

MARKET HOME
2037 BUGLER'S SOUND

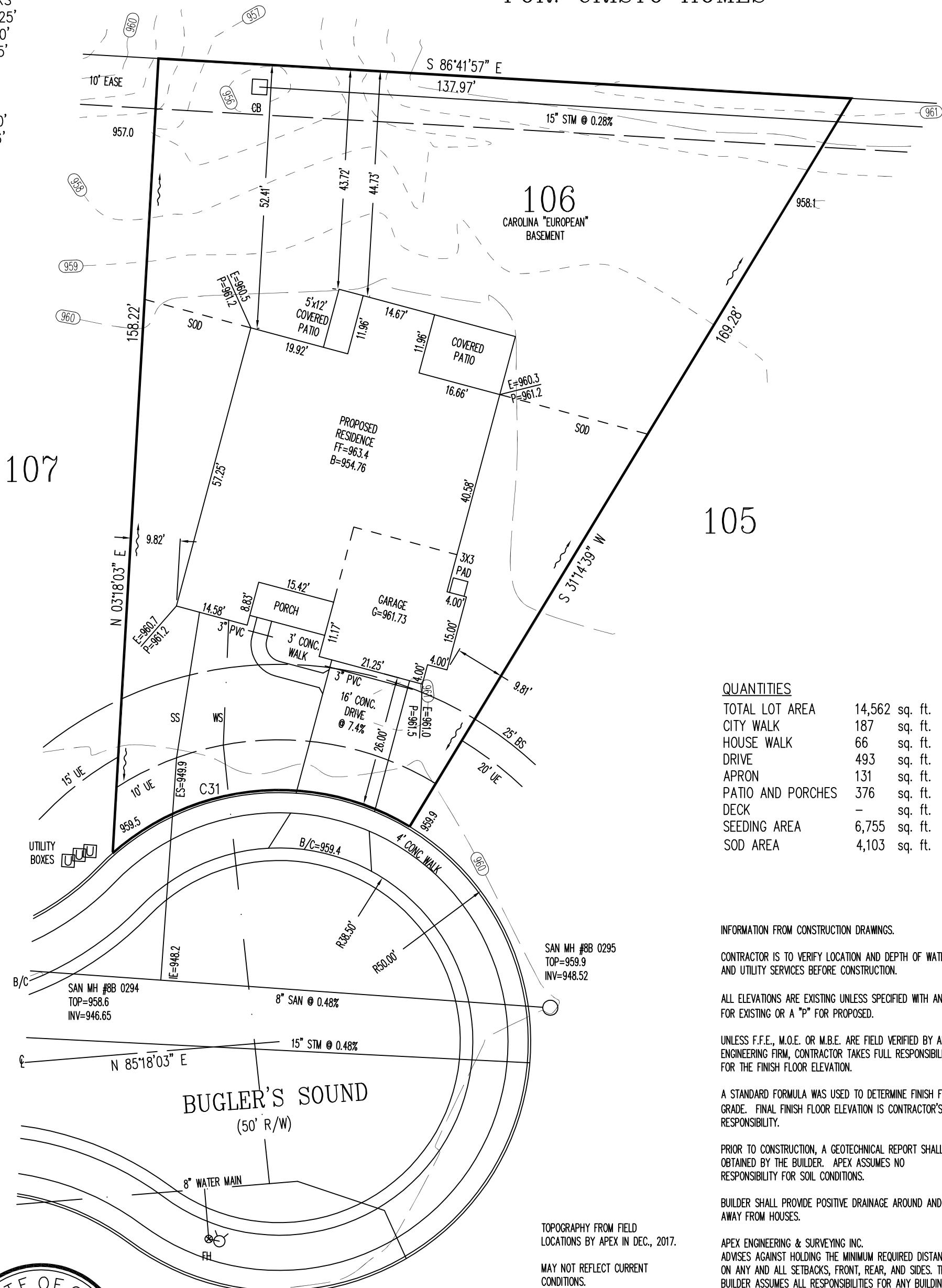
PLOT PLAN

LOT 106 (14,562 SF) 0.3343 AC.

