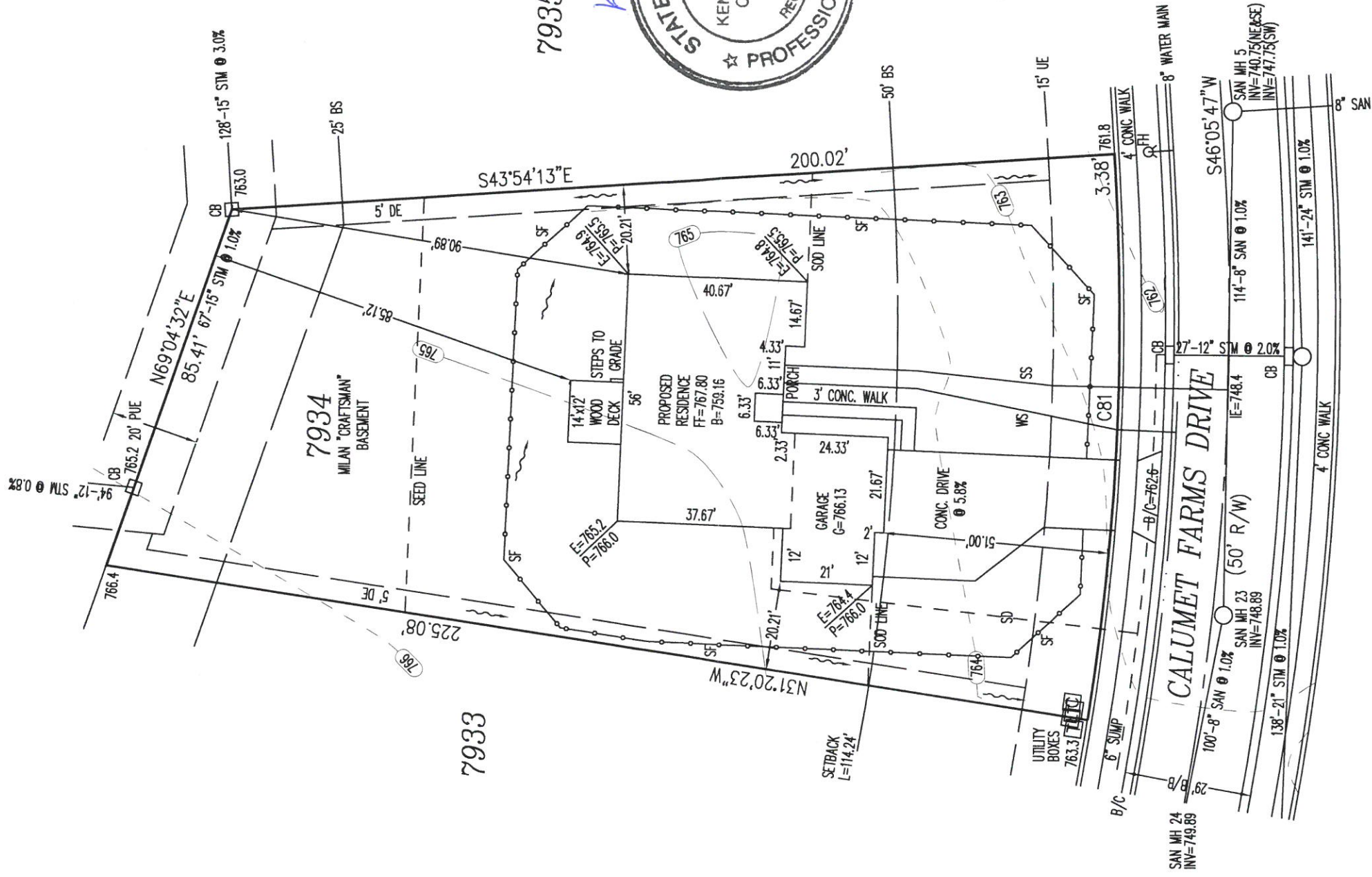


LADD RESIDENCE  
451 CALUMET FARMS DRIVE

# PLOT PLAN

LOT 7934 (22,522 SF) 0.5170 AC.  
TRIPLE CROWN AT KEENEELAND ESTATES  
SECT. 12, TOWN 4, RANGE 3  
CITY OF LEBANON  
WARREN COUNTY OHIO  
FOR: CRISTO HOMES



### QUANTITIES

TOTAL LOT AREA=22,522 SF  
CITY WALK=452.9 SF  
HOUSE WALK=111.5 SF  
DRIVE=1288.1 SF  
APRON=101.8 SF  
PATIO & PORCH=40.1 SF  
DECK=168.0 SF  
SEEDING=7000.0 SF  
SOD=6853.3 SF  
UNSEEDED=4910.0 SF

TOPOGRAPHY BY  
APEX: 7-24-14

INFORMATION FROM CONSTRUCTION DRAWINGS.  
CONTRACTOR IS TO VERIFY LOCATION AND DEPTH  
OF WATER AND SANITARY SERVICES BEFORE  
CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED  
WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.  
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN  
ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY  
FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR  
GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S  
RESPONSIBILITY.

