

TG 252

1256 Timber Glen Drive

Wilmington, OH 45177

2 Story Slab

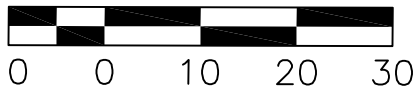
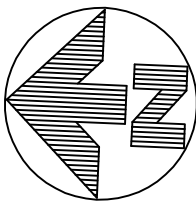
2 hose bibs - no valves required

ice maker

1 tub

1 shower

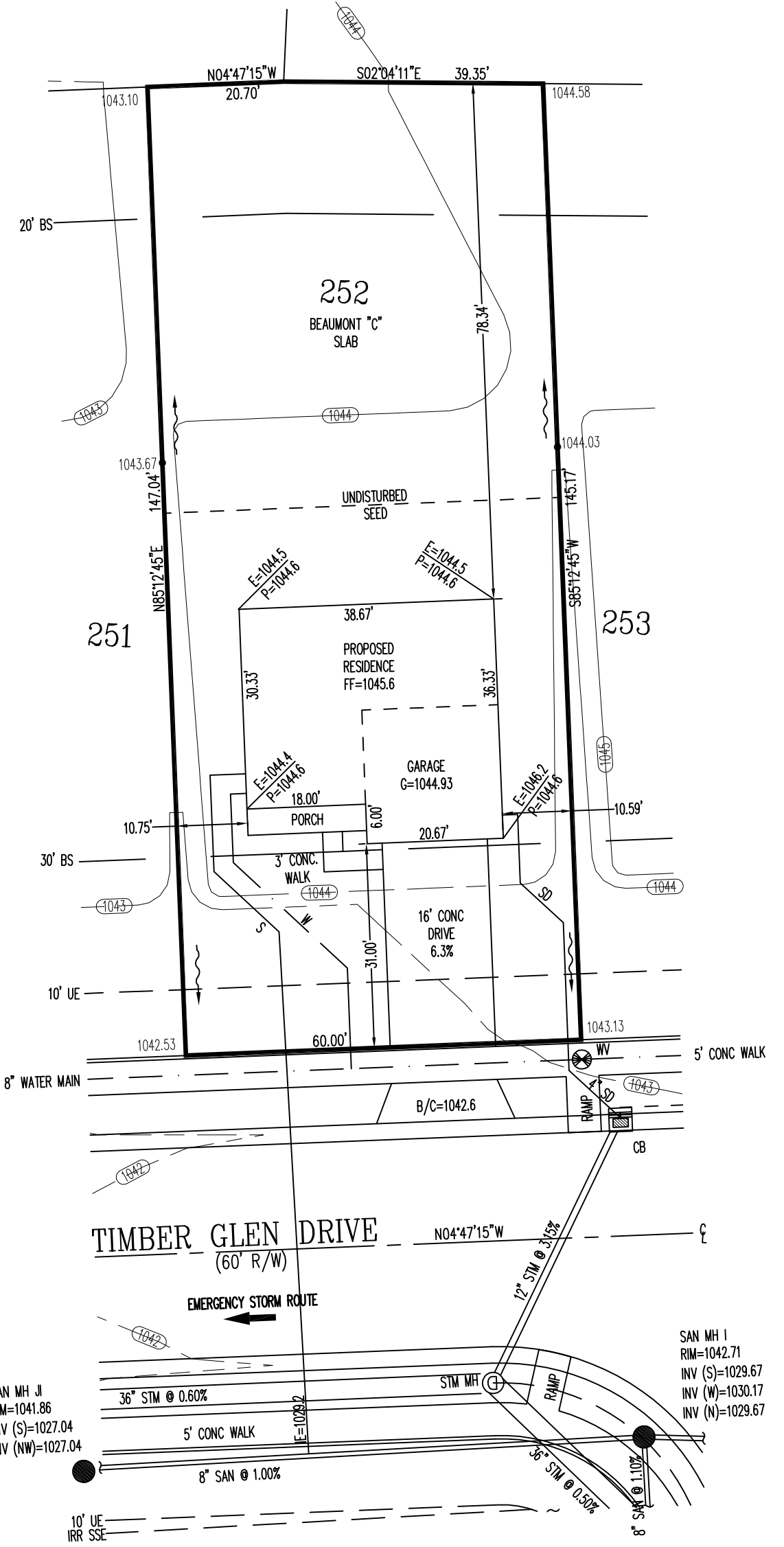
Gas Furnace



JIANG RESIDENCE
1256 TIMBER GLEN DRIVE

PLOT PLAN

LOT 252 (8,786 SF) 0.2017 ACRES
TIMBER GLEN, PHASE SIX, BLOCKS A AND B
VIRGINIA MILITARY SURVEY #2471
CITY OF WILMINGTON, CLINTON COUNTY, OHIO
FOR: CRISTO HOMES



SUGGESTED FF=1045.23

APEX IS NOT RESPONSIBLE FOR SOIL CONDITIONS OR GROUND WATER CONDITIONS.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO SITE CONDITIONS.

INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

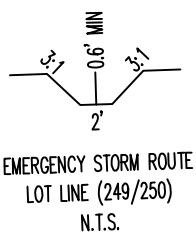
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



SETBACKS:
FRONT YARD=30'
REAR YARD=20'
SIDE YARD=5' MIN/15' TOTAL

QUANTITIES

TOTAL LOT AREA	8786	sq. ft.
CITY WALK	235	sq. ft.
HOUSE WALK	36	sq. ft.
DRIVE	584	sq. ft.
APRON	111	sq. ft.
PATIO AND PORCHES	72	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	3282	sq. ft.
UNDISTURBED AREA	3846	sq. ft.

SCALE: 1"=20'
DATE: 08/14/2023
DRAWN: JAC
DESIGNED:
CHECKED: JLS

APEX
ENGINEERING & SURVEYING, INC.
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:

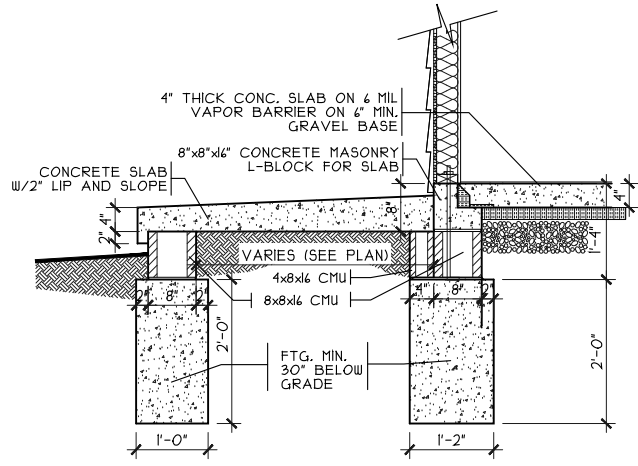
- 1.
- 2.
- 3.
- 4.

PROJECT: TIMBER GLEN
DRAWING: 231494PA

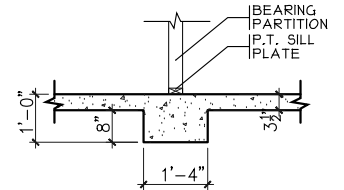
SHEET
1 OF 1

SAN MH 1
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INV (W)=1030.17
INV (N)=1029.67

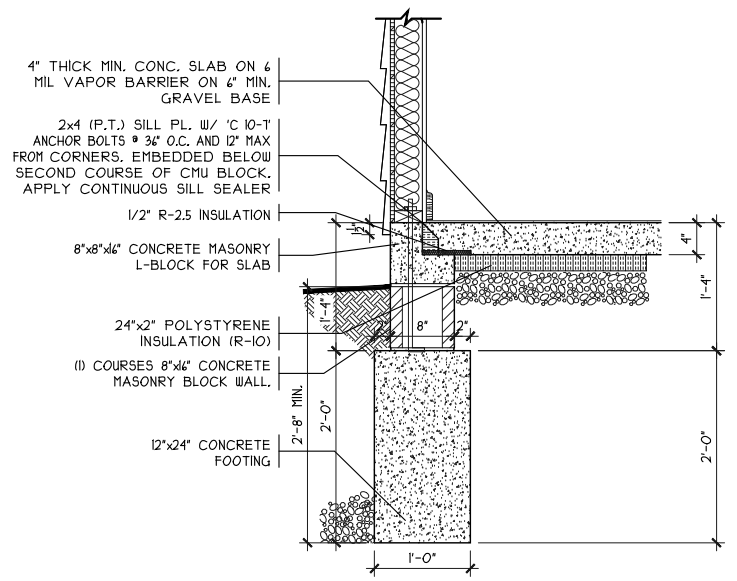
SAN MH JI
RIM=1041.86
INV (S)=1027.04
INV (NW)=1027.04