THE TRAILS OF SADDLE CREEK, SECTION 4 SECTION 17 & 23, TOWN 3, RANGE 5 WASHINGTON TOWNSHIP, MONTGOMERY CO., OHIO FOR: CRISTO HOMES

SETBACKS
FRONT=25'
REAR=40'
SIDE=7.5'

C31
R=50.00'
L=63.46'



QUANTITIES	
TOTAL LOT AREA	14,562 sq. ft.
CITY WALK	187 sq. ft.
HOUSE WALK	66 sq. ft.
DRIVE	493 sq. ft.
APRON	131 sq. ft.
PATIO AND PORCHES	376 sq. ft.
DECK	- sq. ft.
SEEDING AREA	6,755 sq. ft.
SOD AREA	4,103 sq. ft.

INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

SAN MH #8B 0295
TOP=959.9
INV=948.52

SAN MH #8B 0294
TOP=958.6
INV=946.65

TOPOGRAPHY FROM FIELD
LOCATIONS BY APEX IN DEC., 2017.

MAY NOT REFLECT CURRENT
CONDITIONS.



SCALE: 1"=20'
DATE: 10-04-19
DRAWN: JLL
DESIGNED:
CHECKED: KRC

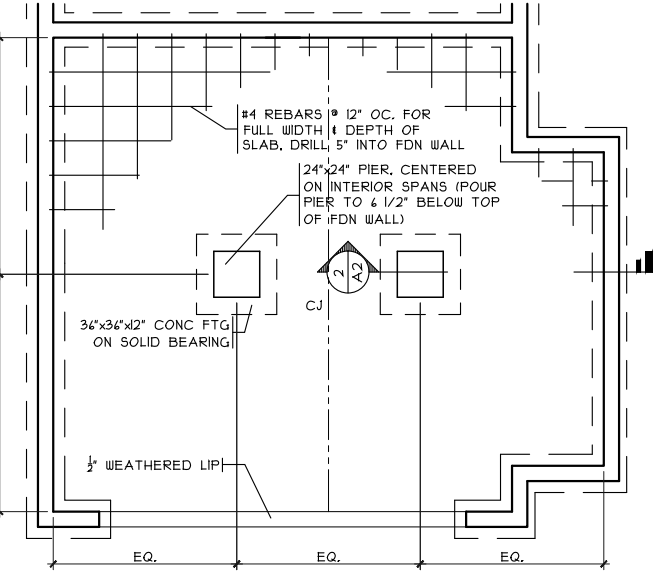
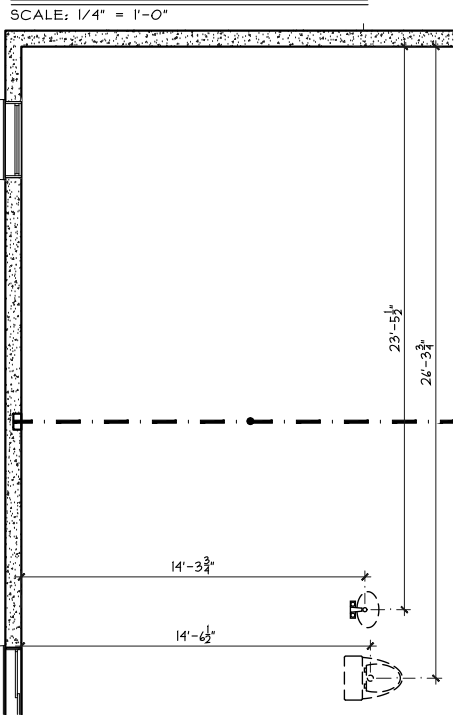
APEX
ENGINEERING & SURVEYING, INC.
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

- REVISIONS:
1. 10-15-19 PVC ADDED
 - 2.
 - 3.
 - 4.

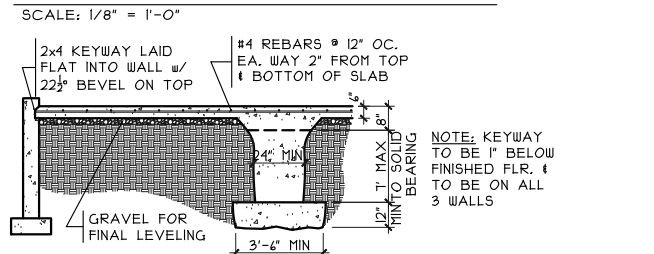
PROJECT: SADDLECREEK
DRAWING: 192158PA

SHEET
1 OF 1

THICK SLAB DET.