Prior to construction, a geotechnical report shall be obtained  
by the builder. Apex assumes no responsibility for soil  
conditions.

C81  
R=885.00'  
L=148.40'

SETBACKS:  
FRONT = 50'  
REAR = 25'  
SIDE = 10' MIN. / 25' TOTAL

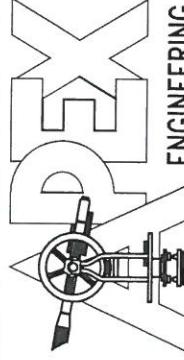
SCALE: 1"=30'

DATE: 09/14/2016

DRAWN: JLS

DESIGNED:

CHECKED:



ENGINEERING & SURVEYING, INC.  
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:

- 1.
- 2.
- 3.
- 4.

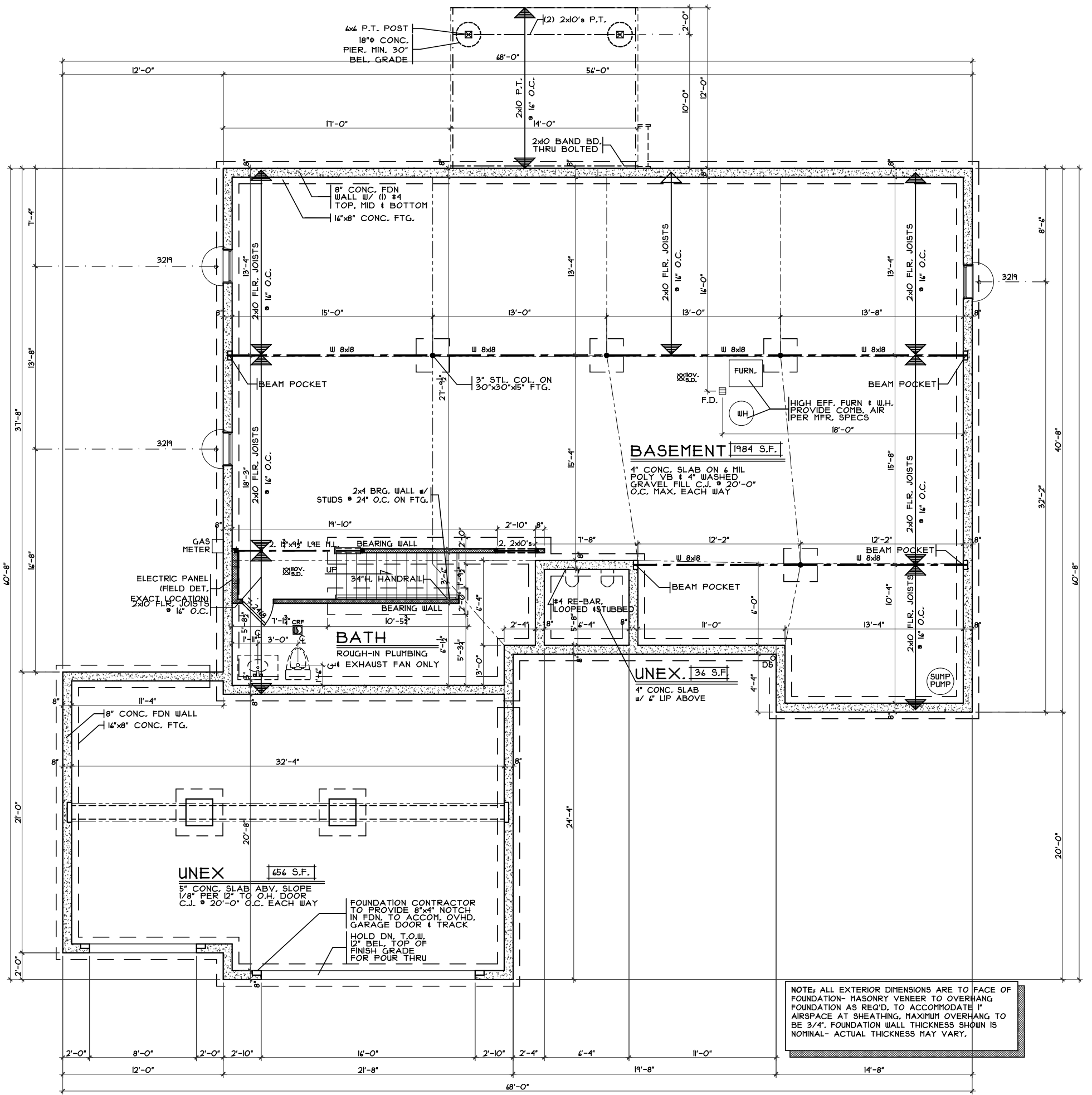
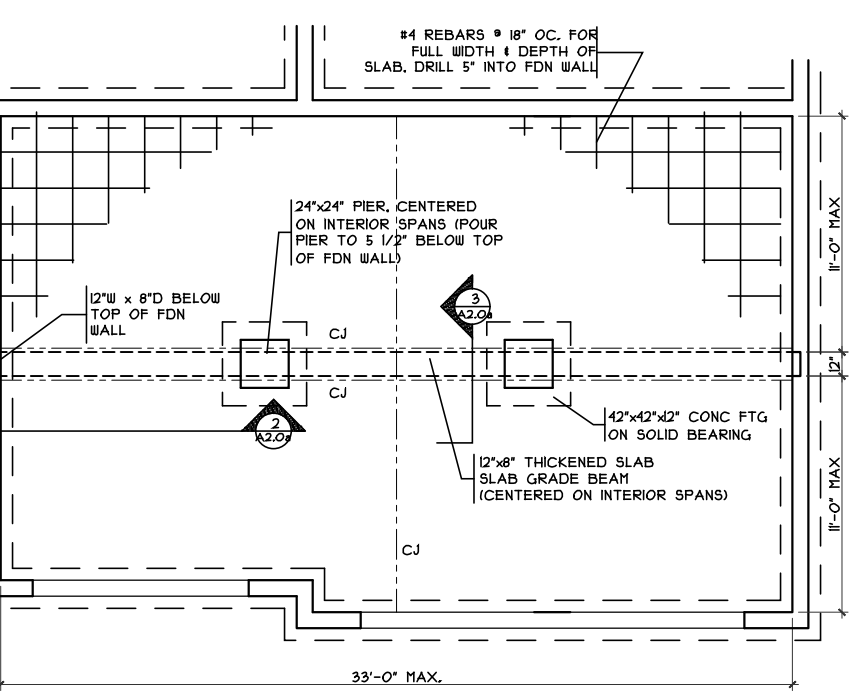
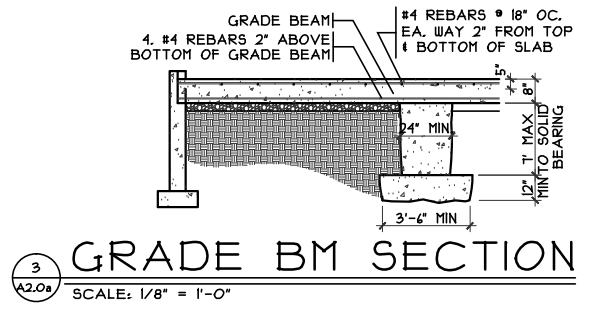
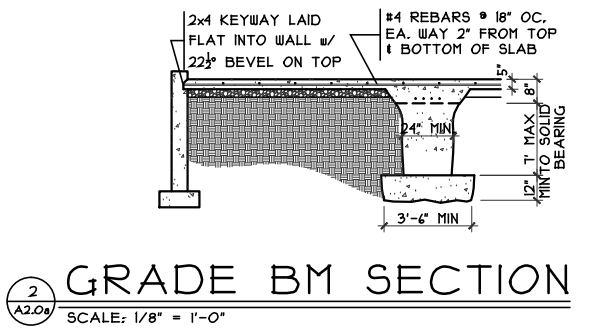
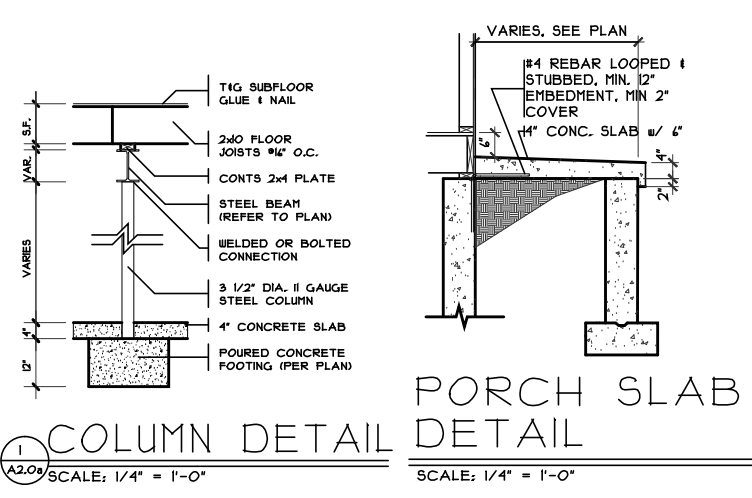
PROJECT: KEENEELAND  
DRAWING: 161432PA

