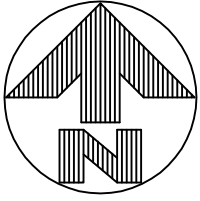
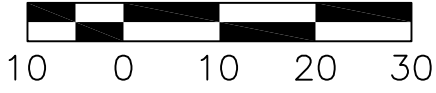


PLOT PLAN

LOT 108 (13,921 SF) 0.3196 AC.
THE TRAILS OF SADDLE CREEK, SECTION 4
SECTION 17 & 23, TOWN 3, RANGE 5
WASHINGTON TOWNSHIP, MONTGOMERY CO., OHIO
FOR: CRISTO HOMES



SETBACKS:
FRONT YARD=25'
REAR YARD=40'
SIDE YARD=7.5'

C26
R=475.00'
L=48.88'

QUANTITIES

TOTAL LOT AREA	13,921	sq. ft.
CITY WALK	237	sq. ft.
HOUSE WALK	62	sq. ft.
DRIVE	542	sq. ft.
APRON	130	sq. ft.
PATIO AND PORCHES	180	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	7,597	sq. ft.
SOD AREA	3,244	sq. ft.



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

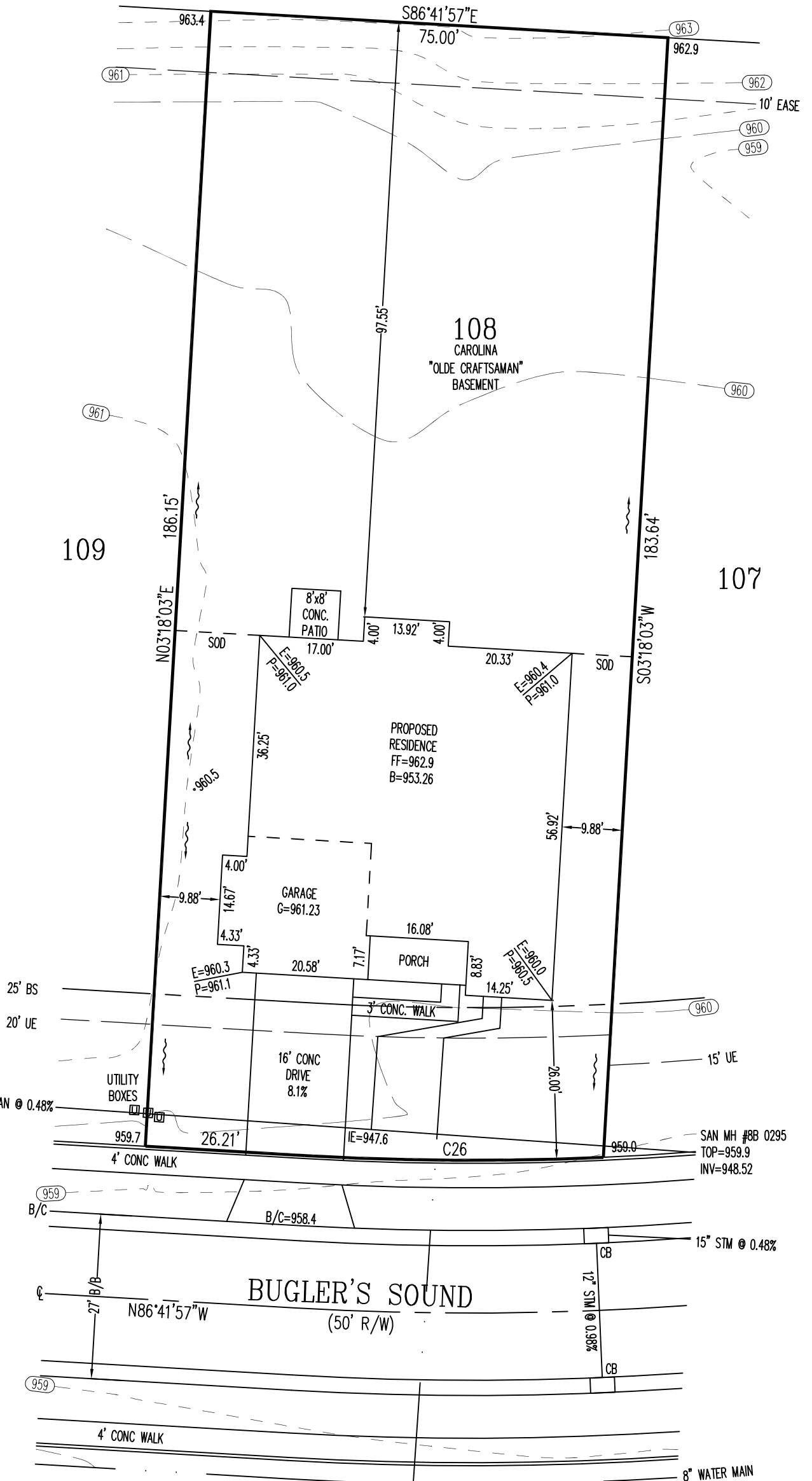
PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