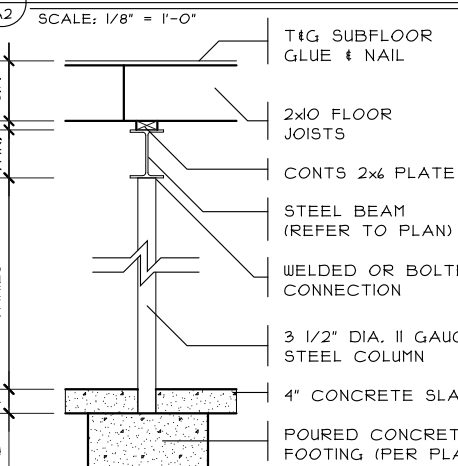


GRADE BM DETAIL

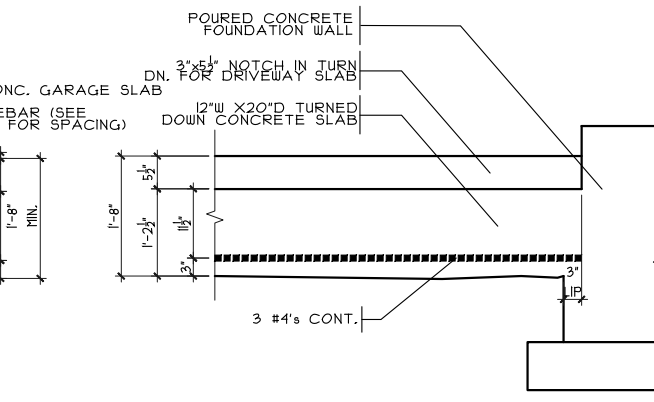
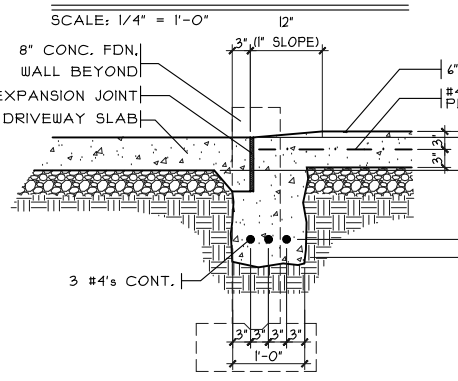


GRADE BM SECTION

DIMS TO FDN PLUMB.

