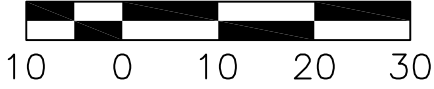
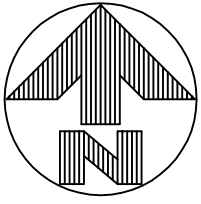


PRATER RESIDENCE
2031 BUGLER'S SOUND

PLOT PLAN

LOT 107 (13,242 SF) 0.3040 AC.

THE TRAILS OF SADDLE CREEK, SECTION 4 SECTION 17 & 23, TOWN 3, RANGE 5 WASHINGTON TOWNSHIP, MONTGOMERY CO., OHIO FOR: CRISTO HOMES



QUANTITIES

TOTAL LOT AREA	13,242 sq. ft.
CITY WALK	249 sq. ft.
HOUSE WALK	27 sq. ft.
DRIVE	840 sq. ft.
APRON	149 sq. ft.
PATIO AND PORCHES	192 sq. ft.
DECK	- sq. ft.
SEEDING AREA	6,335 sq. ft.
SOD AREA	4,025 sq. ft.



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

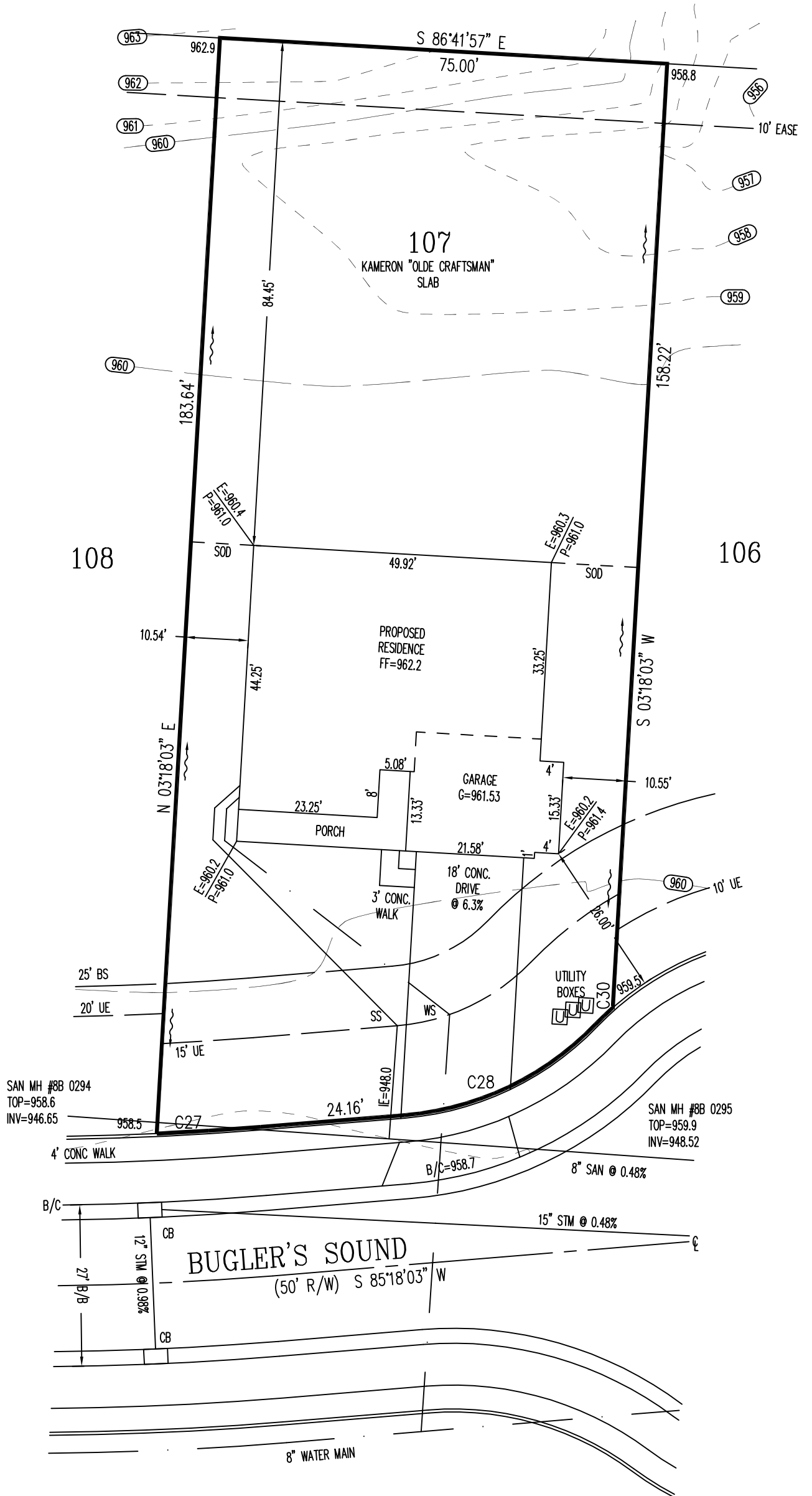
BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

