

TR 2227

2868 Pine Leaf Court

Hamilton, OH 45013

2 Story Basement - 2 pc rough

Loop vent kitchen

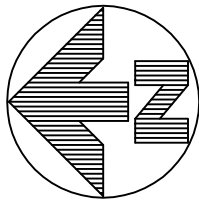
2 hose bibs - no valves required

ice maker

1 tub

1 shower

Gas Furnace



SETBACKS:
FRONT YARD=25'
REAR YARD=10'
SIDE YARD=5'

PLOT PLAN

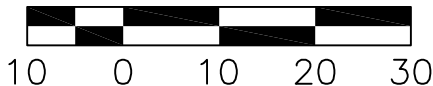
LOT 32227 (5,501 SF) 0.1263 ACRES

ENCLAVE @ TWIN RUN, SECTION THREE

CITY OF HAMILTON

BUTLER COUNTY, OHIO

FOR: CRISTO HOMES



MARKET HOME
2868 PINE LEAF COURT



YARD TREE
(SEE APPROVED TREE LIST AND SIZE
REQUIREMENTS IN CHAPTER 915 OF
THE CITY OF HAMILTON CODIFIED
ORDINANCES)

FOR PERMITTING PURPOSES ONLY.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADHERING TO ANY (STATE, CITY, COUNTY, TOWNSHIP, ETC.) ENGINEERING, CONSTRUCTION, MATERIAL AND SAFETY CODES, SPECIFICATION AND/OR REQUIREMENTS.

INFORMATION FROM CONSTRUCTION DRAWINGS, UTILITIES AND CONTOURS SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

BUILDER IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, BUILDER TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

BUILDER IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

APEX IS NOT RESPONSIBLE FOR SOIL CONDITIONS OR GROUND WATER CONDITIONS.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

CITY OF HAMILTON NOTES:

CONTRACTOR TO "LEAVE ROUGH GRADE BEHIND CURB IN TREE LAWN 3 INCHES BELOW TOP OF CURB TO HELP STOP SEDIMENT FROM FLOWING INTO THE STREET AND CURB INLETS. FINAL GRADE BEHIND CURB TO BE ESTABLISHED JUST PRIOR TO SEEDING."

*CONST. ENTRANCE-AS SHOWN HEREON FOR GRAPHICAL PURPOSES ONLY, "GRAVEL OR CRUSHED STONE CONSTRUCTION ENTRANCE UNDERLAIN WITH GEOTEXTILE" DIMENSIONS AND MATERIAL TO BE DETERMINED BY CITY.

AN OPERATOR QUALIFIED (OQ) CONTRACTOR MUST INSTALL THE GAS SERVICE FROM THE CURB BOX TO THE METER

THE GAS SERVICE IS TO BE DIRECT BURY

GAS CURB VALVES CANNOT BE LOCATED IN THE SIDEWALK OR DRIVEWAY

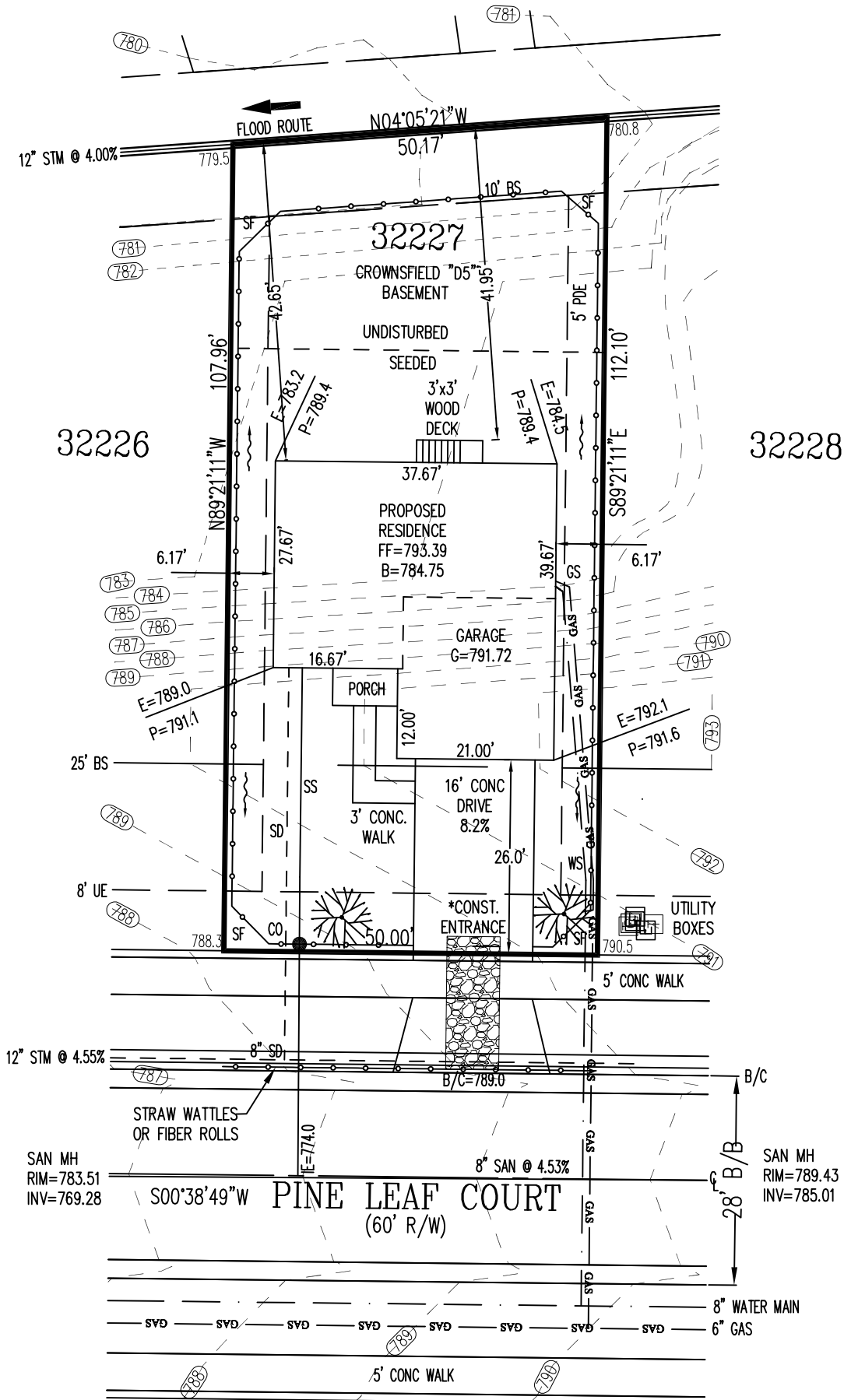
WATER SERVICE SHALL BE TYPE K COPPER FROM THE WATER MAIN TO THE METER. PLASTIC PIPE IS NOT RECOMMENDED ANYWHERE ON THIS PROJECT TO TO THE CITY'S DISINFECTION PROCESS

