

MM 4914
710 Brelsford Ave
Trenton, OH 45067

2 Story Basement - Grey water pit - hanging sewer

Vent Kitchen Sink

2 hose bibs - no valves required

ice maker

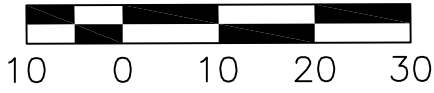
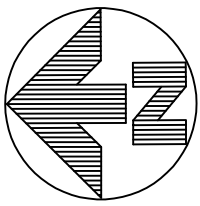
1 tub

1 shower

laundry tub

MUST INSTALL PRESSURE REGULATOR ON WATER MAIN !!

Gas Furnace



SPEC HOME
710 BRELSFORD AVENUE

PLOT PLAN

LOT 4914 (10,772 SF) 0.2473 ACRES

MADISON MANOR

CITY OF TRENTON

BUTLER COUNTY, OHIO FOR: CRISTO HOMES

QUANTITIES

TOTAL LOT AREA	10772	sq. ft.
CITY WALK	216	sq. ft.
HOUSE WALK	56	sq. ft.
DRIVE	688	sq. ft.
APRON	121	sq. ft.
PATIO AND PORCHES	152	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	4771	sq. ft.
UNDISTURBED AREA	4029	sq. ft.

SETBACKS:

FRONT YARD=38'
REAR YARD=40'
SIDE YARD=8' MIN/20' TOTAL

M.S.=687.9

M.O.E.=691.7

TOP OF WINDOW WELLS OR
BOTTOM OF BASEMENT WINDOWS
TO BE AT OR ABOVE THE M.O.E.

HUNG SEWER

FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

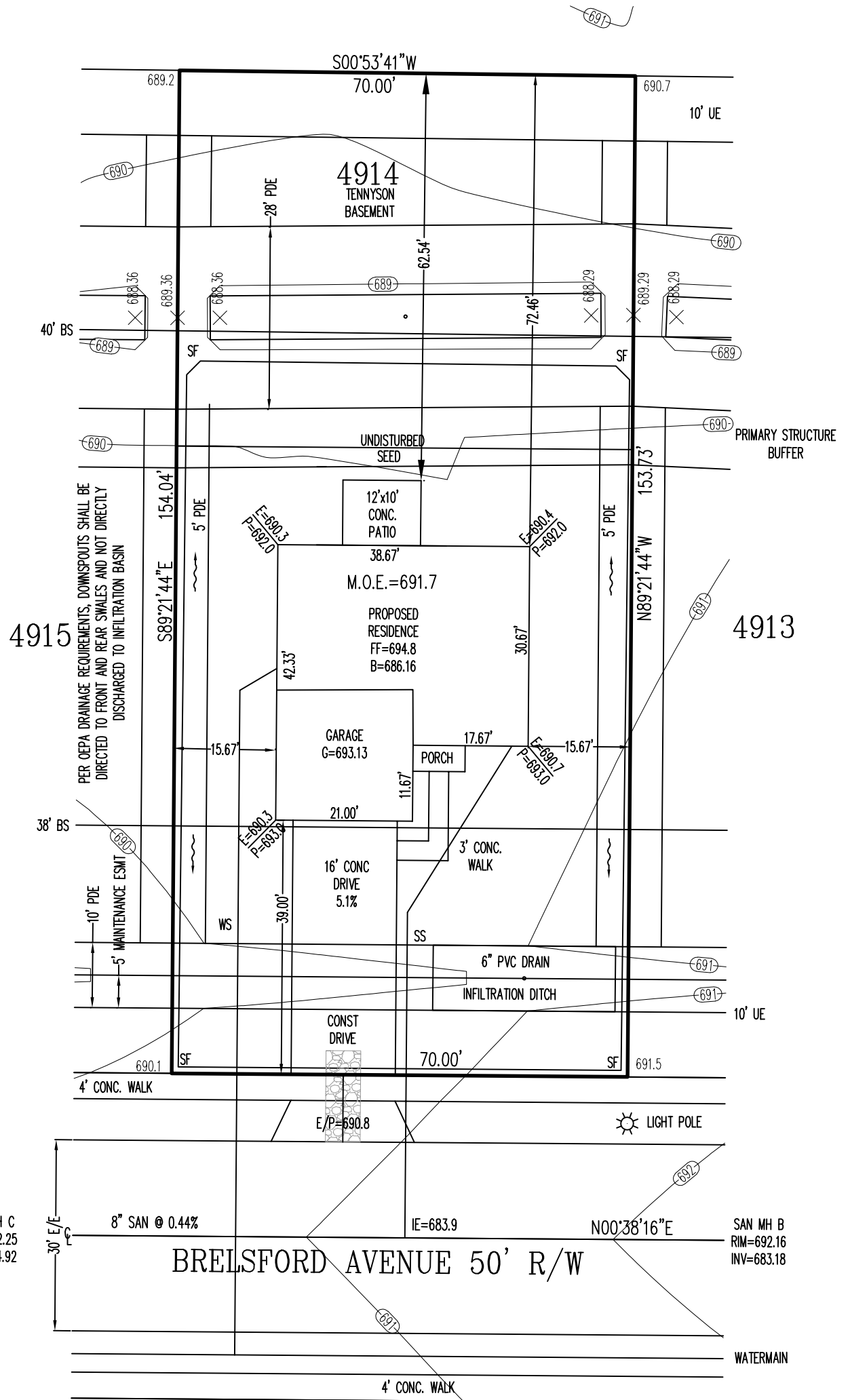
A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