SETBACKS
FRONT=25'
REAR=40'
SIDE=7.5'

C27 C28
R=475.00' R=50.00'
L=17.45' L=36.14'

C30
R=50.00'
L=4.04'



TOPOGRAPHY FROM FIELD LOCATIONS BY APEX IN DEC., 2017.

MAY NOT REFLECT CURRENT CONDITIONS.

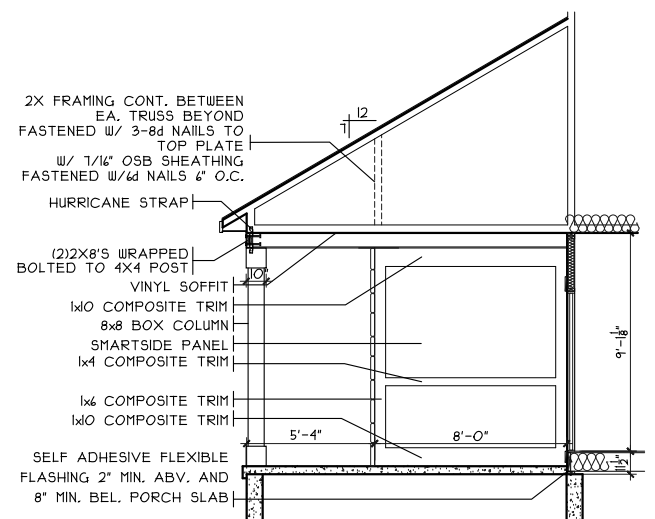
SCALE: 1"=20'
DATE: 07-16-19
DRAWN: JLL
DESIGNED:
CHECKED: KRC

APEX
ENGINEERING & SURVEYING, INC.
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:
1.7/22/2019-REW-18' DRIVE
2.7/23/2019-REW-ADD SOD AREA
3.8/13/2019-REW-NEW HOUSE
4.

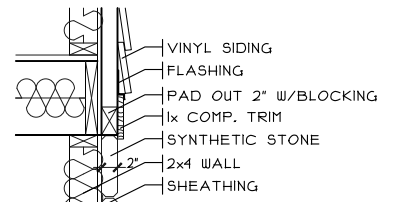
PROJECT: SADDLECREEK
DRAWING: 191554PA

SHEET
1 OF 1



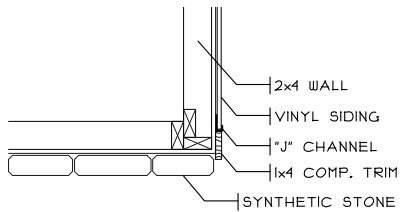
PORCH DETAIL

SCALE: 1/8" = 1'-0"