THE CONTRACTOR MUST FOLLOW THE CITY OF HAMILTON WATER MAIN AND WATER SERVICE TESTING PROCEDURES.

ADD A CLEANOUT AT THE R/W OR EASEMENT DNA ANY BEND IN THE LATERAL. USE A COUNTERSUNK HEAD WHEN A RAISED HEAD IS CONSIDERED A TRIP HAZARD. CLEANOUTS ARE NOT TO BE LOCATED IN THE SIDEWALK OR DRIVEWAY.

THE MINIMUM VERTICAL DIFFERENCE BETWEEN THE FINISHED FLOOR ELEVATION OF THE LOWEST LEVEL AND THE CROWN OF THE SANITARY SEWER MAIN IS THREE (3) FOOT

IF IT IS NECESSARY TO TAP THE SANITARY SEWER MAIN A FACTORY WYE MUST BE USED.



DRAINAGE ARROWS AND ROUTES ARE SUBJECT TO CHANGE.

QUANTITIES

TOTAL LOT AREA	5501	sq. ft.
CITY WALK	204	sq. ft.
HOUSE WALK	55	sq. ft.
DRIVE	512	sq. ft.
APRON	185	sq. ft.
PATIO AND PORCHES	47	sq. ft.
DECK	9	sq. ft.
SEEDING AREA	2478	sq. ft.
UNDISTURBED AREA	1469	sq. ft.



SCALE: 1"=20'
DATE: 8/12/2023
DRAWN: FAK
DESIGNED:
CHECKED: JLS

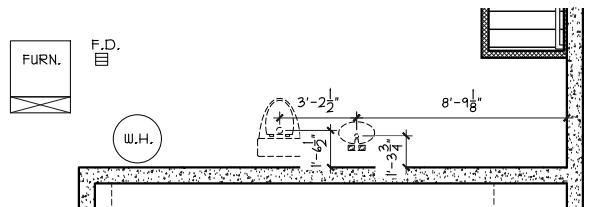


REVISIONS:

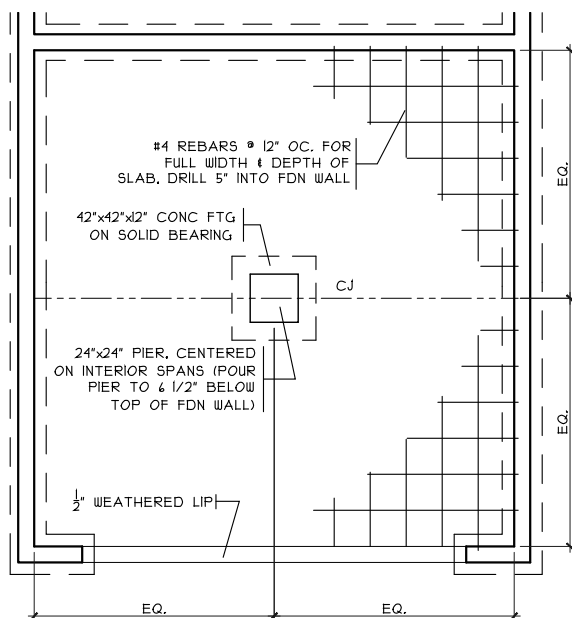
- 1.
- 2.
- 3.
- 4.