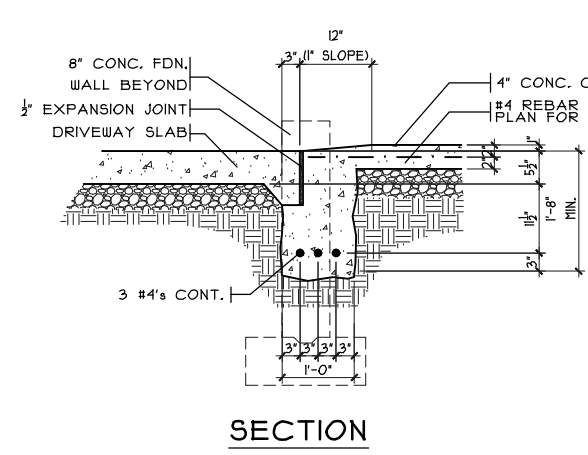
SCALE: 1"=20'
DATE: 11/28/2023
DRAWN: JAC
DESIGNED:
CHECKED: JLS



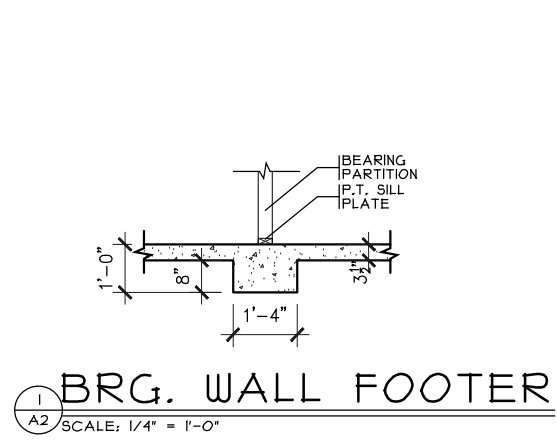
REVISIONS:
1. 1/26/2024
2.
3.
4.

