

PLOT PLAN

LOT 3014

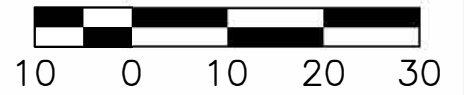
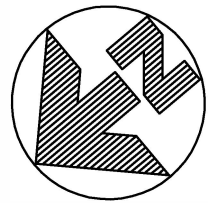
MILLER ESTATES

CITY OF TRENTON

BUTLER CO., OHIO

FOR: CRISTO HOMES

MARKET HOME
409 Peyton CT



QUANTITIES

TOTAL LOT AREA=8,119 SF
CITY WALK=699.7
HOUSE WALK=33.0
DRIVE=560.0
APRON=55.5
PATIO & PORCH=46.0
DECK=X
SEEDING=5256.0
SOD=1737.7
UNSEEDED= X

TOPOGRAPHY BY APEX: 09-30-14

C1	C2	C3
R=20.00'	R=25.00'	R=50.00'
L=31.42'	L=21.03'	L=16.94'

SETBACKS
FRONT=30'
REAR=25'
SIDE=6' MIN. / 14' TOTAL

INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND SANITARY SERVICES BEFORE CONSTRUCTION.

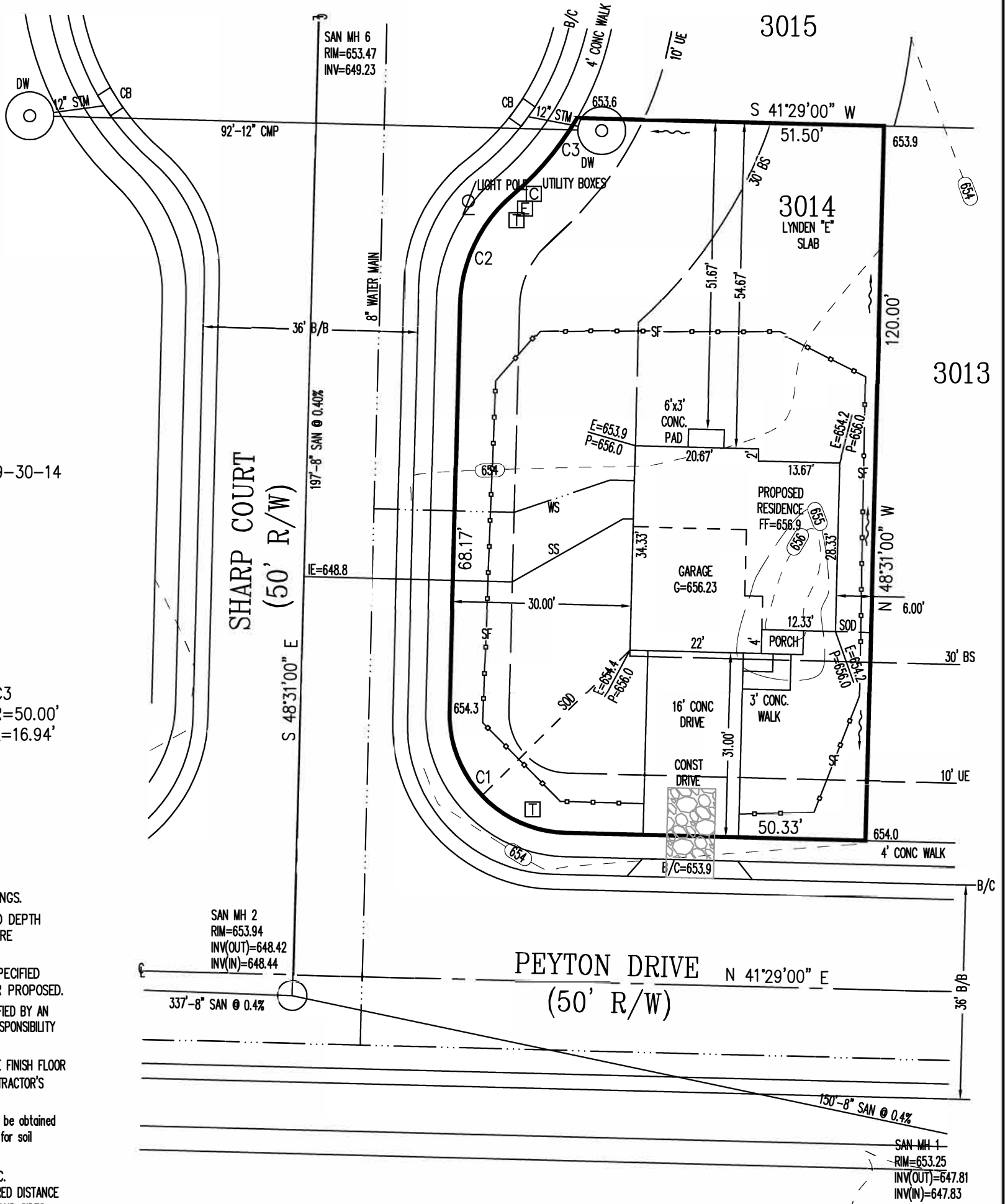
ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