SAN MH #8B 0294
TOP=958.6
INV=946.65 8" SAN @ 0.48%

SAN MH #8B 0295
TOP=959.9
INV=948.52



SCALE: 1"=20'
DATE: 12/03/2019
DRAWN: JLS
DESIGNED:
CHECKED: KRC

APEX
ENGINEERING & SURVEYING, INC.
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:

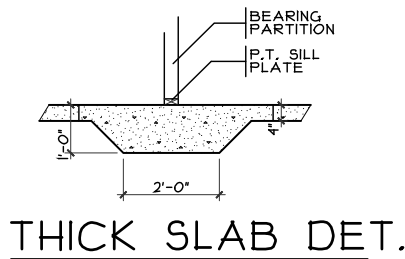
- 1.
- 2.
- 3.
- 4.

PROJECT: SADDLECREEK
DRAWING: 192516PA

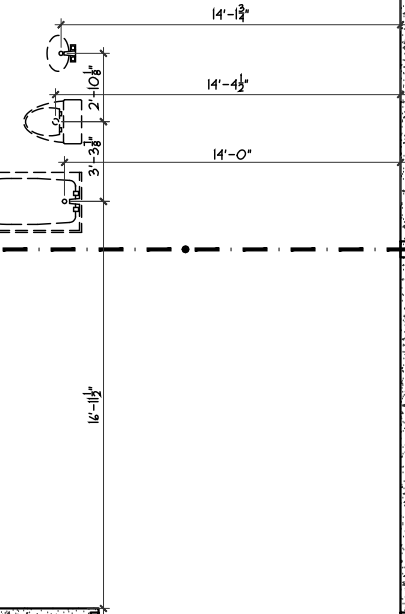
SHEET
1 OF 1

TOPOGRAPHY FROM FIELD
LOCATIONS BY APEX IN DEC., 2017.

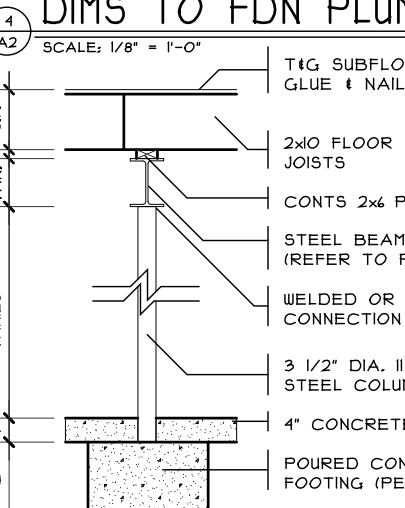
MAY NOT REFLECT CURRENT
CONDITIONS.