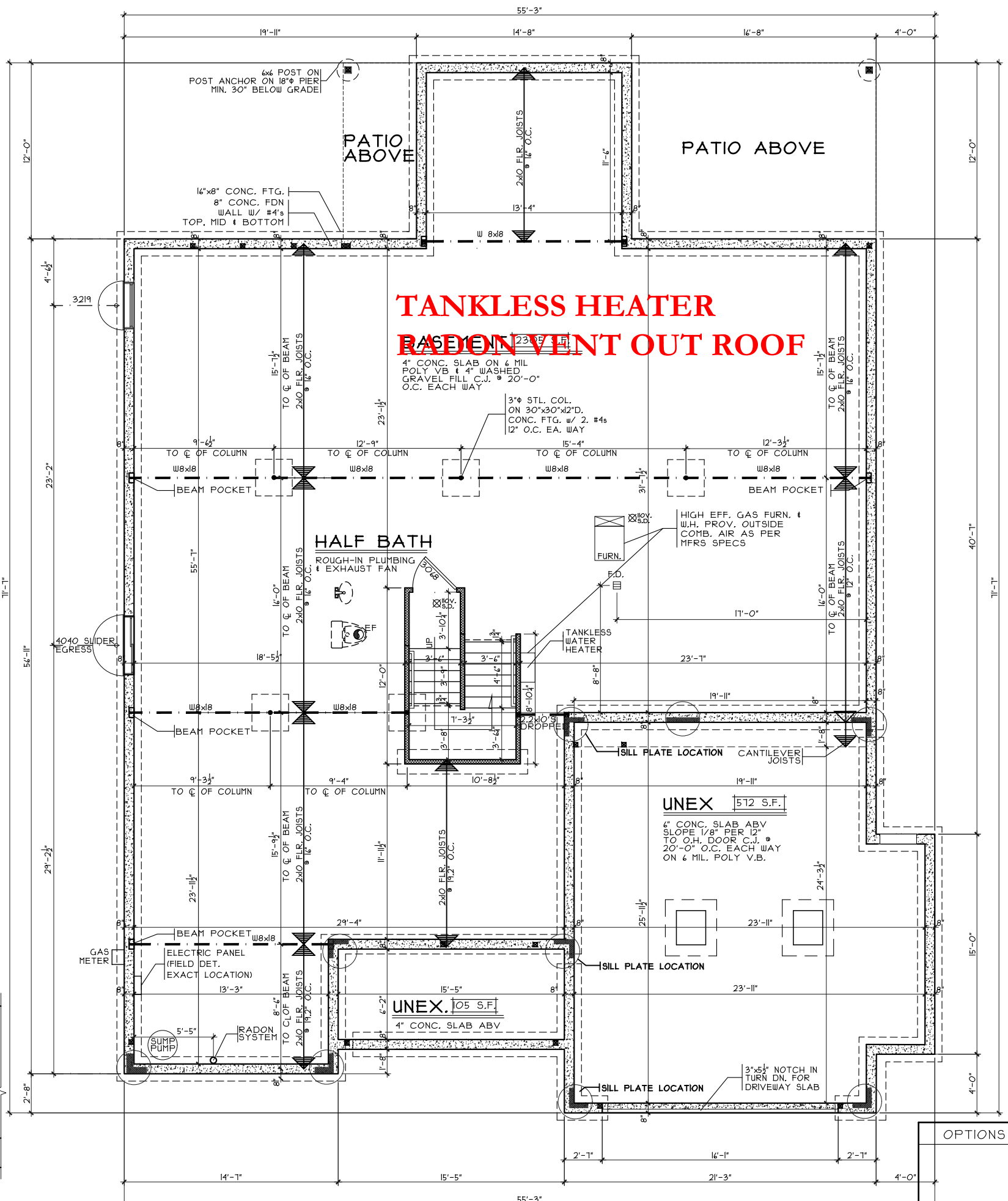


COLUMN DETAIL



ELEVATION GARAGE DOOR GRADE BM

SCALE: 3/8" = 1'-0"



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

Foundation Plan

Plan : CAROLINA
 Date : 9.13.2019
 Drawn: NCB
 Scale : As Noted
 Revised:

Proposed Residence:
 Hausmann Residence
 2037 Bugler's Sound
 Saddle Creek Lot 106

SC - 106

Carolina - European - Comp. Issue Dates

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Dayton
 Montgomery County

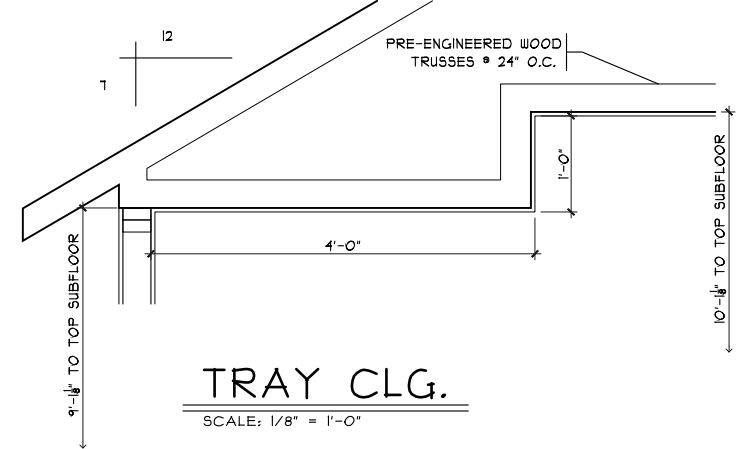
CRISTO HOMES
 7594-A Tylers Place Blvd.
 West Chester, OH 45069
 513.955.0570 www.cristohomes.com

Sheet : 3 of 11

A2

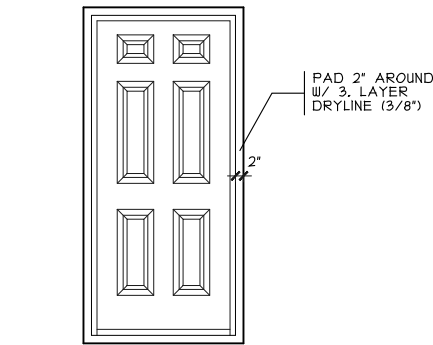
ARCHED OPENING

SCALE: 1/4" = 1'-0"



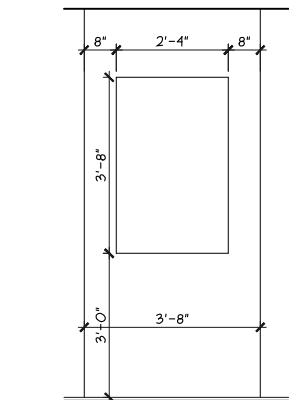
TRAY CLG.

SCALE: 1/8" = 1'-0"



DOOR FRAMING DTL.