PROJECT: MADISONMANOR
DRAWING: 232146PB

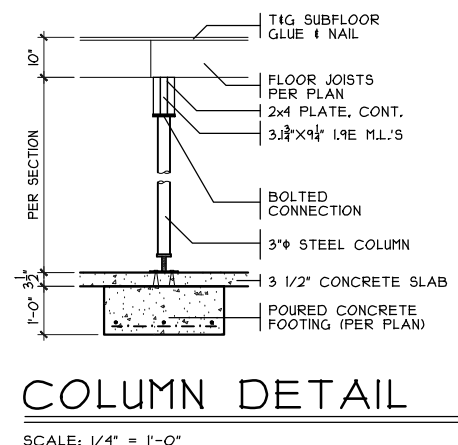
SHEET
1 OF 1



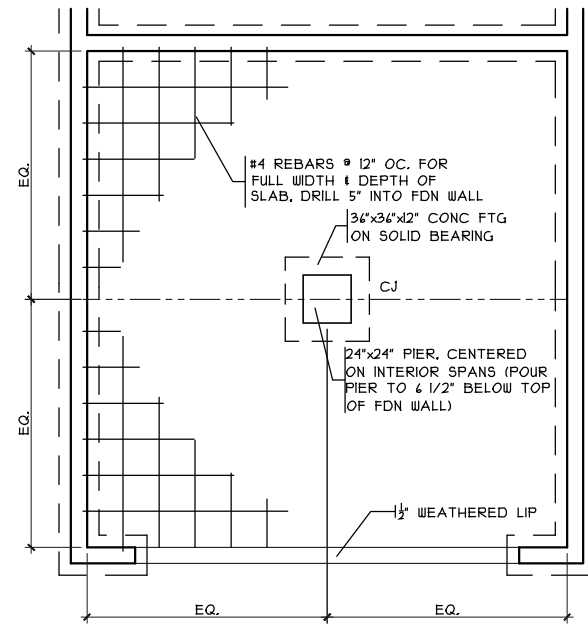