SHEET  
1 OF 1



7935

7933



NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1" AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4". FOUNDATION WALL THICKNESS SHOWN IS NOMINAL- ACTUAL THICKNESS MAY VARY.

Foundation Plan - Craftsman  
Plan : Milan  
Date : 8/25/16  
Drawn: CKB  
Scale : As Noted  
Revised: 9/30/16  
Sheet : 15 of 23

Proposed Residence:  
Ladd Residence  
451 Calumet Farms Dr.  
Keenland Estates Lot #7934

KESI-7934

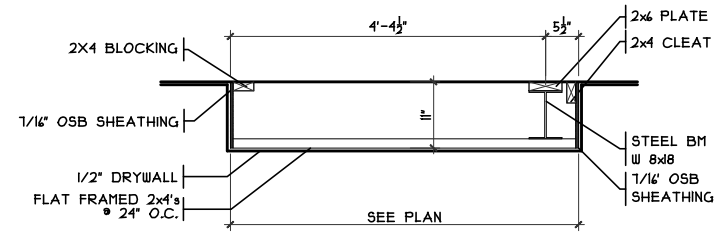
Milan - Brick Wrap - Vinyl  
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Lebanon  
Warren County

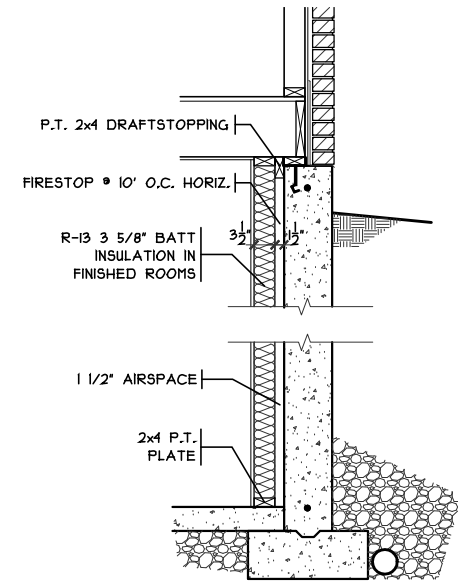
**CRISTO HOMES**  
7994-A Tyers Place Blvd.  
West Chester, OH 45069  
513.755.0570 www.cristohomes.com