SCALE: 1/4" = 1'-0"



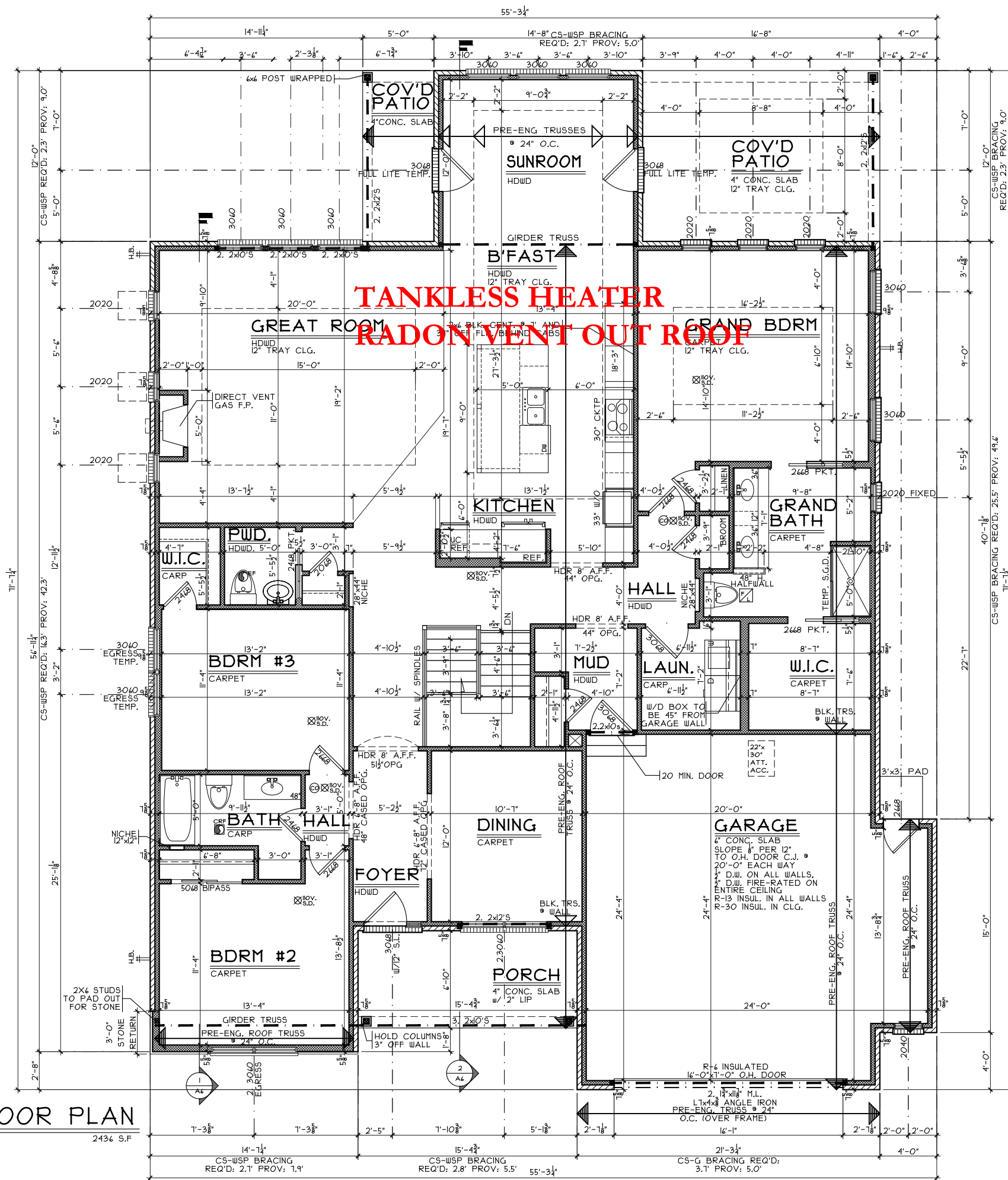
NICHE DETAIL

SCALE: 1/4" = 1'-0"

NOTE:
 ■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER. CONTINUOUS TO SOLID BEARING BELOW.

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



OPTIONS

First Floor Plan

Plan : CAROLINA
 Date : 9.13.2019
 Drawn: NCB
 Scale : As Noted
 Revised:

A3

SC - 106

Proposed Residence:
 Hausmann Residence
 2037 Bugler's Sound
 Saddle Creek Lot 106

Dayton
 Montgomery County

Carolina - European - Comp. Issue Dates:
 Review #1

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