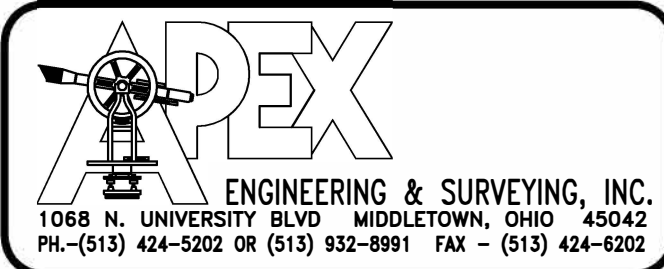
A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

Prior to construction, a geotechnical report shall be obtained by the builder. Apex assumes no responsibility for soil conditions.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

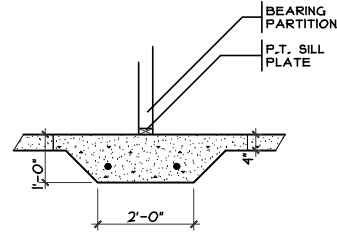


SCALE: 1"=20'
DATE: 06-29-16
DRAWN: JLL
DESIGNED:
CHECKED: KRC

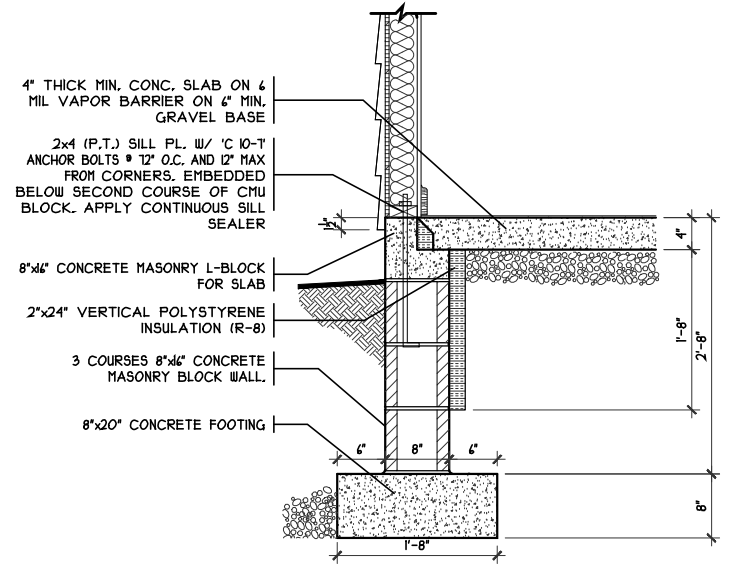


REVISIONS:
1.
2.
3.
4.