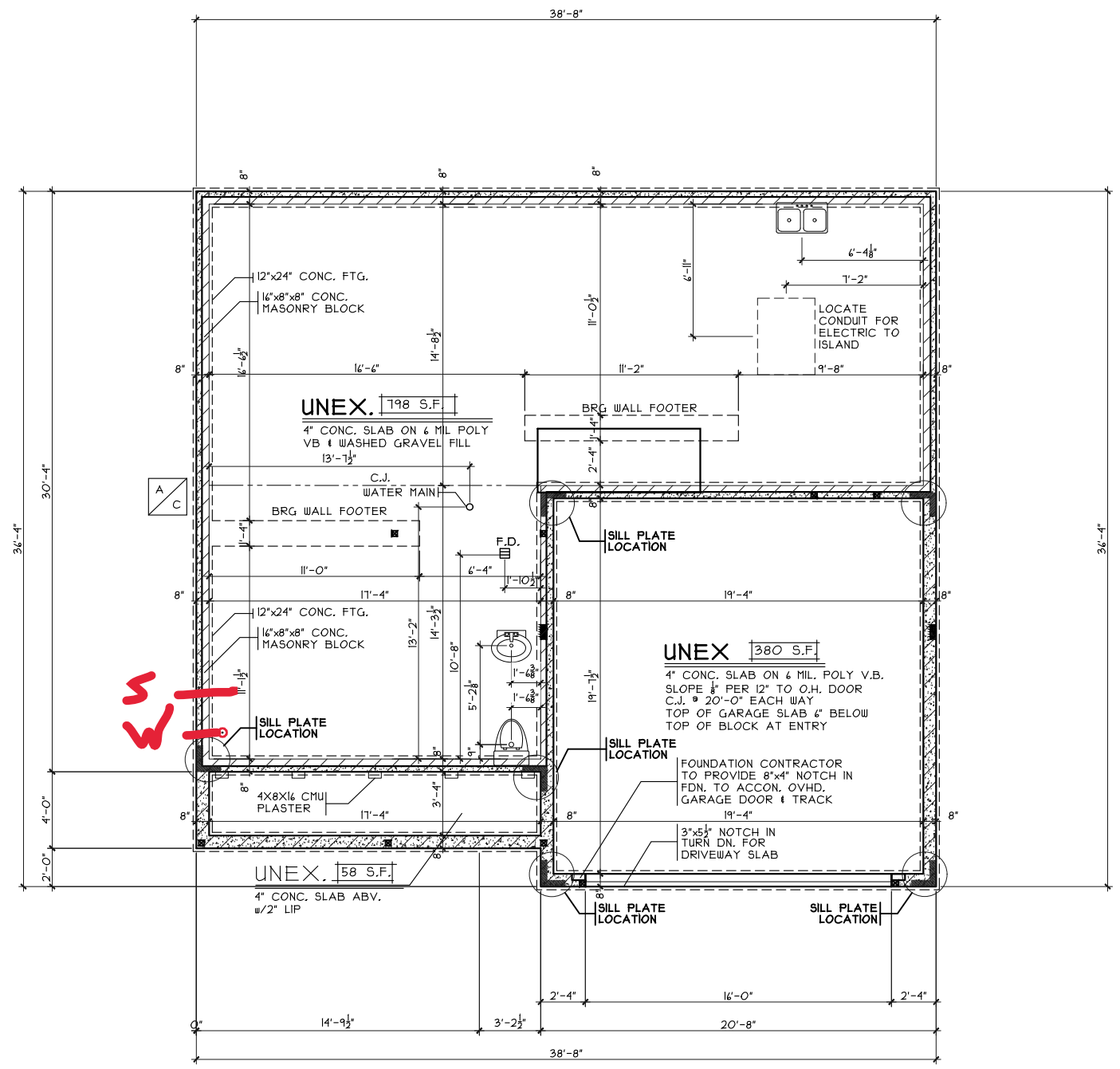
PORCH DETAIL
SCALE: 3/8" = 1'-0"



BRG WALL FOOTER
SCALE: 1/4" = 1'-0"



SOG DETAIL
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

Foundation Plan
Plan: Beaumont Slab
Date: 7.21.2023
Drawn: JRK
Scale: As Noted
Revised: 8.9.2023
Sheet: 3 of 8