PROJECT: TWINRUN
DRAWING: 231431PA

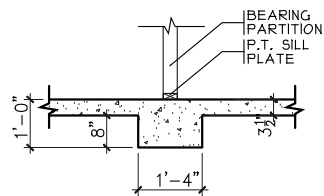
SHEET
1 OF 1



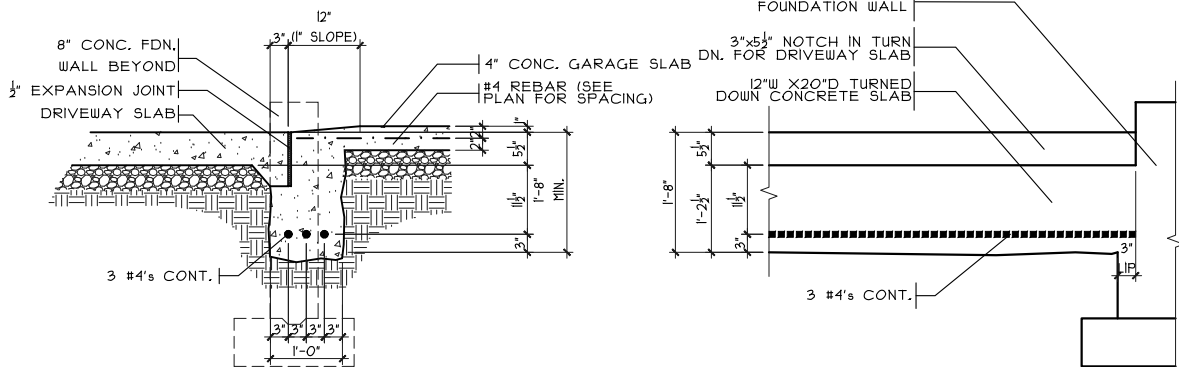
DIMS TO FDN PLUMB.
SCALE: 1/8" = 1'-0"



GRADE BM DETAIL
SCALE: 1/8" = 1'-0"



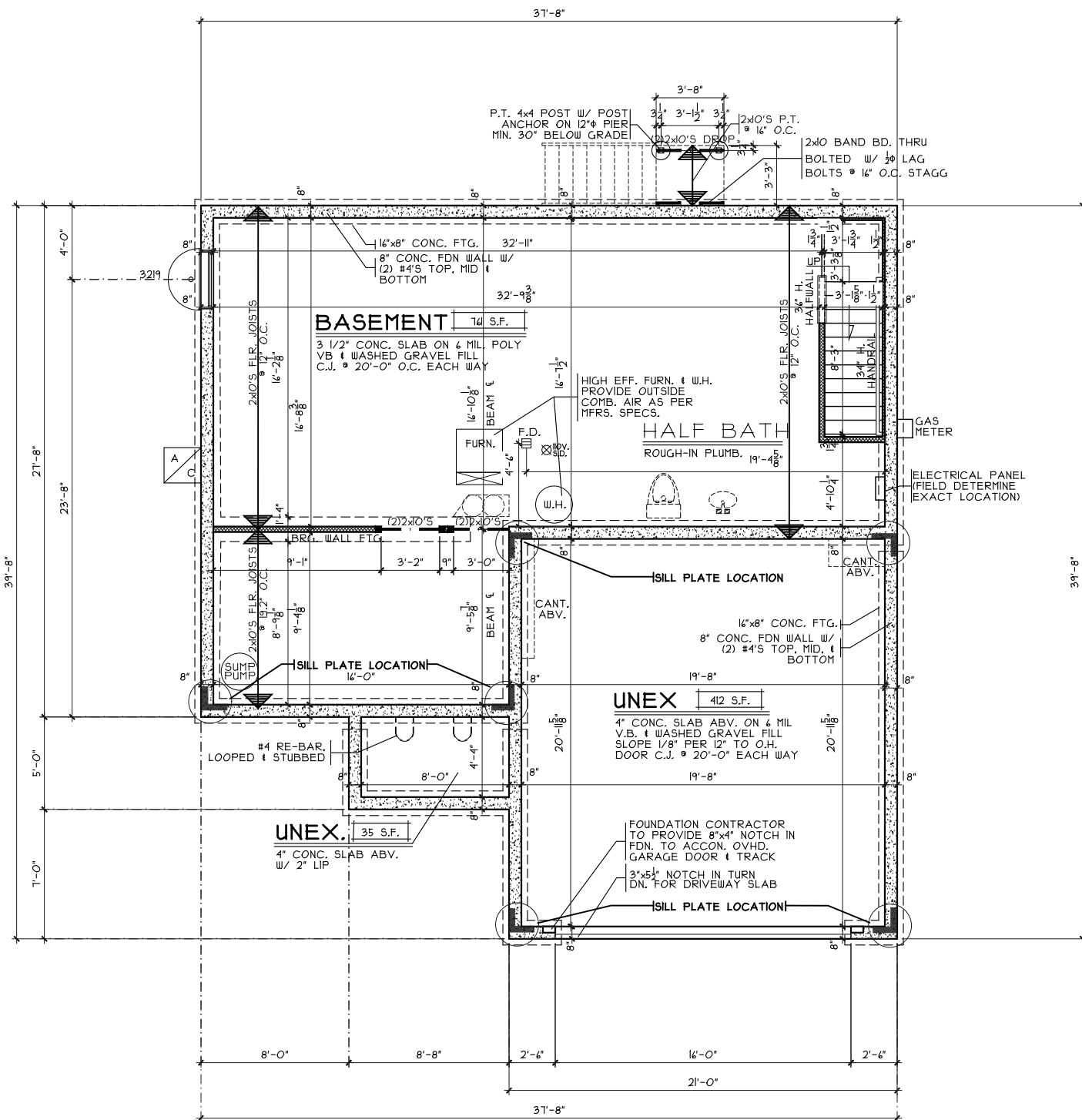
BRG. WALL FOOTING
SCALE: 1/4" = 1'-0"



SECTION

ELEVATION

GARAGE DOOR GRADE BM
SCALE: 3/8" = 1'-0"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1" AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4".