**A2.0a**

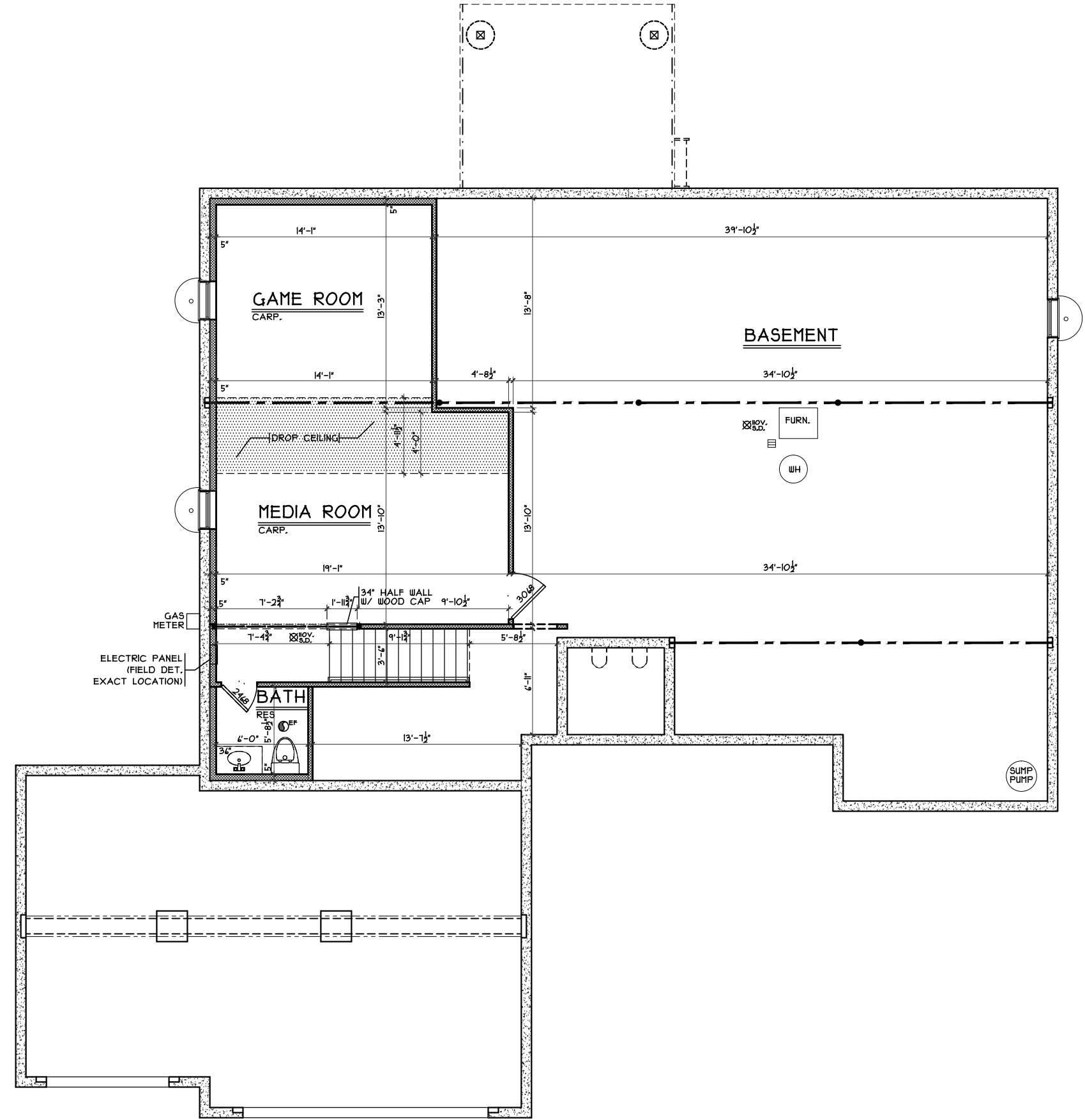




**DROP CLG. DETAIL**  
SCALE: 3/16" = 1'-0"



**FIN. LL WALL DETAIL**  
SCALE: 3/16" = 1'-0"



**FINISHED LOWER LEVEL PLAN**  
SCALE: 1/8" = 1'-0" 558 S.F.

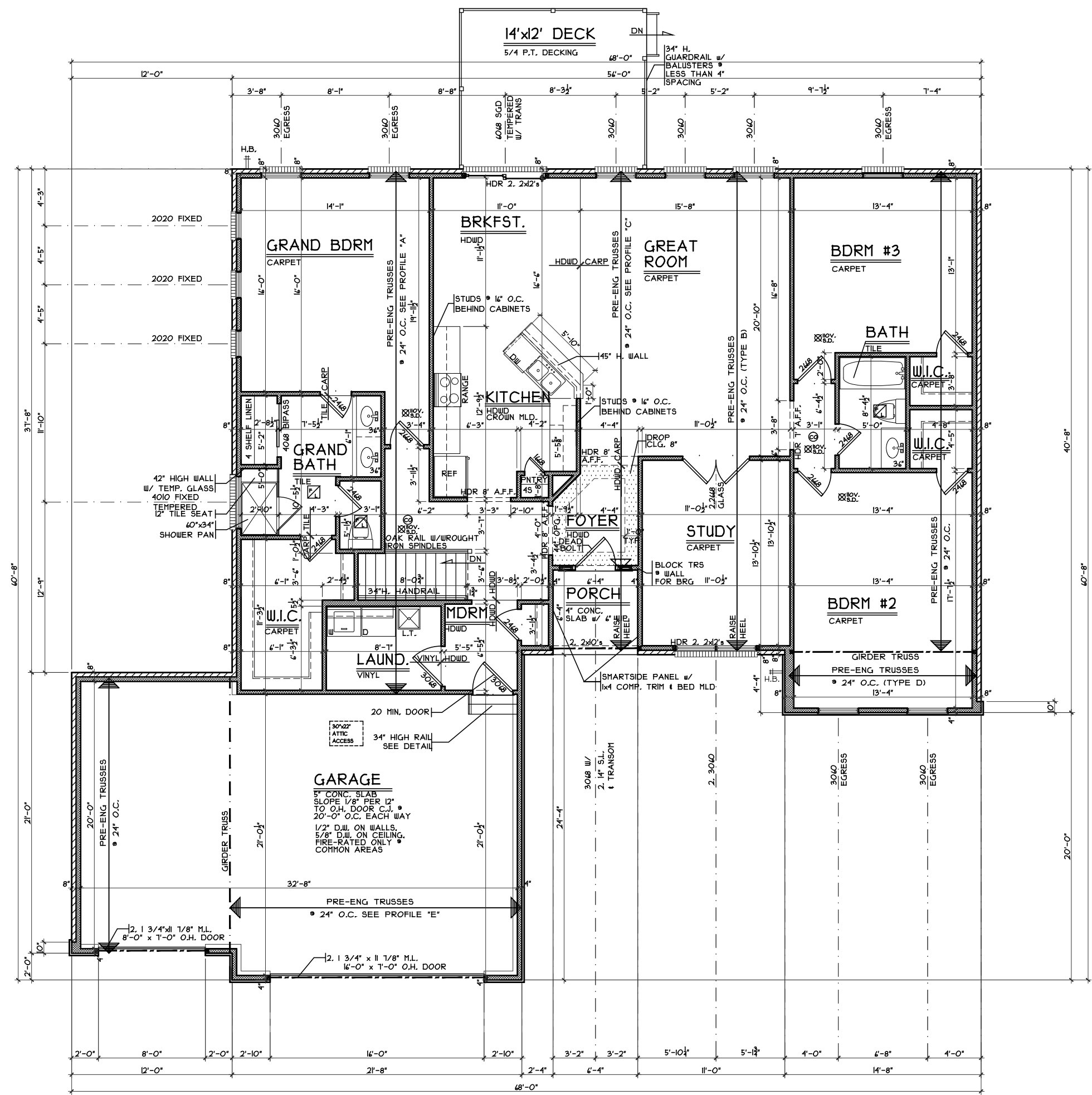
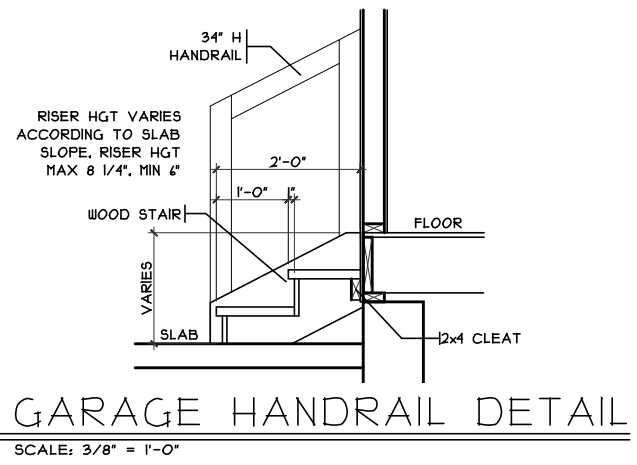
**Finished Lower Level - Craftsman**  
 Plan : Milan  
 Date : 8/25/16  
 Drawn: CKB  
 Scale : As Noted  
 Revised: 9/30/16  
 Sheet : 16 of 23

**Proposed Residence:**  
 Ladd Residence  
 451 Calumet Farms Dr.  
 Keenland Estates Lot #7934

**KESI-7934**  
 Lebanon  
 Warren County

**Milan - Brick Wrap - Vinyl**  
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**Issue Dates**  
 Review #1 9/14/16  
 Review #2 9/30/16



**First Floor Framing Plan - Craftsman**  
 Plan : Milan  
 Date : 8/25/16  
 Drawn: CKB  
 Scale : As Noted  
 Revised: 9/30/16  
 Sheet : 17 of 23

**KESI-7934**  
 Proposed Residence:  
 Ladd Residence  
 451 Calumet Farms Dr.  
 Keenland Estates Lot #7934  
 Warren County, Lebanon

**Milan - Brick Wrap - Vinyl**  
 Issue Dates:  
 Review #1 9/14/16  
 Review #2 9/30/16

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**A3.0**