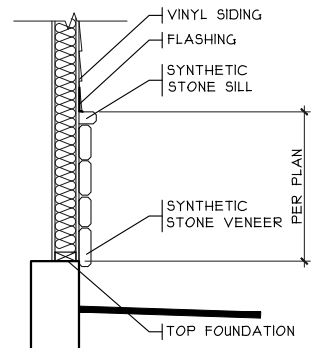
STONE DETAIL

SCALE: 1/2" = 1'-0"



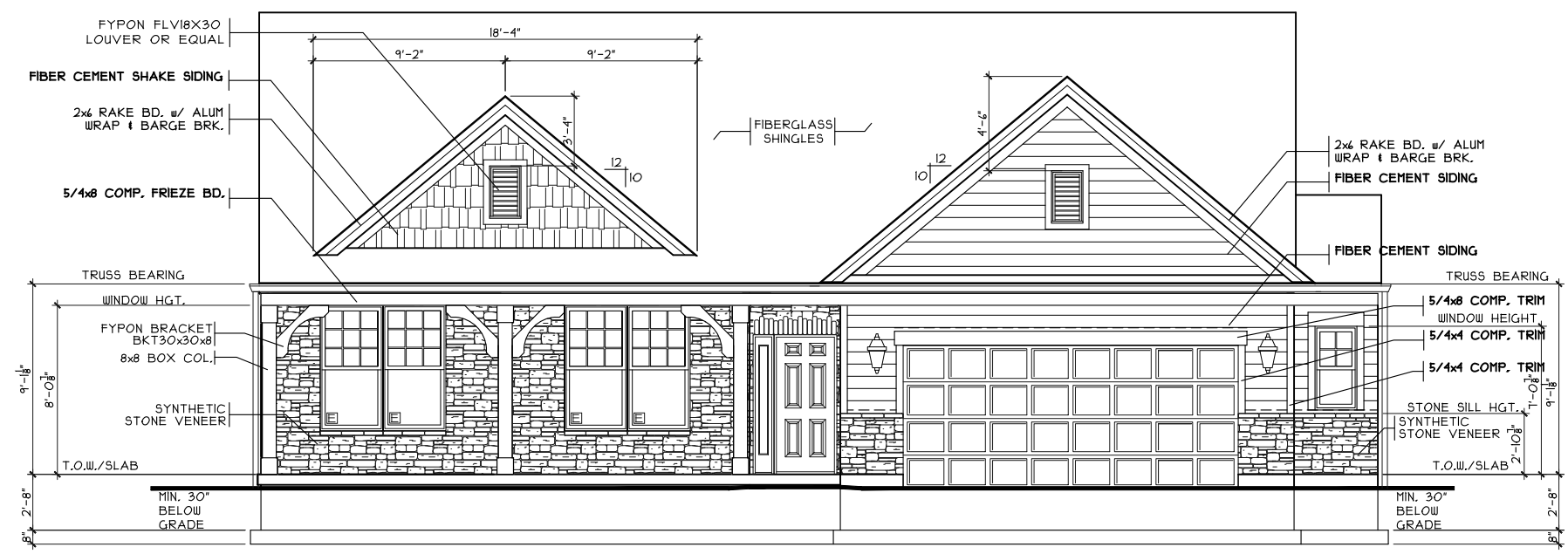
STONE/VINYL CORNER

SCALE: 1/2" = 1'-0"