GARAGE DOOR GRADE BM
SCALE: 3/8" = 1'-0"



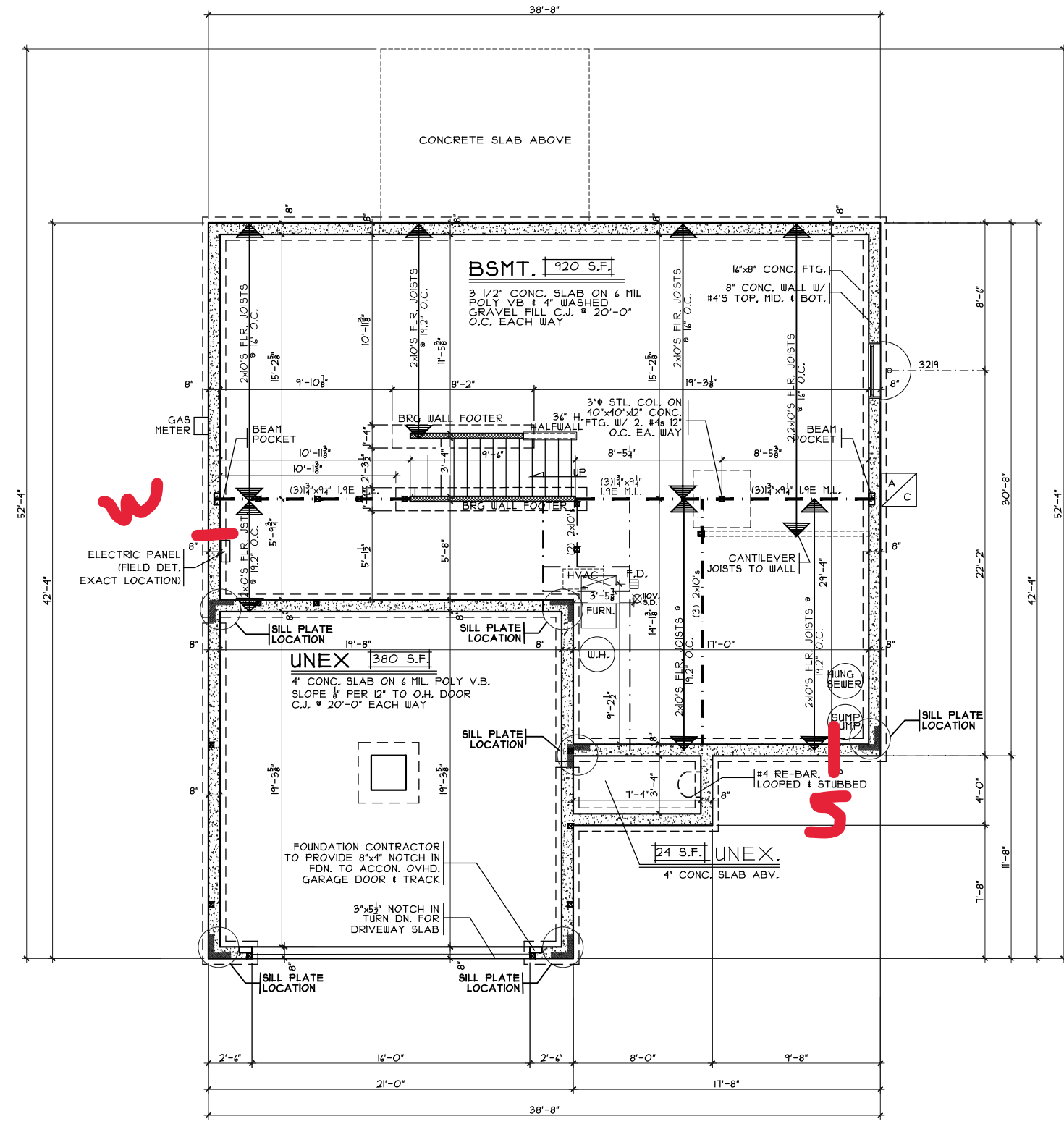
BRG. WALL FOOTER
SCALE: 1/4" = 1'-0"