Proposed Residence:
Jiang Residence
1256 Timber Glen Drive
Timber Glen Lot 252

Renaissance - TG-252

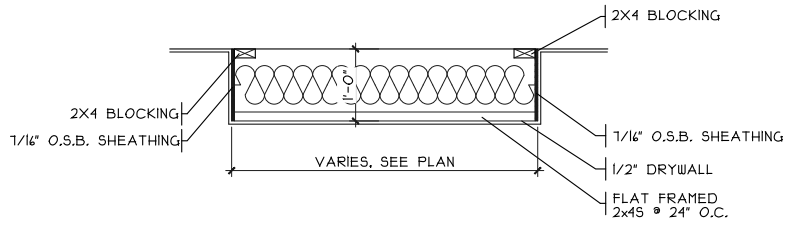
Wilmington
Clinton County

Beaumont Slab - C6 - Vinyl

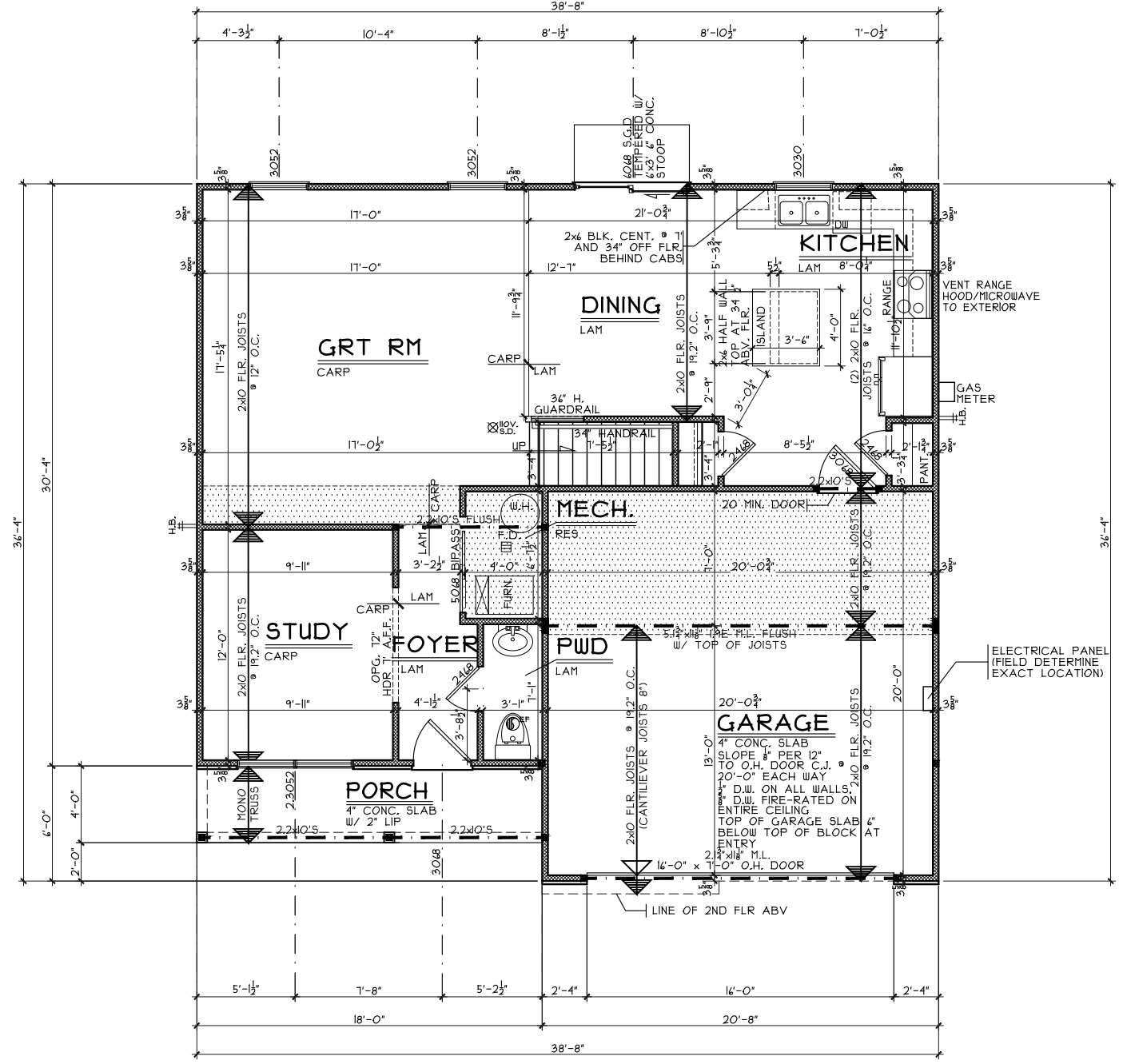
Issue Dates

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A2



DROP CLG. DETAIL
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" 882 S.F.