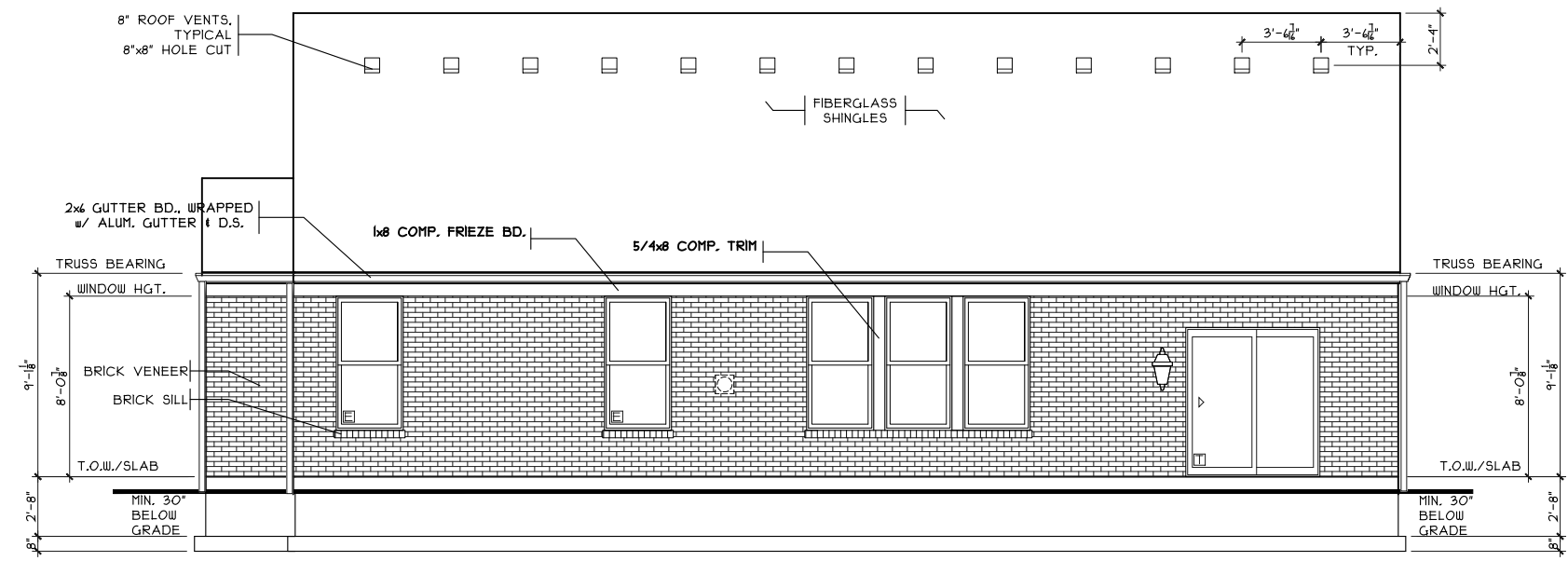
STONE BASE DETAIL

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0" OLDE CRAFTSMAN



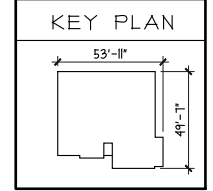
REAR ELEVATION

SCALE: 1/8" = 1'-0"

SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A2	Left and Right Elevations
A3	Foundation Plan
A4	First Floor Plan
A5	Portal Framing Detail
A6	Building Sec./ Stair Sec./ Wall Sec.
A7	Typical Framing Details
G1	General Notes
E1	Electrical Plan
S1	Roof Plans

NOTE: PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

R18005B3 PLAN INFO	
3	BDRMS
2	BATHS
2	CAR GARAGE
1	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	1805
MAIN	1805
UPPER	-
LOWER (FINISH)	N/A
LOWER (SLAB)	1100
GAR. (SLAB)	442



OPTIONS

Issue Dates
Review #1 7/29/19

Kameron - Olde Craftsman - Comp.
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Washington Twp.
Montgomery County