COLUMN DETAIL
SCALE: 1/4" = 1'-0"



GRADE BM DETAIL
SCALE: 1/8" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

Foundation Plan
Plan: Tennyson Basement
Date: 11/9/2023
Drawn: DSG
Scale: As Noted
Revised: 11/9/2023
Sheet: 3 of 8

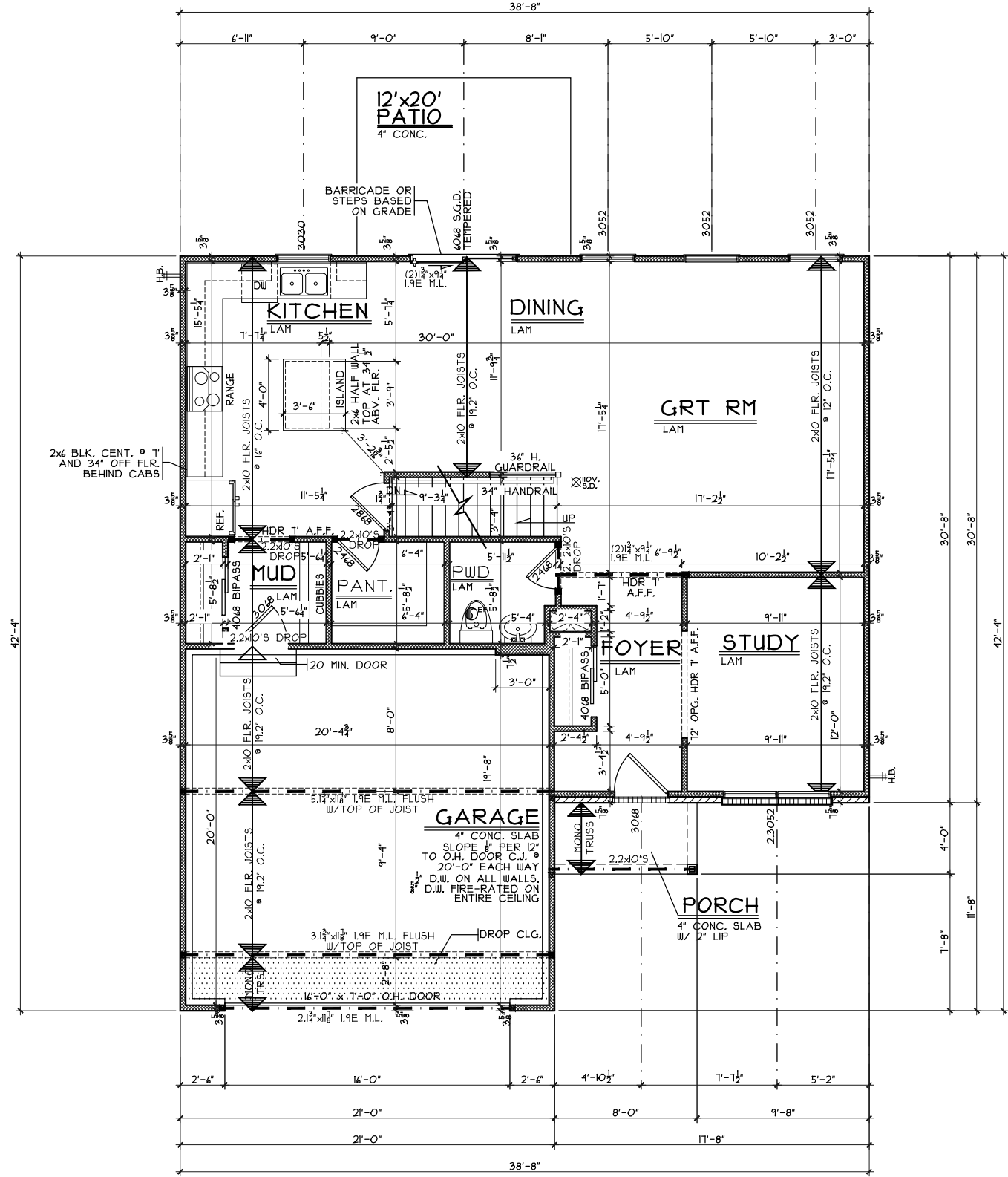
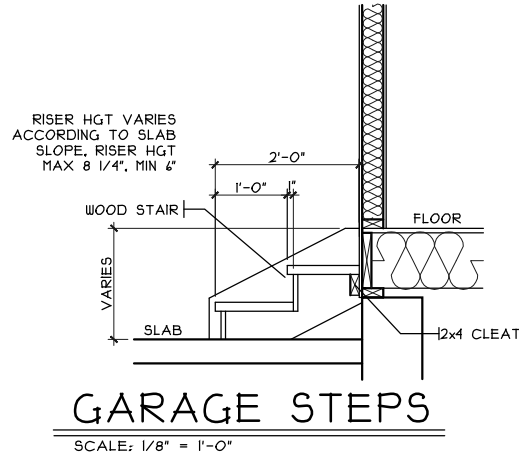
Proposed Residence:
Spec
710 Brelsford Ave.
Madison Minor Lot 4914

CRISTO HOMES
7594-A Tylers Place Blvd.
West Chester, OH 45069
513.755.0570 www.cristohomes.com

Tennyson - B5 - Vinyl
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Trenton
Butler County

A2



NOTE:
■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

First Floor Plan
Plan: Tennyson Basement
Date: 11/9/2023
Drawn: DSG
Scale: As Noted
Revised: 11/9/2023
Sheet: 4 of 8