Foundation Plan

Plan: Crownfield Basement
Date: 7.19.2023
Drawn: JRK
Scale: As Noted
Revised: 8.1.2023
Sheet: 3 of 8

Renaissance - TR-2227

Proposed Residence:

Market Home

2868 Pine Leaf Court

Enclave at Twin Run Lot 2227

Crownfield Bsm - D5 - Vinyl

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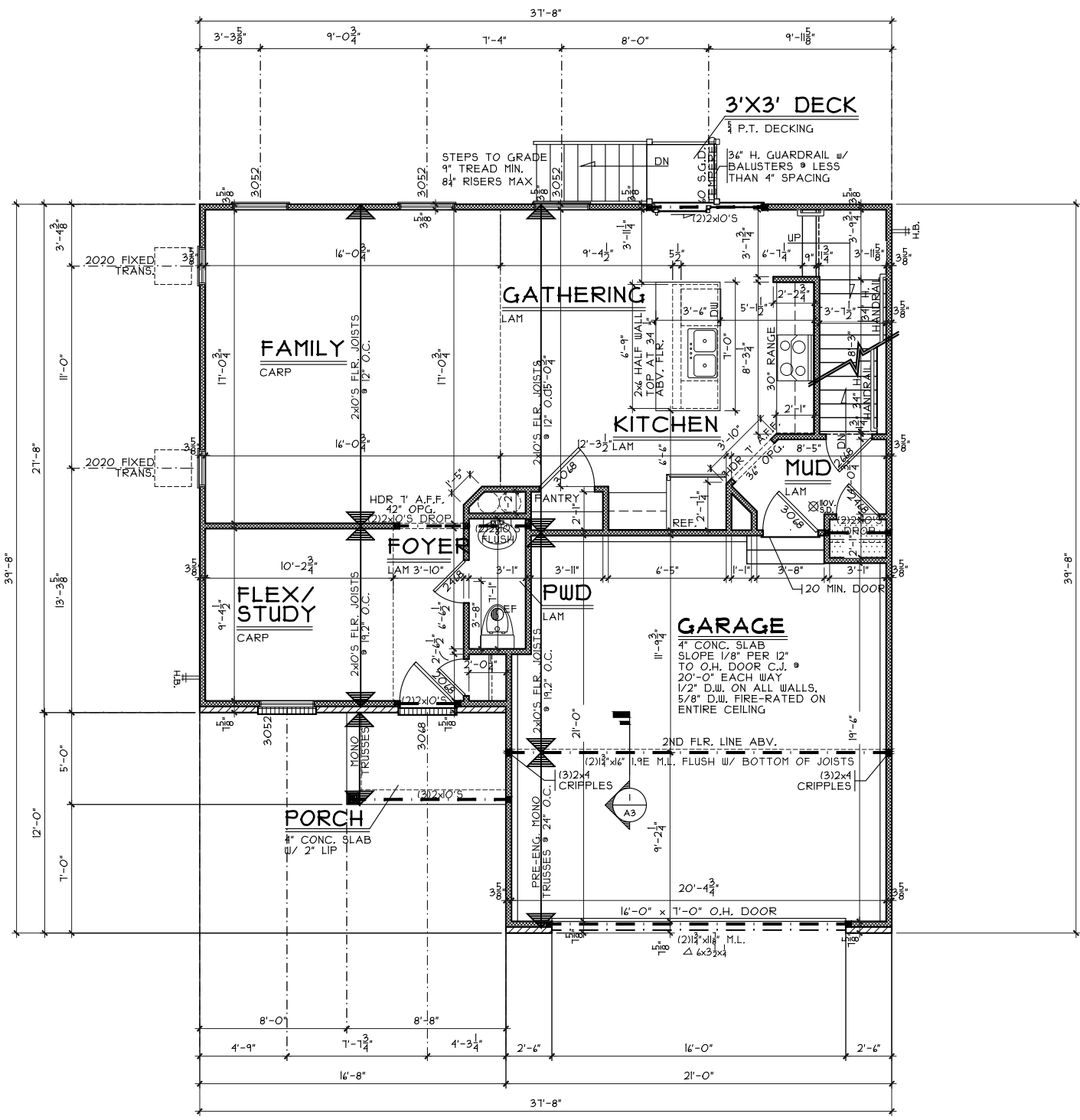
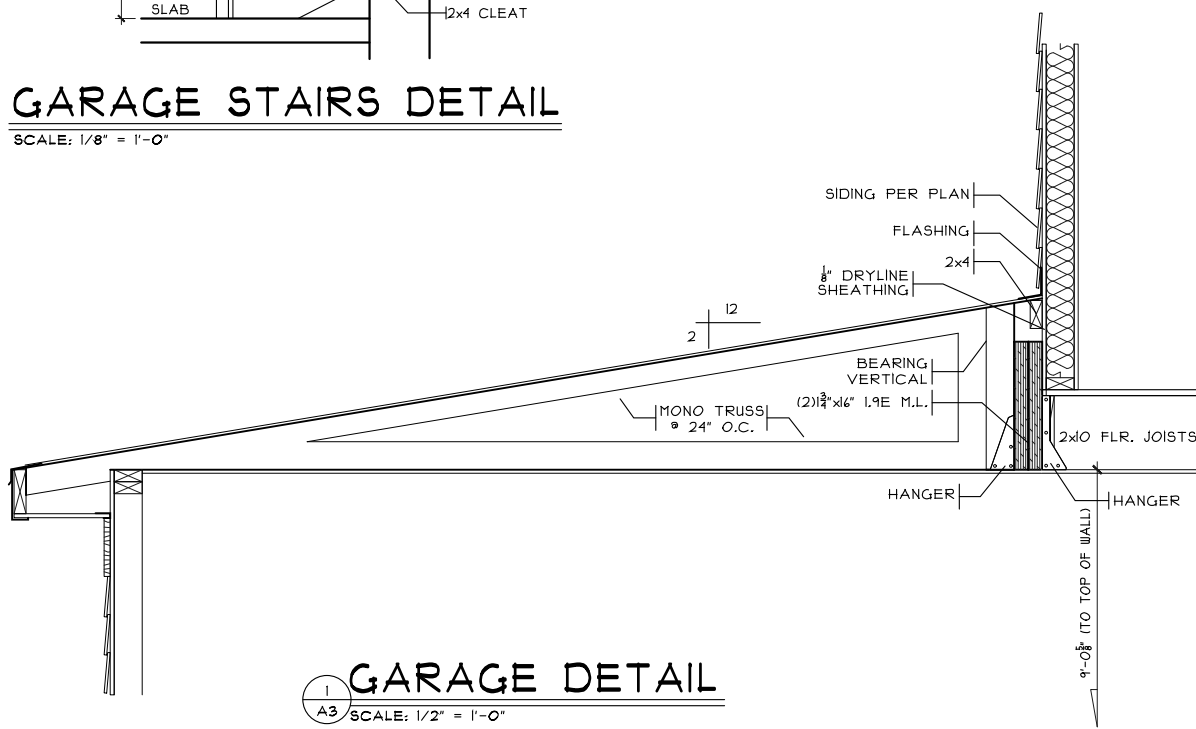
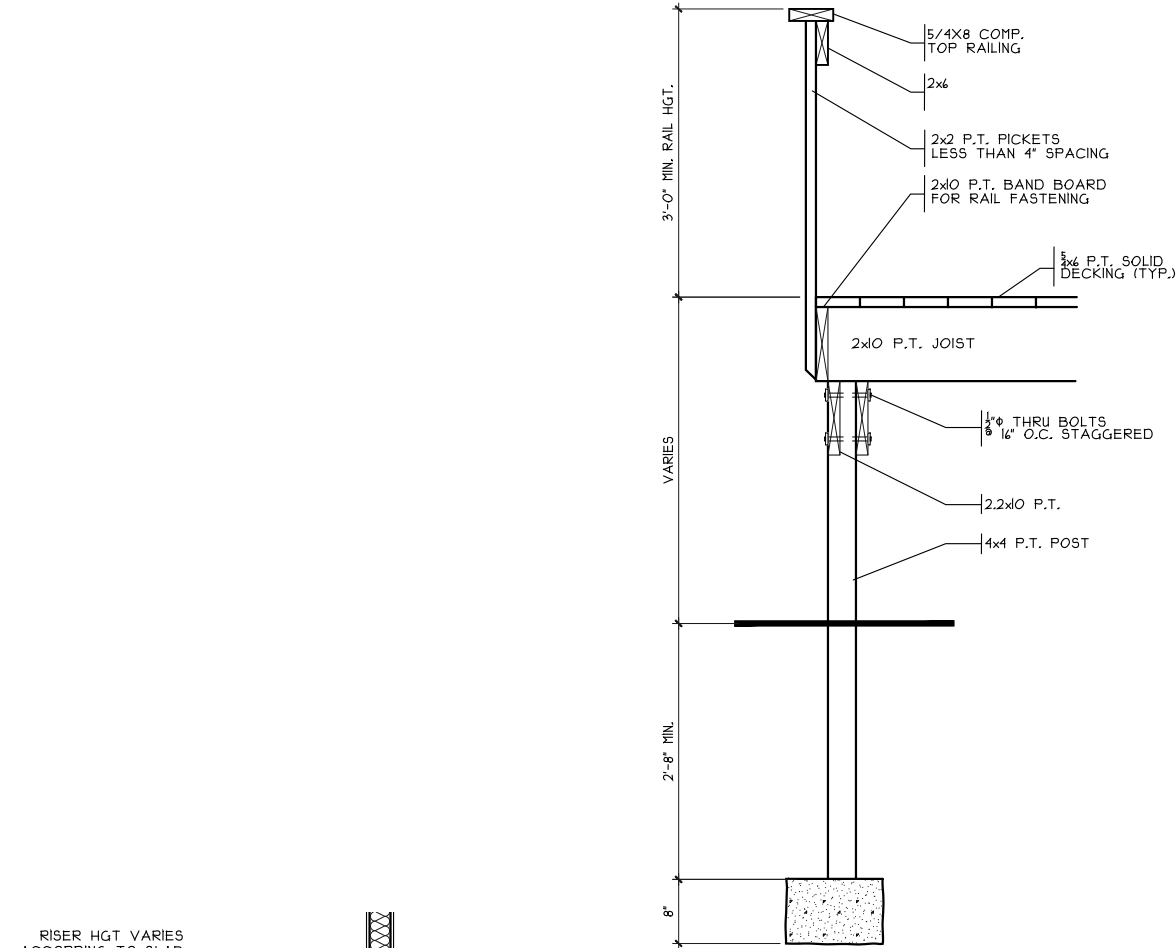
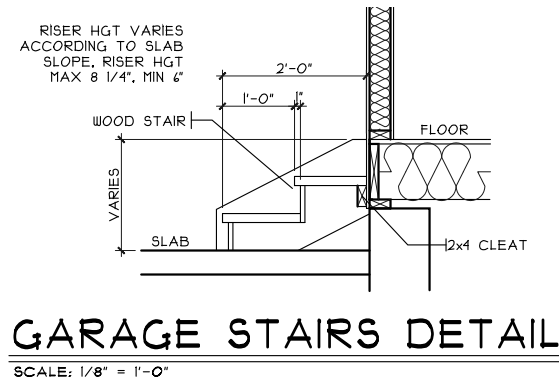
Issue Dates