Proposed Residence:
Prater Residence
2031 Bugler's Sound
Saddle Creek Lot #107

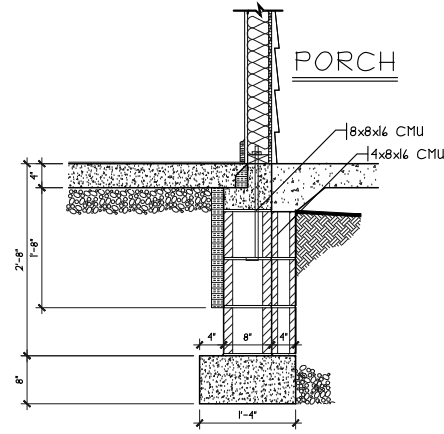
SC-107

Olde Craftsman Elevation

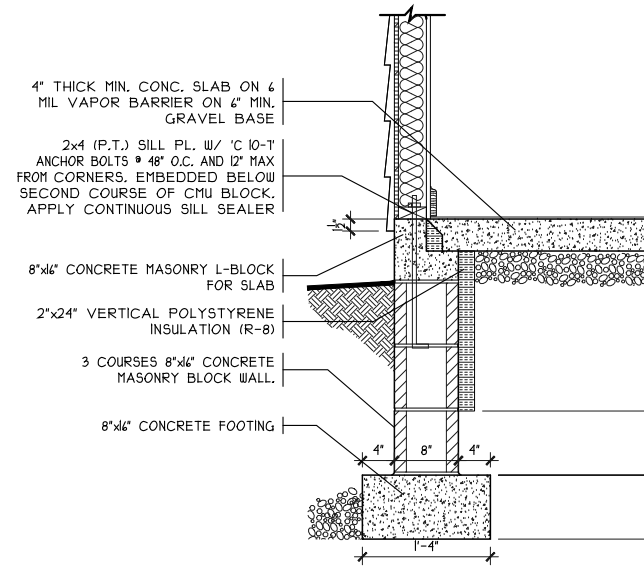
Plan : Kameron (Slab)
Date : 6/21/19
Drawn: EW
Scale : As Noted
Revised: 7/29/19
Sheet : 1 of 10