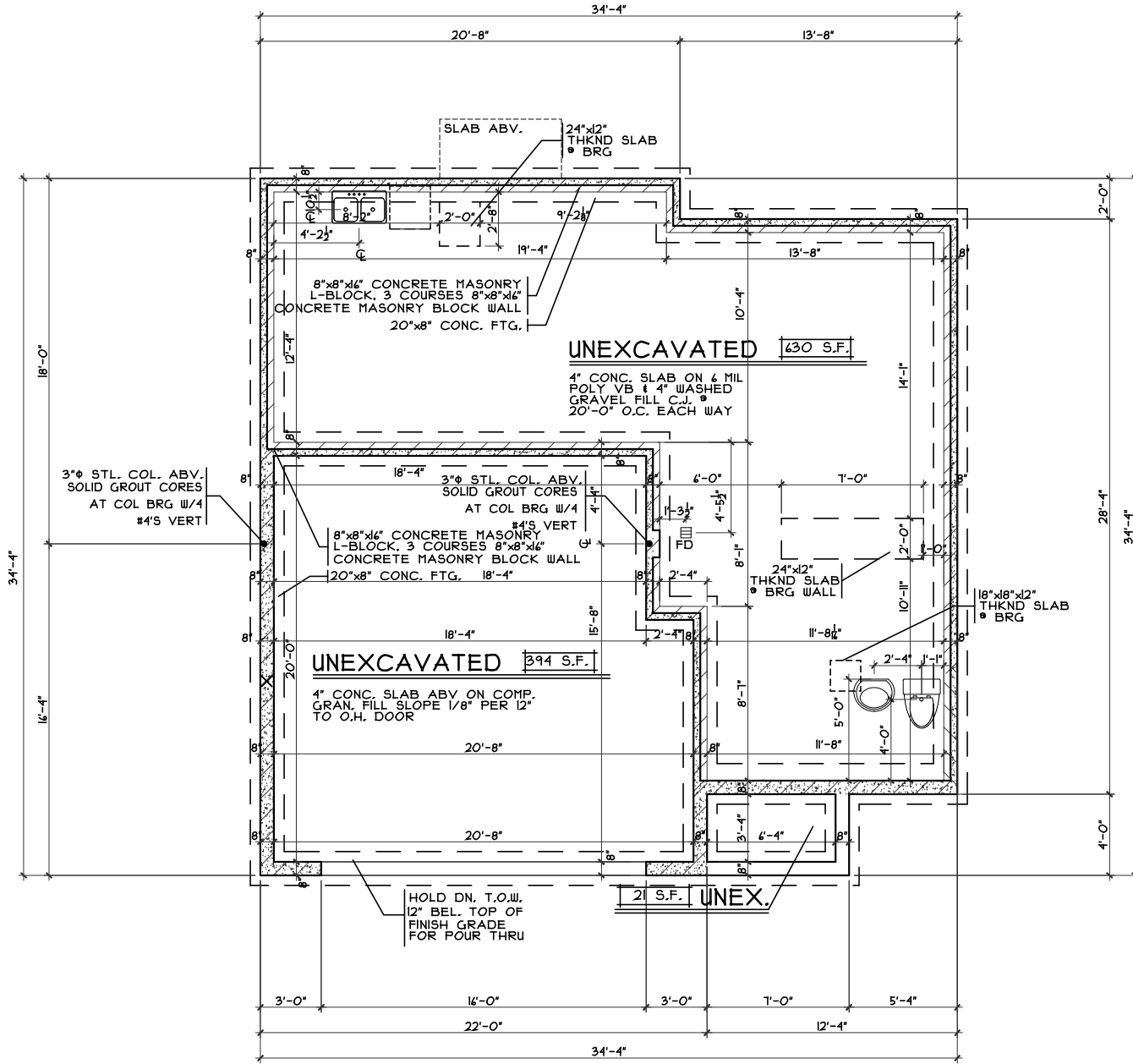
PROJECT: MILLER ESTATES	SHEET
DRAWING: 160978PA	1 OF 1



1 THICKENED SLAB DETAIL
 A2 SCALE: 1/4" = 1'-0"



1 FOUNDATION DETAIL
 A2 SCALE: 1/2" = 1'-0" SLAB ON GRADE



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

OPTIONS

Elevation 'E' - Foundation Plan - Slab
 Plan : Lynden
 Date : 6/14/2016
 Drawn: CKB
 Scale : As Noted
 Revised: 6/30/16
 Sheet : 4 of 12

MESI-3014
 Proposed Residence:
 Bed and Breakfast
 409 Peyton Ct
 Miller Estates Lot# 3014

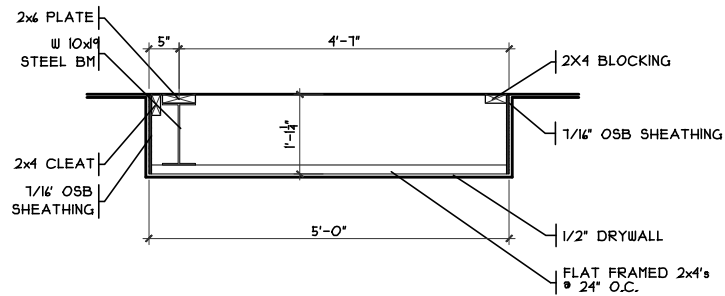


Lynden - Vinyl
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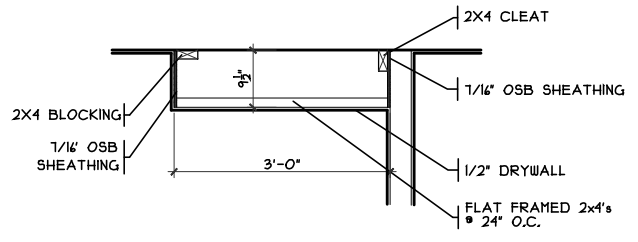
Issue Dates