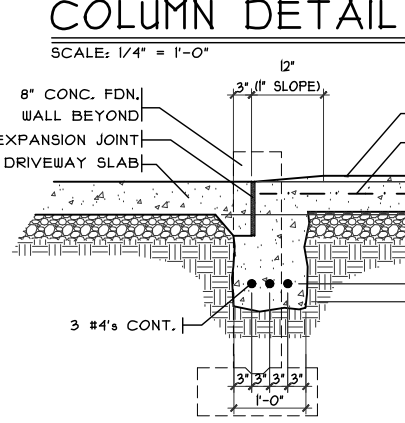
THICK SLAB DET.
SCALE: 1/4" = 1'-0"



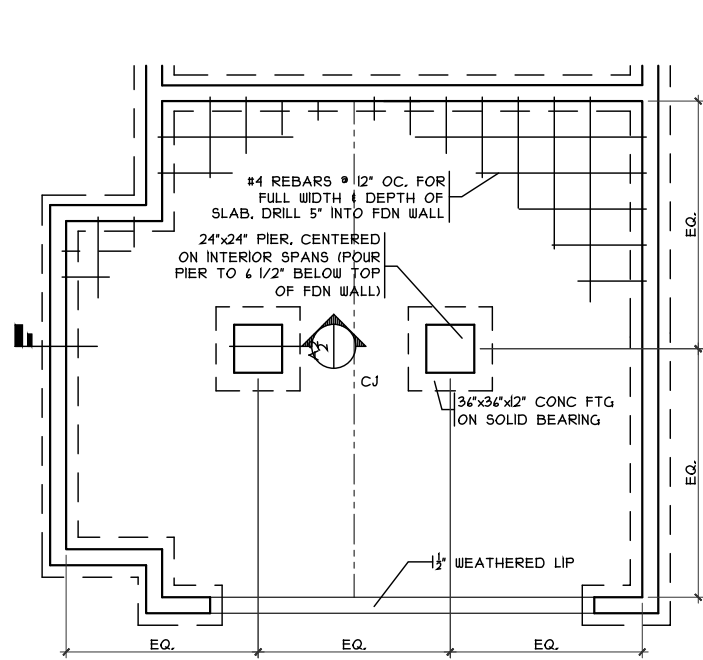
DIMS TO FDN PLUMB.
SCALE: 1/8" = 1'-0"



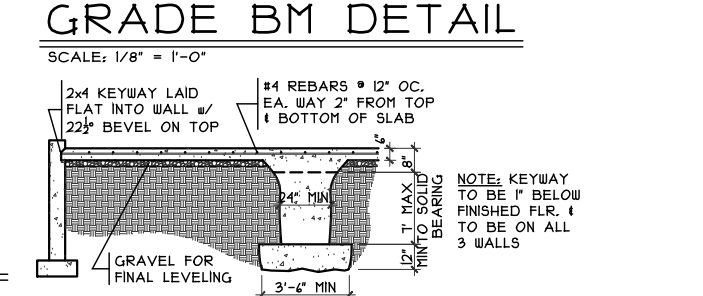
COLUMN DETAIL
SCALE: 1/4" = 1'-0"