CRI19094.DWG

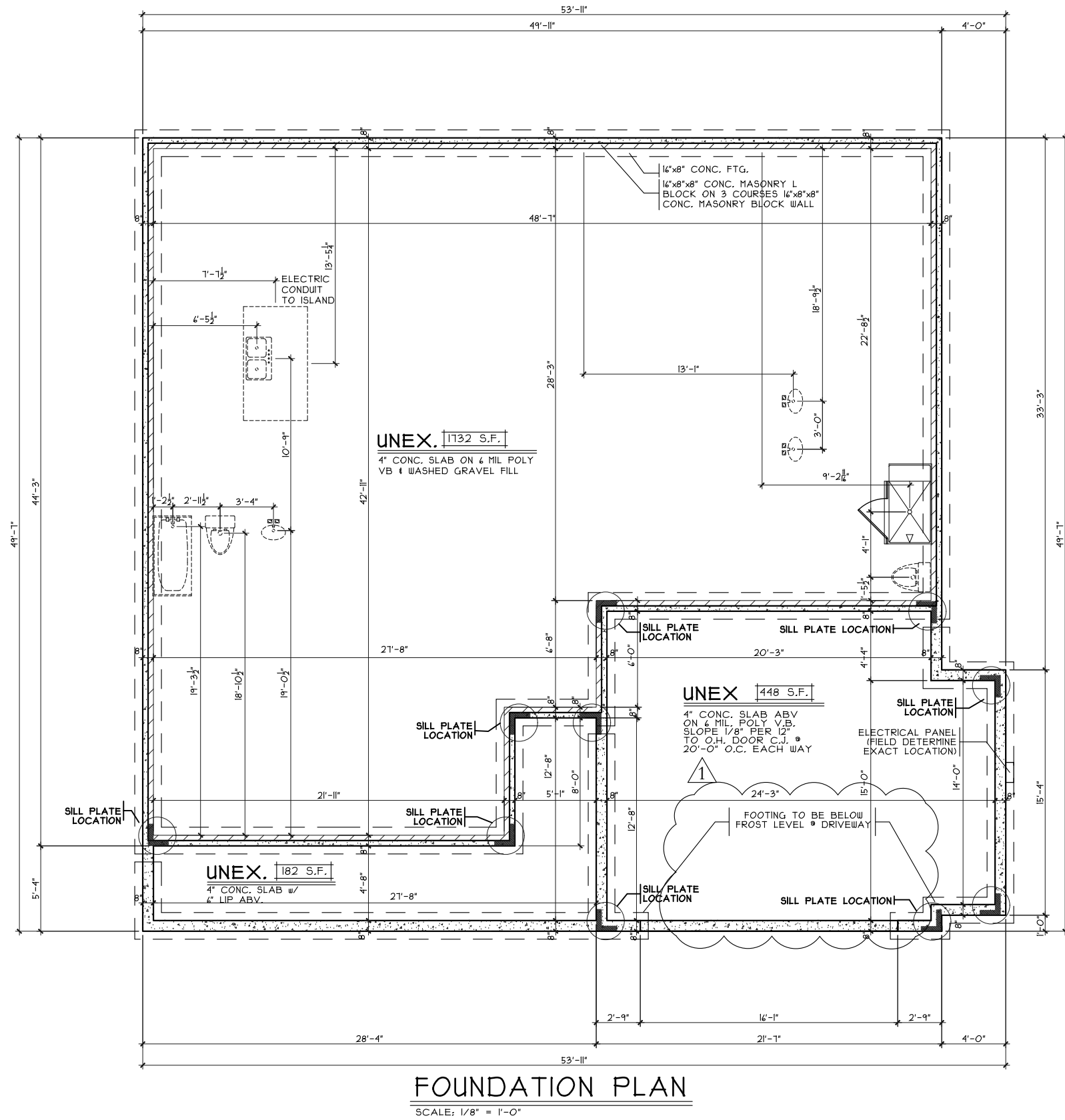
A1



BLK. DETAIL
SCALE: 3/8" = 1'-0"



SOG DETAIL
SCALE: 1/8" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1" AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4". FOUNDATION WALL THICKNESS SHOWN IS NOMINAL- ACTUAL THICKNESS MAY VARY.

Foundation Plan - Olde Craftsman
 Plan : Kameron (Slab)
 Date : 6/21/19
 Drawn: EW
 Scale : As Noted
 Revised: 7/29/19
 Sheet : 3 of 10

Proposed Residence:
 Prater Residence
 2031 Bugler's Sound
 Saddle Creek Lot #107

Washington Twp.
 Montgomery County

Kameron - Olde Craftsman - Comp.
 Issue Dates
 Review #1 7/29/19

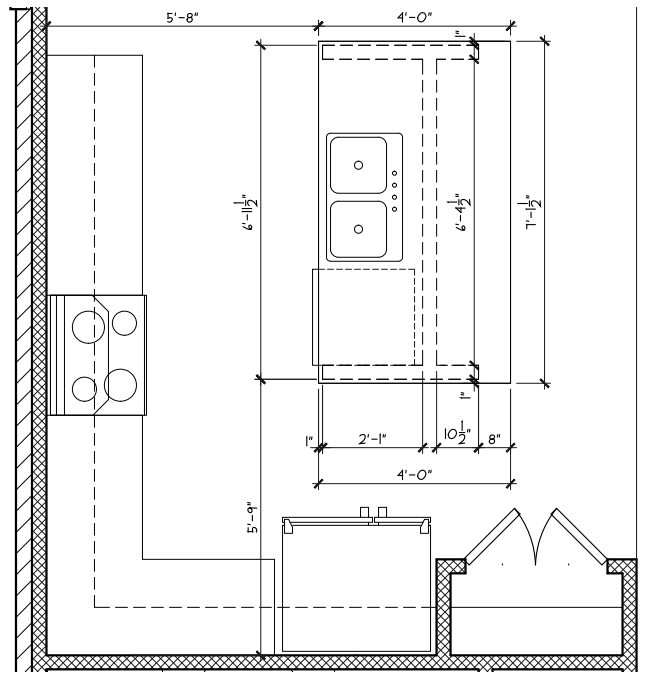
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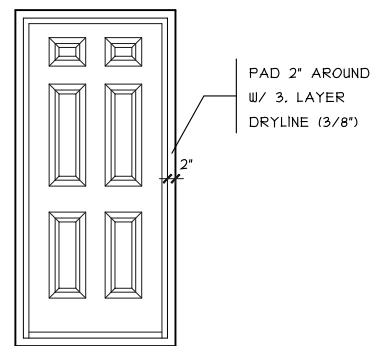
A3