Change	6/30/16

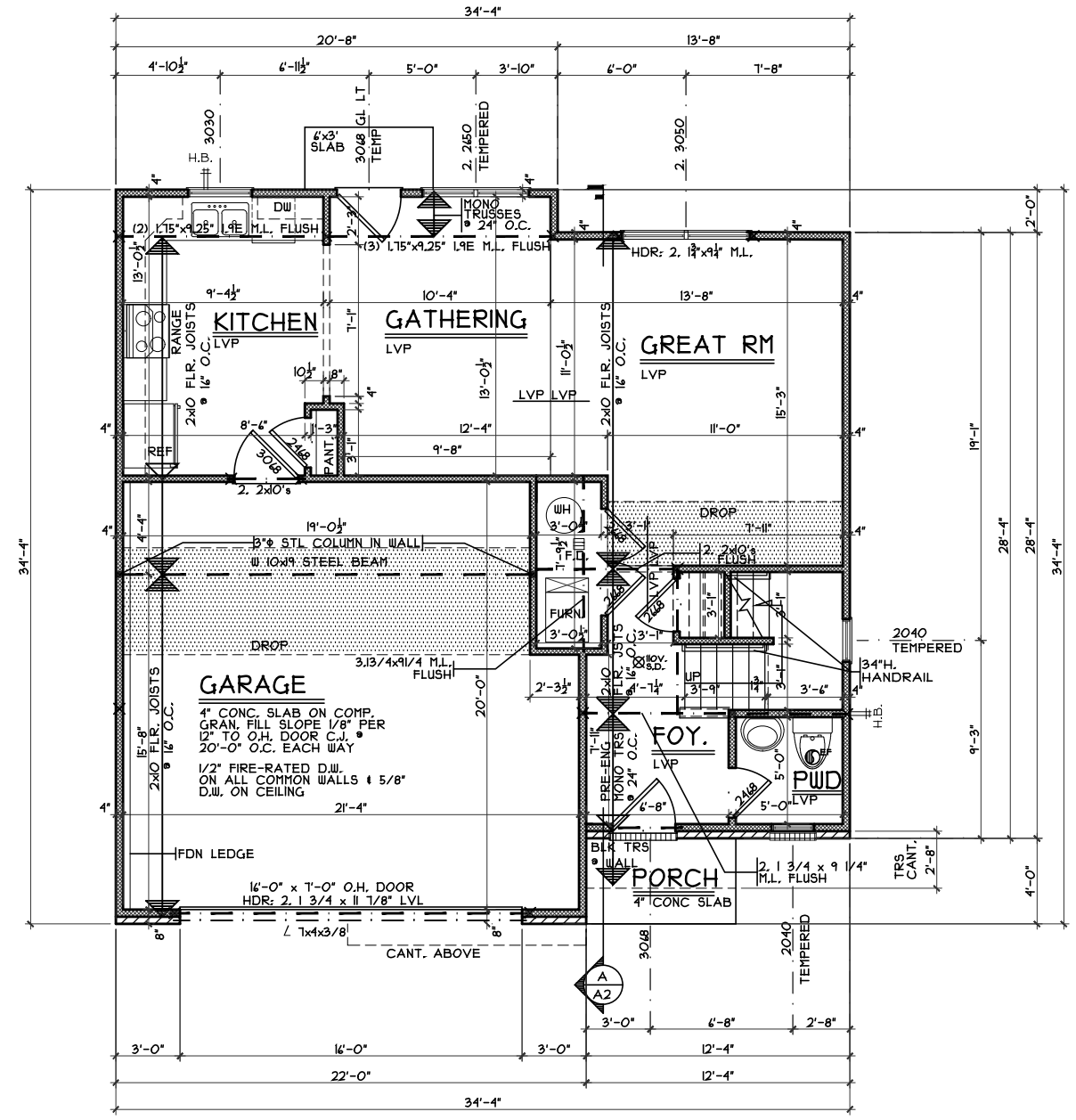
A2.0e



DROP CLG DETAIL
SCALE: 3/8" = 1'-0" GARAGE - SLAB PLAN



DROP CLG DETAIL
SCALE: 3/8" = 1'-0" GREAT ROOM - SLAB PLAN



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" 612 SQ. FT.

NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1\"/>

OPTIONS

Elevation 'E' - First Floor Plan - Slab

Plan : Lynden
Date: 6/14/2016
Drawn: CKB
Scale : As Noted
Revised: 6/30/16
Sheet : 5 of 12

Proposed Residence:
Bed and Breakfast
409 Peyton Ct
Miller Estates Lot# 3014

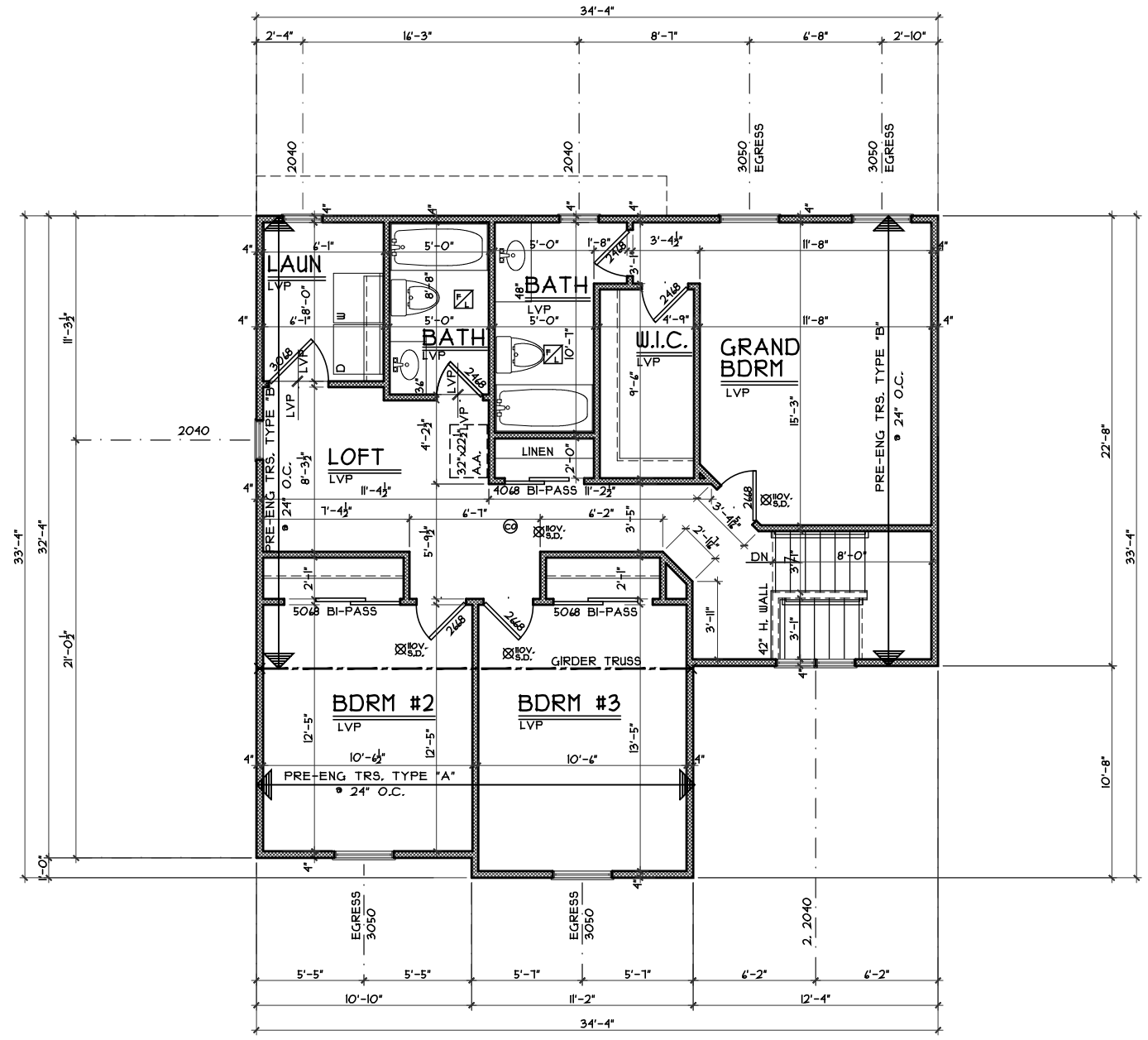
Trenton, OH
Butler Co.

CRISTO HOMES
7994-A Tyers Place Blvd.
West Chester, OH 45069
513.755.0570 www.cristohomes.com

Lynden - Vinyl
FIRST FLOOR PLAN
Issue Dates
Change 6/30/16

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A3



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" 941 SQ. FT.

OPTIONS

Elevation 'E' - Second Floor Plan - Slab MES1-3014 Proposed Residence: **Trenton, OH** Lynden - Vinyl

Plan : Lynden Date : 6/14/2016 Drawn: CKB Scale : As Noted Revised: 6/30/16 Sheet : 6 of 12

CRISTO HOMES
7994-A Tyers Place Blvd.
West Chester, OH 45069
513.755.0570 www.cristohomes.com

Miller Estates Lot# 3014 Butler Co.

Issue Dates
Change 6/30/16

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A4.0e