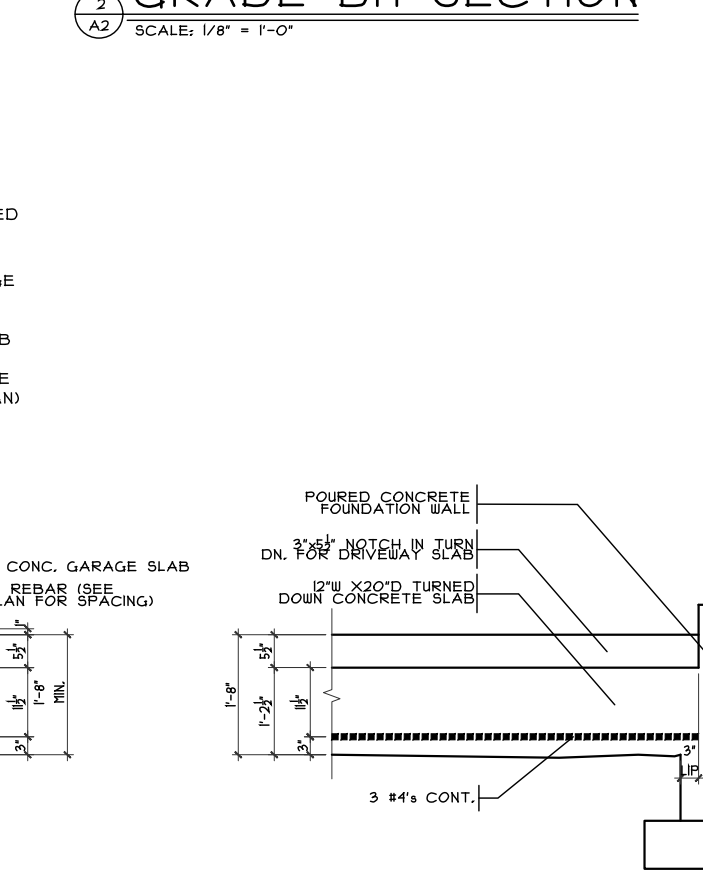
SECTION



GRADE BM DETAIL
SCALE: 1/8" = 1'-0"