BRACING METHOD: C5-WSP & C5-PF
 9' H. WALLS W/ ADJ. OPENINGS
 WINDOW 12'; MIN. PANEL 21"
 DOORS 80'; MIN. PANEL 30"
 *ALL ADJUSTMENT FACTORS ARE INCLUDED IN REQ. BRACED LENGTH.
 REAR:
 B/WL 1 - B/WL 4 SPACING: 50'-8"; REQ. BRACED LENGTH: 22.75'
 B/WL 4 - B/WL 5 SPACING: 12'-4"; REQ. BRACED LENGTH: 4'
 RIGHT SIDE:
 B/WL A - B/WL B SPACING: 31'-0"; REQ. BRACED LENGTH: 9.9'
 B/WL B - B/WL D SPACING: 25'-8"; REQ. BRACED LENGTH: 9.7'
 FRONT:
 B/WL 5 - B/WL 3 SPACING: 33'-0"; REQ. BRACED LENGTH: 9'
 B/WL 3 - B/WL 2 SPACING: 16'-0"; REQ. BRACED LENGTH: 4'
 B/WL 2 - B/WL 1 SPACING: 14'-0"; REQ. BRACED LENGTH: 4'
 LEFT SIDE:
 B/WL D - B/WL A SPACING: 56'-8"; REQ. BRACED LENGTH: 25'

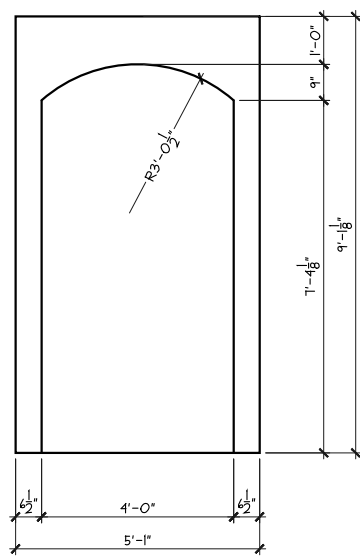
C5-WSP PANEL SHEATHING TO BE 3/8" WOOD STRUCTURAL PANEL (PLYWOOD OR O.S.B.) FASTENED 6" O.C. @ EDGES & 12" O.C. IN FIELD.
 C5-PF SHEATHING TO BE 1/2" PORTAL FRAME (PLYWOOD OR OSB) FASTENED PER SECTION 602.10.4.4.



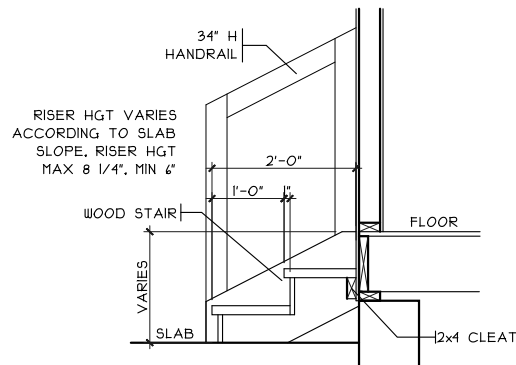
ISLAND FRM'G/CAB'T LAYOUT
 SCALE: 1/4" = 1'-0"