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Renaissance - MM-4914

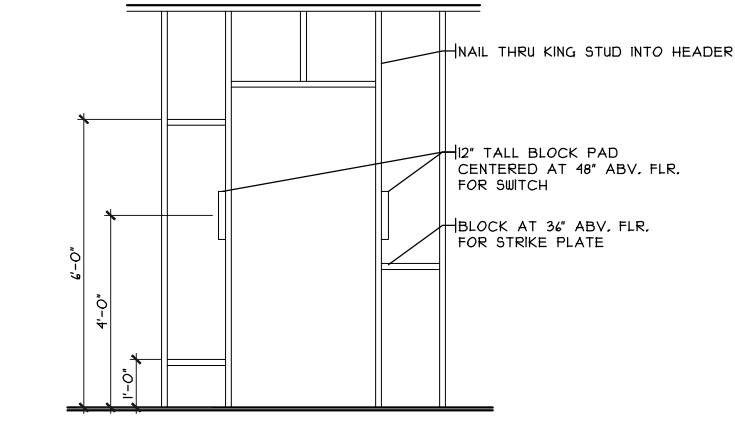
Trenton
Butler County

Tennyson - B5 - Vinyl

Issue	Dates
Review	

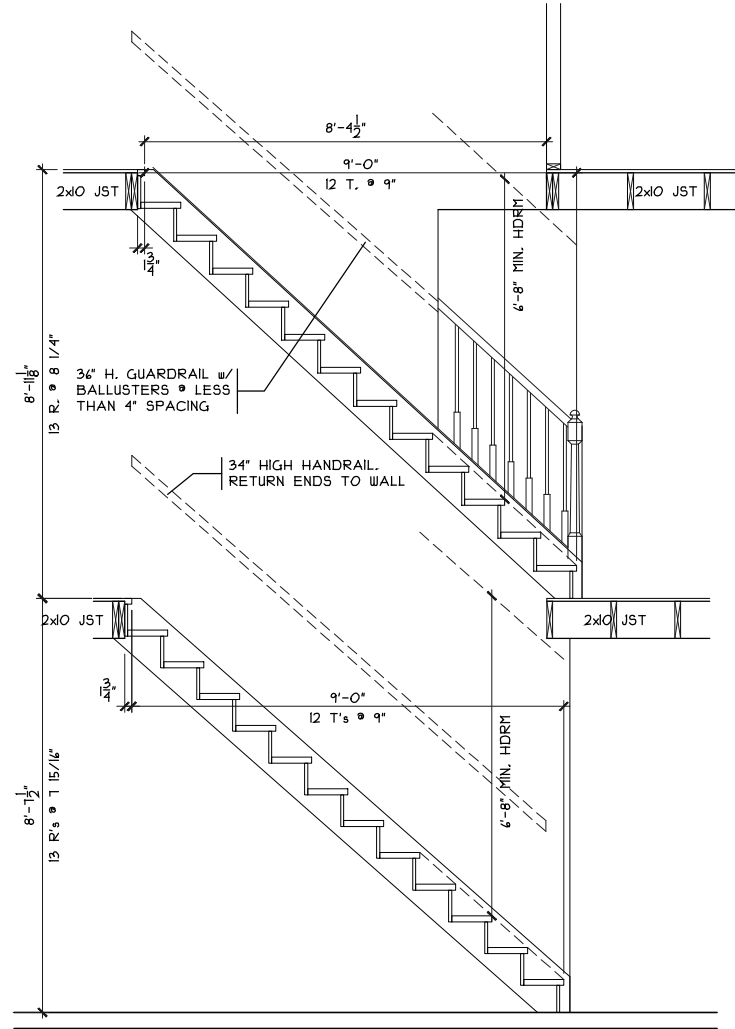
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A3



