
SCALE: 1/8" = 1'-0"



ISLAND FRM'G/CAB'T LAYOUT
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

First Floor Plan - Traditional
 Plan : Harcroft
 Date: 5.26.2016
 Drawn: CKB
 Scale : As Noted
 Revised: 7.1.2016
 Sheet : 4 of 11

KES1-7921
 Proposed Residence:
Greider Residence
 430 Calumet Farms Dr.
 Keenland Estates Lot #7921

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 7594-A Tylers Place Blvd.
 West Chester, OH 45069
 513.755.0570 www.cristohomes.com

Lebanon
Warren County

Harcroft - Traditional - Brick Wrap - Vinyl
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