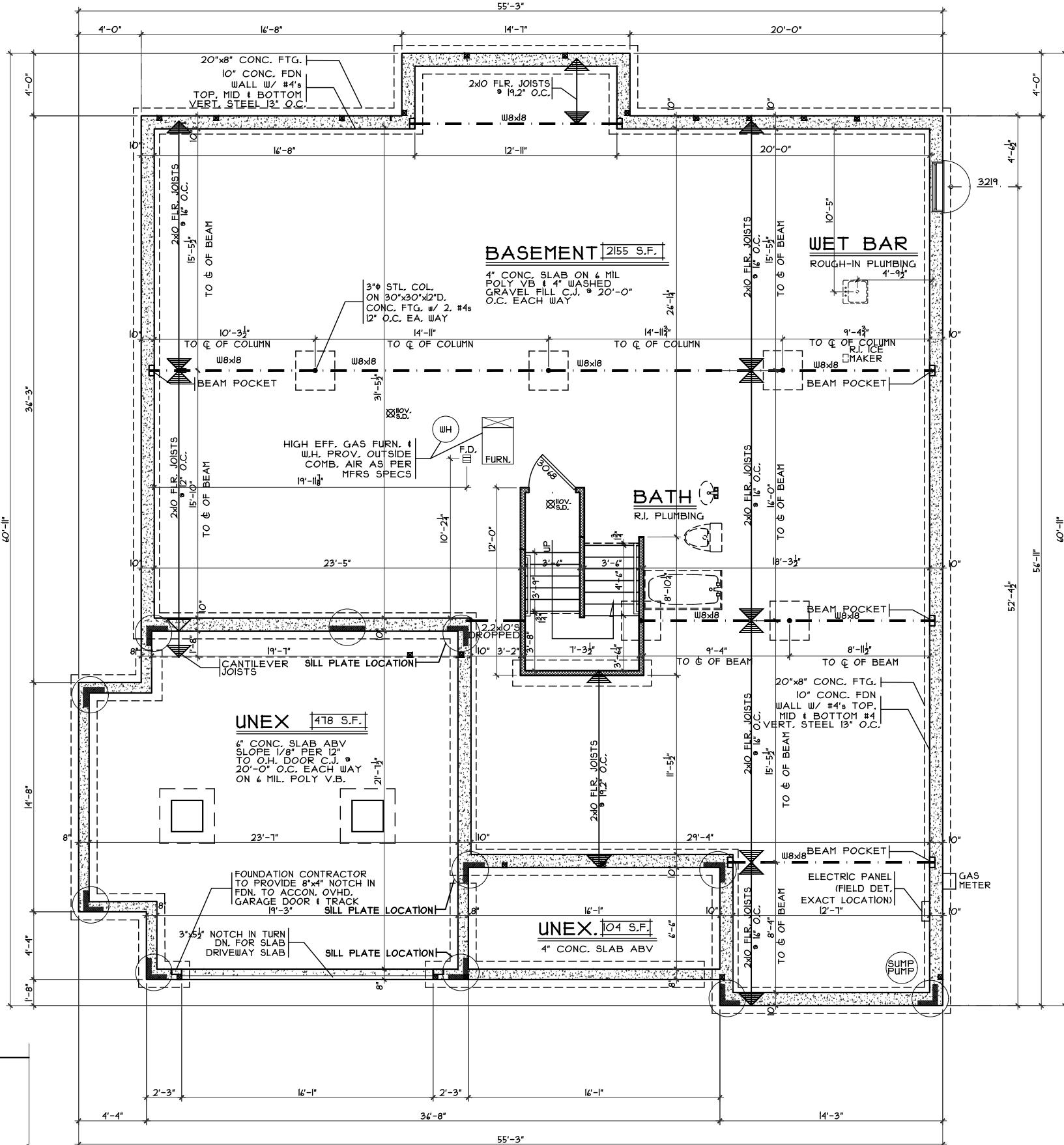
GRADE BM SECTION
SCALE: 1/8" = 1'-0"