Review

Hamilton
Butler County

A2



CRISTO HOMES
 7894A Tyers Place Blvd.
 West Chester, OH 45389
 513.755.0570 • www.cristohomes.com

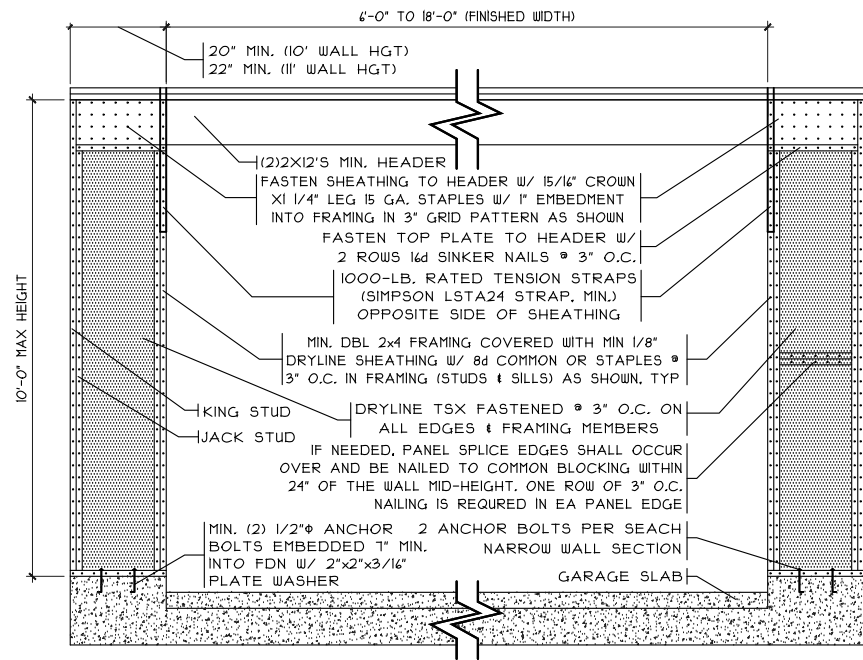
Proposed Residence:
 Market Home
 2868 Pine Leaf Court
 Enclave at Twin Run Lot 2227

Hamilton
 Butler County

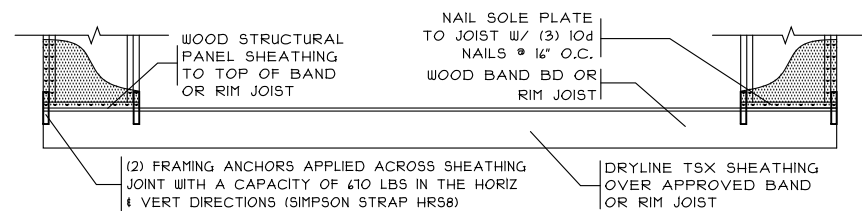
Plan: Crownfield Basement
 Date: 7.19.2023
 Drawn: JRK
 Scale: As Noted
 Revised: 8.1.2023
 Sheet: 4 of 8

Issue Dates
 Review

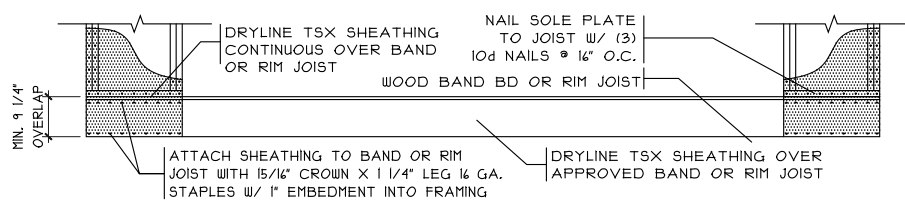
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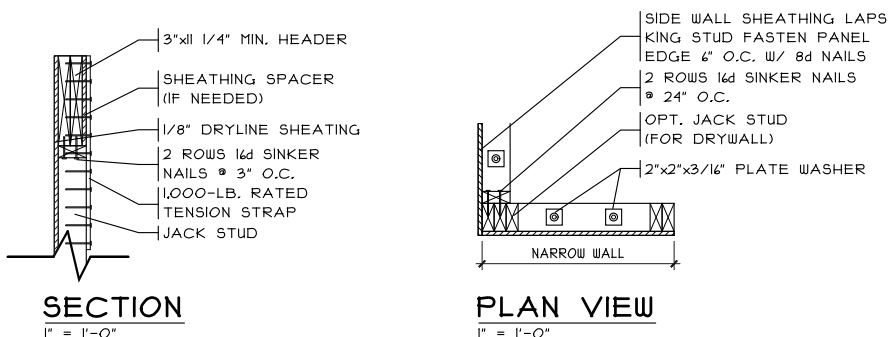
WALL OVER POURED FOUNDATION
SCALE: 1/4" = 1'-0"