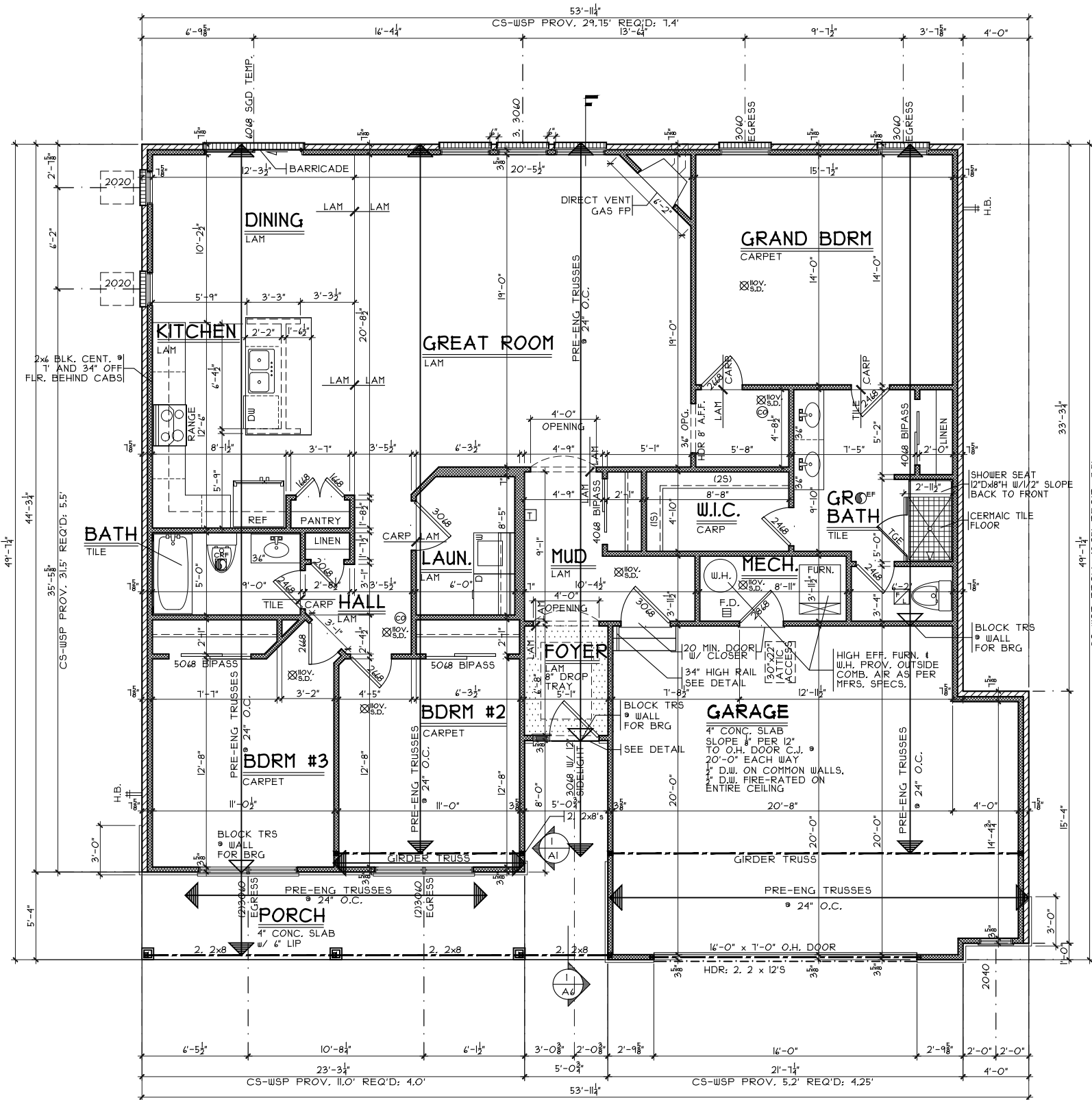
DOOR FRAMING DETAIL
 SCALE: 1/4" = 1'-0"



ARCH DET.
 SCALE: 1/4" = 1'-0"



GARAGE HANDRAIL DET.
 SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0" 1805 S.F.

NOTE:
 ■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER. CONTINUOUS TO SOLID BEARING BELOW.

First Floor Plan - Olde Craftsman
 Plan : Kameron (Slab)
 Date : 6/21/19
 Drawn: EW
 Scale : As Noted
 Revised: 7/29/19
 Sheet : 4 of 10

Proposed Residence:
 Prater Residence
 2031 Bugler's Sound
 Saddle Creek Lot #107
 Washington Twp.
 Montgomery County

Kameron - Olde Craftsman - Comp.
 Issue Dates
 Review #1 7/29/19

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A4