ELEVATION

GARAGE DOOR GRADE BM

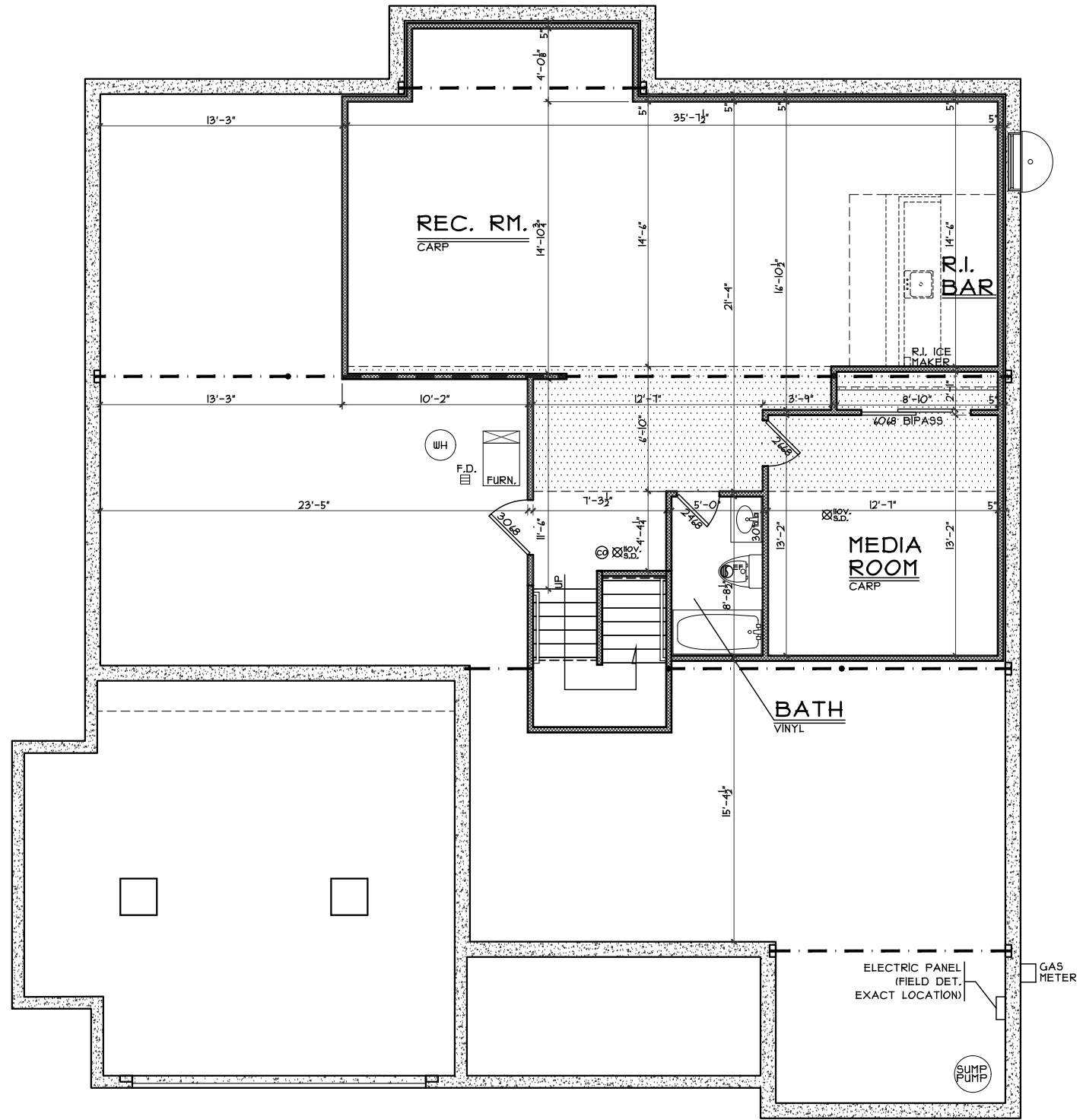
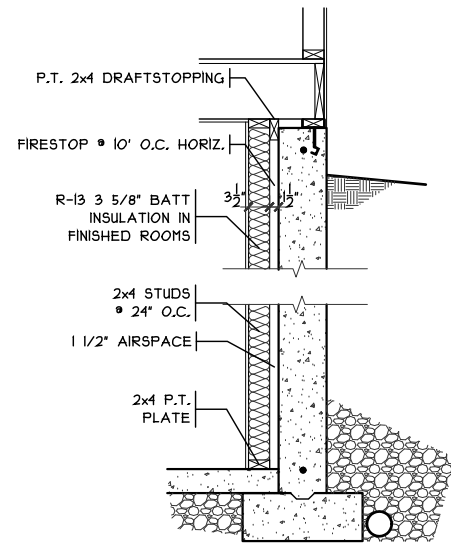
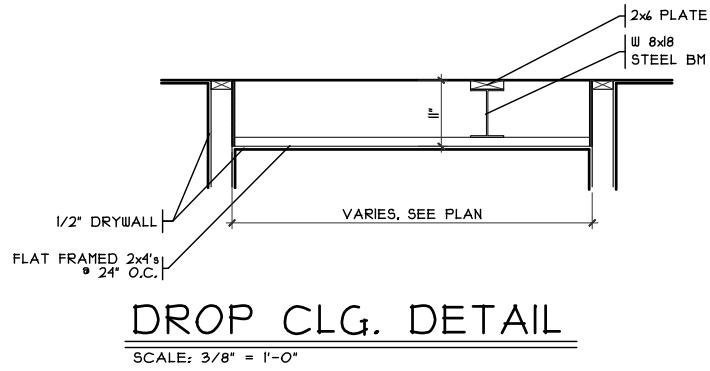
SCALE: 3/8" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