WALL OVER RAISED WOOD FLOOR
SCALE: 1/4" = 1'-0" FRAMING ANCHOR OPTION



WALL OVER RAISED WOOD FLOOR
SCALE: 1/4" = 1'-0" OVERLAP OPTION



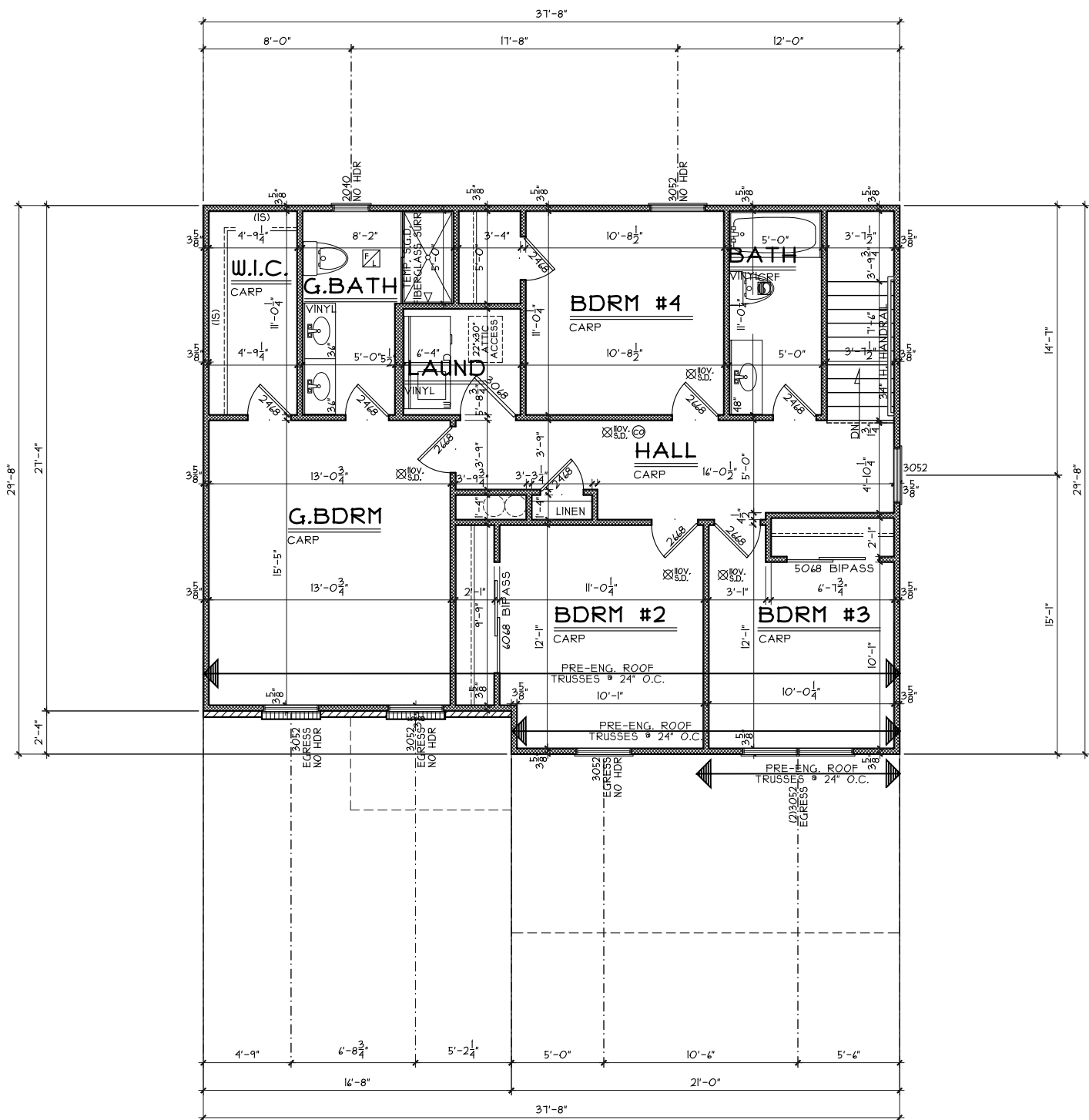
SECTION
1" = 1'-0"

PLAN VIEW
1" = 1'-0"

METHOD CS-PF CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

SCALE PER DETAIL

POURED WALL FDN



NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1" AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4".

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0" 1043 SQ. FT.