First Floor Plan
Plan: Beaumont Slab
Date: 7.21.2023
Drawn: JRK
Scale: As Noted
Revised: 8.9.2023
Sheet: 4 of 8

Renaissance - TG-252
Proposed Residence:
Jiang Residence
1256 Timber Glen Drive
Timber Glen Lot 252

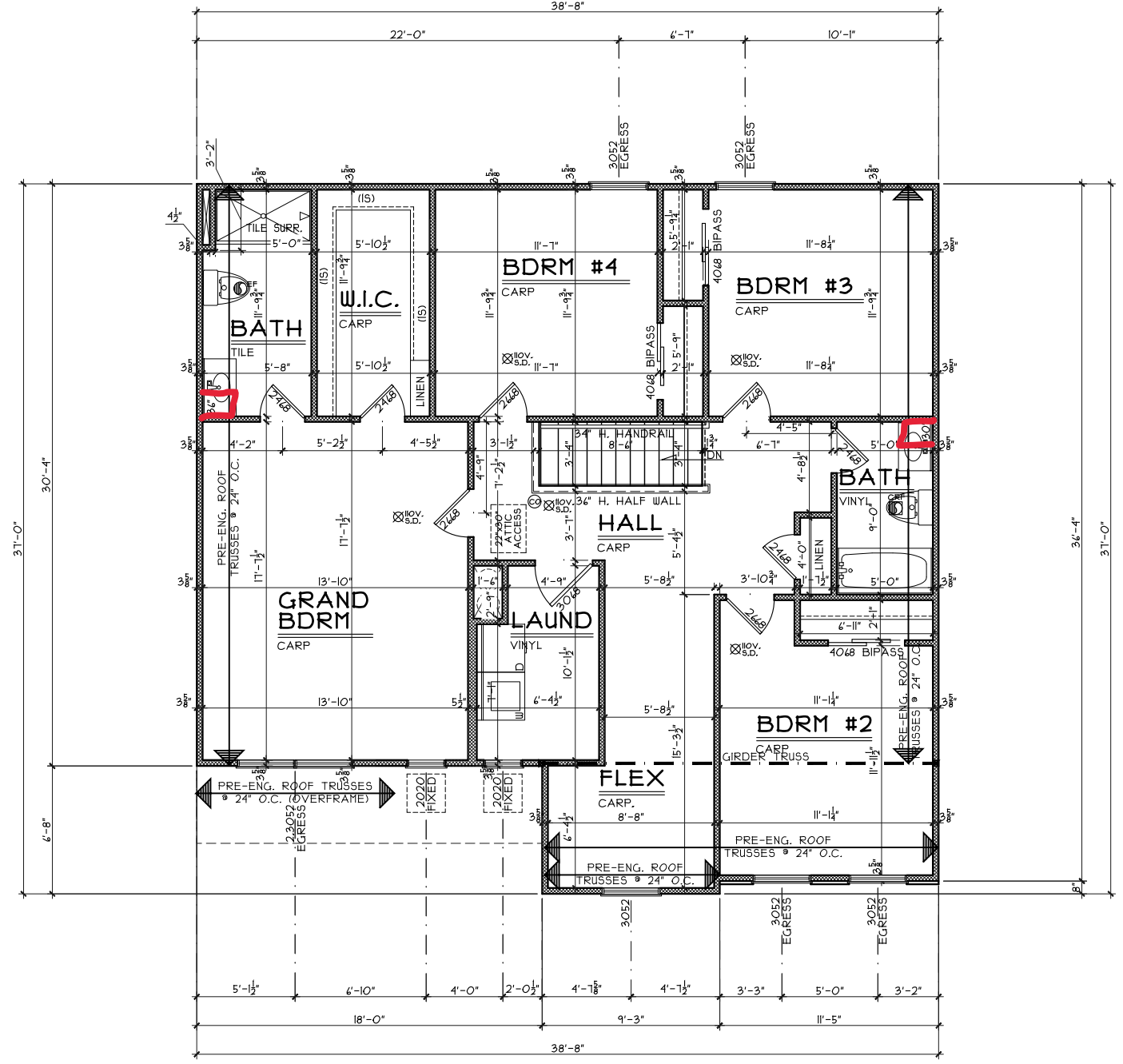
Wilmington
Clinton County

Beaumont Slab - C6 - Vinyl

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Issue Dates	Review

A3



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" 1211 S.F

Second Floor Plan

Plan: Beaumont Slab
Date : 7.21.2023
Drawn: JRK
Scale : As Noted
Revised: 8.9.2023
Sheet : 5 of 8



7594-A Tylers Place Blvd.
West Chester, OH 45069
www.cristohomes.com

Renaissance - TG-252

Proposed Residence:

Jiang Residence
1256 Timber Glen Drive
Timber Glen Lot 252

Beaumont Slab - C6 - Vinyl

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Issue Dates

Review	Issue Dates

A4

Wilmington
Clinton County