OPTIONS

Foundation Plan - Olde Craftsman
 Proposed Residence:
 The Jill Monsour Trust
 2025 Bugler's Sound
 Saddle Creek Lot #108
 Washington Twp.
 Montgomery County
 Carolina - Olde Craftsman - Comp. Issue Dates
 Review #1 12/9/19
 Plan : CAROLINA
 Date : 11/22/19
 Drawn: KMA
 Scale : As Noted
 Revised: 12/9/19
 Sheet : 3 of 12



OPTIONS

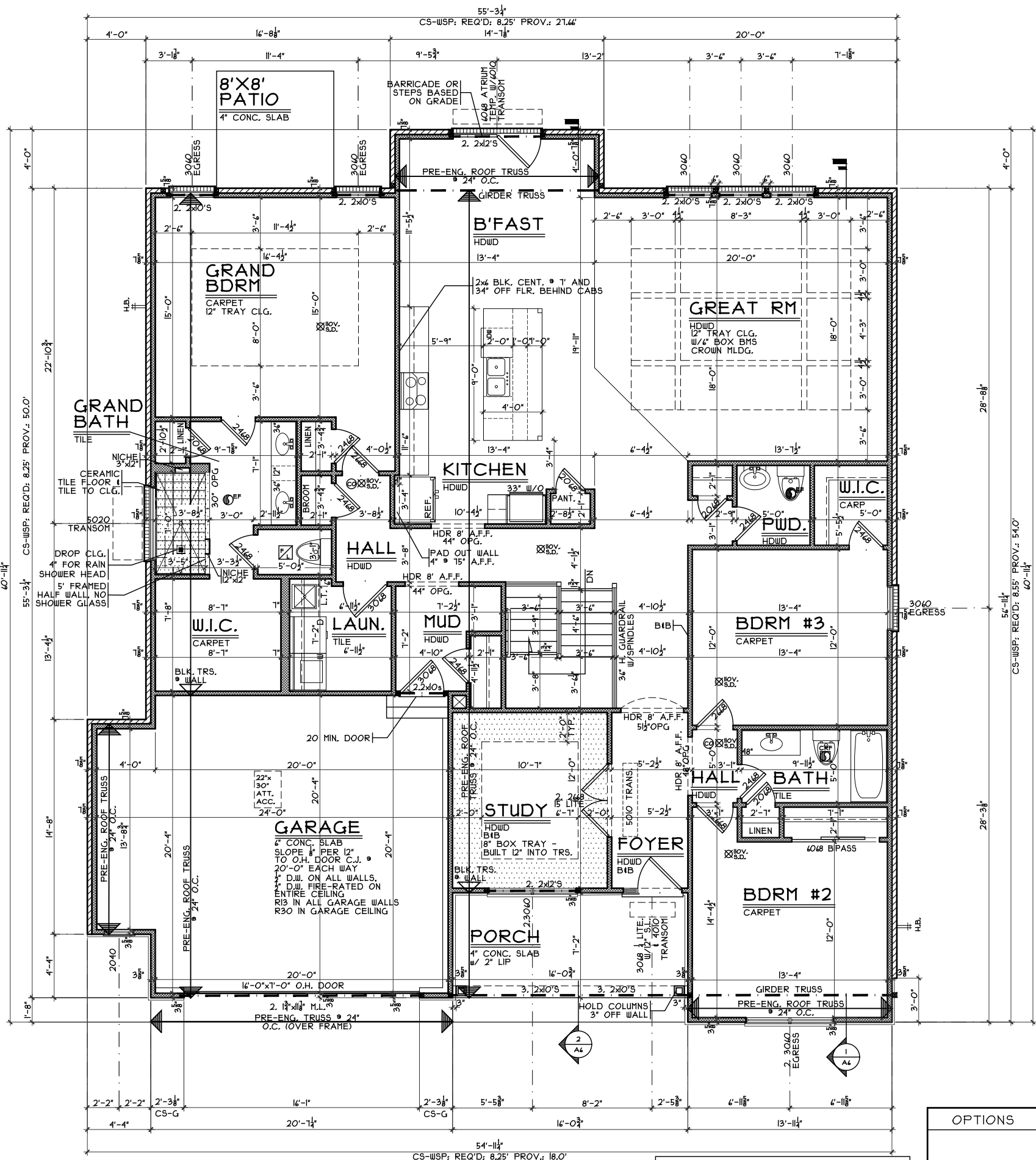
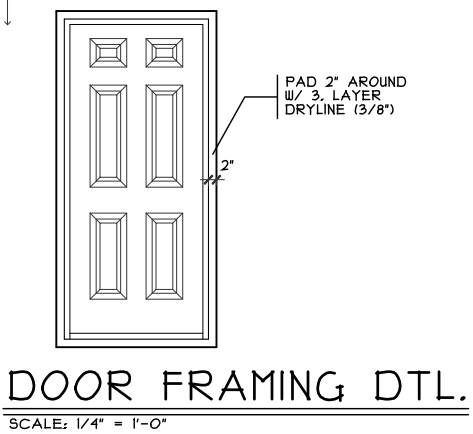
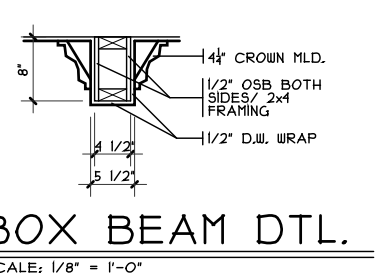
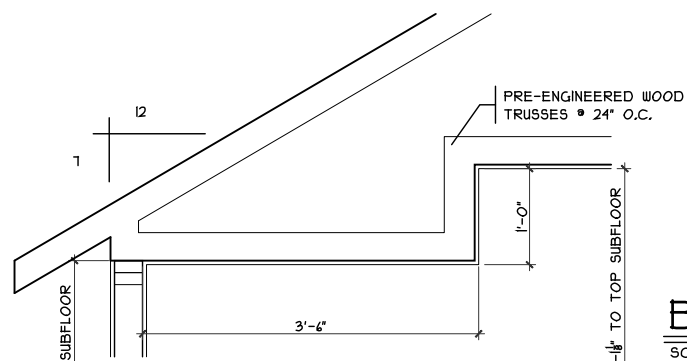
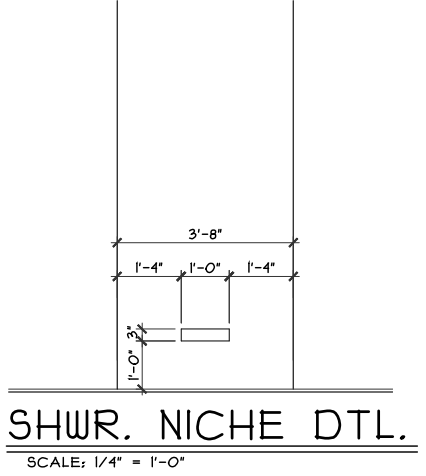
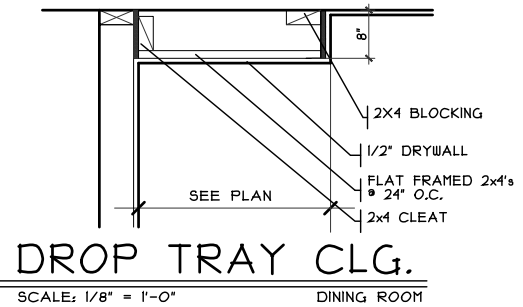
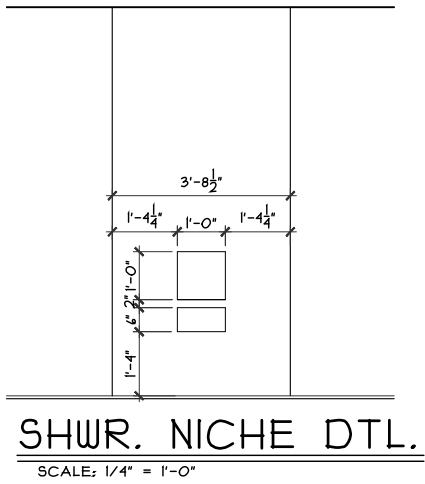
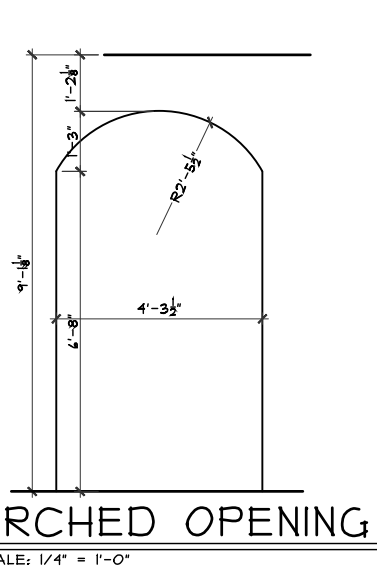
Finished Lower Level - Olde Craftsman
Plan : CAROLINA
Date : 11/22/19
Drawn: KMA
Scale : As Noted
Revised: 12/9/19
Sheet : 4 of 12

Proposed Residence:
The Jill Monsour Trust
2025 Bugler's Sound
Saddle Creek Lot #108

Washington Twp.
Montgomery County

Carolina - Olde Craftsman - Comp. Issue Dates
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Review #1 12/9/19

A2a



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" 2323 S.F.

NOTE: ■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

OPTIONS

First Floor Plan - Olde Craftsman
 Proposed Residence:
 The Jill Monsour Trust
 2025 Bugler's Sound
 Saddle Creek Lot #108

Carolina - Olde Craftsman - Comp. Issue Dates:
 Review #1 12/9/19

Washington Twp.
 Montgomery County

CRISTO HOMES
 7594-A Tylers Place Blvd.
 West Chester, OH 45069
 513.955.0570 www.cristohomes.com

Plan : CAROLINA
 Date : 11/22/19
 Drawn: KMA
 Scale : As Noted
 Revised: 12/9/19
 Sheet : 5 of 12

A3