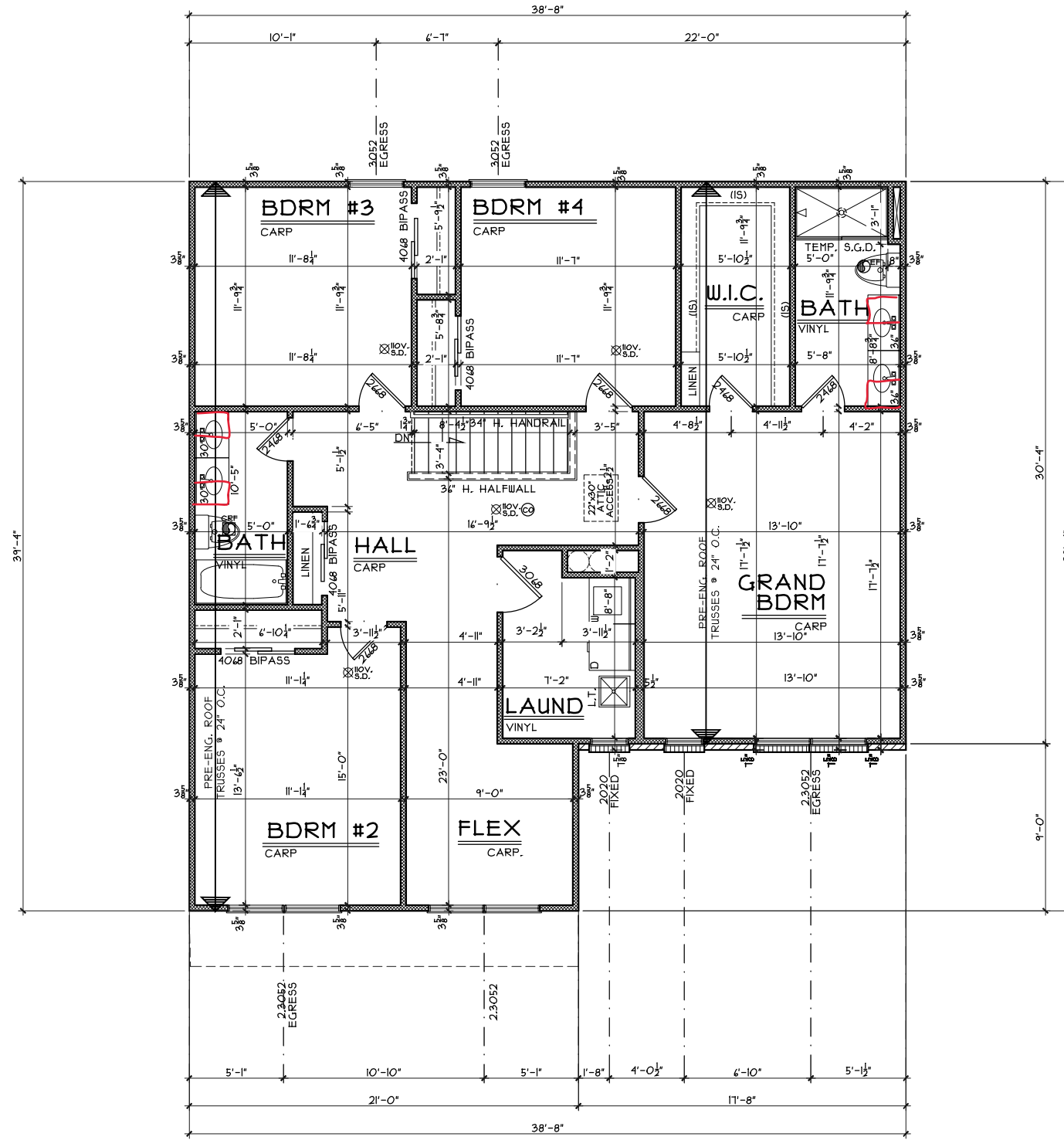
NO JACK STUD FRAMING DETAIL

SCALE: 1/4" = 1'-0"



STAIR SECTION

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0" 1333 S.F.

Second Floor Plan

Plan: Temington Basement
Date: 11/9/2023
Drawn: DSG
Scale: As Noted
Revised: 11/9/2023
Sheet: 5 of 8

Renaissance - MM-4914

Proposed Residence:
Spec
710 Brelsford Ave.
Madison Minor Lot 4914

Tennyson - B5 - Vinyl

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Issue Dates

Review	Issue Dates



A4

Trenton
Butler County