Second Floor Plan	Crownfield Bsm1 - D5 - Vinyl	Issue Dates
Plan: Crownfield Basement		
Date: 7.19.2023		
Drawn: JRK		
Scale: As Noted		
Revised: 8.1.2023		
Sheet: 5 of 8		
Proposed Residence:	Hamilton	Butler County
Market Home		
2868 Pine Leaf Court		
Enclave at Twin Run Lot 2227		
Renaissance - TR-2227		
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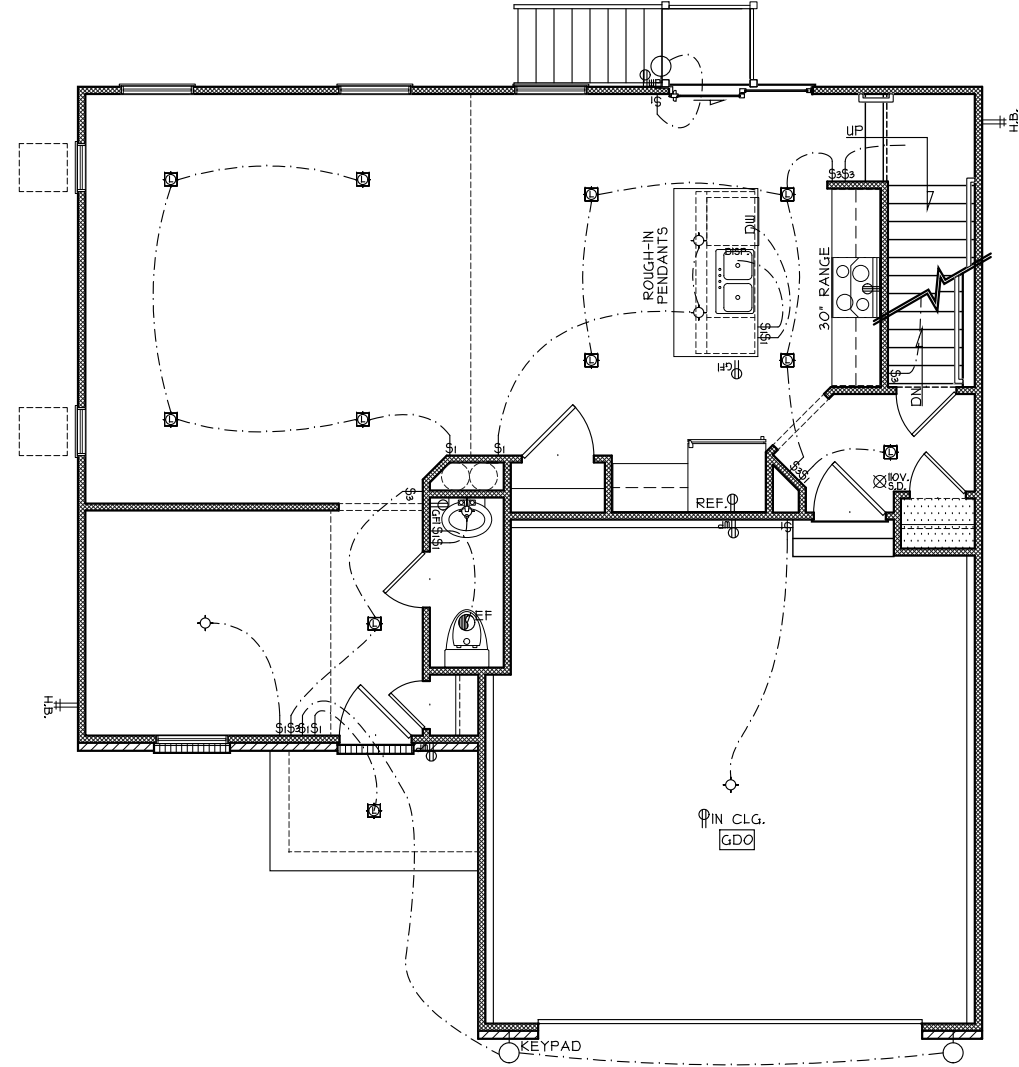
A4

ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL CO-ORDINATE THE EXACT LOCATION OF ALL HVAC EQUIPMENT, (HVAC AND EXHAUST) WITH GENERAL CONTRACTOR, PRIOR TO THE START OF CONSTRUCTION.
2. ANY REFERENCE TO ELECTRICAL, PLUMBING, AND HVAC CONTRACTORS, NOTED ON THESE DRAWINGS OR STATED IN THE SPECIFICATIONS SHALL NOT BE MISCONSTRUED AS AN INTENTION TO DEFINE SEPARATE CONTRACTORS FOR THE RESPECTIVE WORK. THE GENERAL CONTRACTOR SHALL CO-ORDINATE AND PROVIDE A COMPLETE BUILDING WITH COMPLETE MECHANICAL, AND ELECTRICAL SYSTEMS, REGARDLESS OF ANY SPECIFICATION REFERENCES TO OTHER CONTRACTORS.
3. NOT LESS THAN 90% OF NEW PERMANENTLY INSTALLED LIGHT FIXTURES SHALL CONTAIN ONLY HIGH-EFFICIENCY LAMPS.

ELECTRICAL LEGEND

	LIGHT FIXTURE - PENDANT
	LIGHT FIXTURE - PULL CHAIN
	LIGHT FIXTURE - RECESSED
	LIGHT FIXTURE - LED FLUSH MOUNT
	LIGHT FIXTURE - EYEBALL
	EXTERIOR FIXTURE - WALL MOUNTED
	INCANDESCENT FIXTURE - WALL MOUNTED
	WALL SCONCE
	LIGHT FIXTURE - FLUORESCENT
	UNDER CABINET LIGHT
	EXHAUST FAN/LIGHT FIXTURE
	TELEVISION OUTLET
	UNIVERSAL OUTLET
	HDMI JACK
	TELEPHONE OUTLET
	DUPLEX CONVENIENCE RECEPTACLE VISUAL SAFETY REQUIRED
	DUPLEX CONVENIENCE RECEPTACLE DEDICATED
	GROUND FAULT CIRCUIT INTERRUPT DUPLEX RECEPTACLE
	DUPLEX CONVENIENCE RECEPTACLE WEATHER PROOF
	LOW VOLTAGE RECEPTACLE
	220 VOLT RECEPTACLE
	SWITCH - SINGLE POLE
	SWITCH - THREE WAY
	SWITCH - FOUR WAY
	SWITCH - DIMMER
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN
	CONTINUOUS RUNNING FAN
	CEILING FAN
	THERMOSTAT
	GARAGE DOOR OPENER
	FLOOD LIGHT
	SPOT LIGHT



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

Electrical Plan

Plan: Crownfield Basement
 Date: 7.19.2023
 Drawn: JRC
 Scale: As Noted
 Revised: 8.1.2023
 Sheet: E2 of 8



Proposed Residence:
 Market Home
 2868 Pine Leaf Court
 Enclave at Twin Run Lot 2227

Renaissance - TR-2227

Crownfield Bsm - D5 - Vinyl

Issue Dates

Review	Issue Dates

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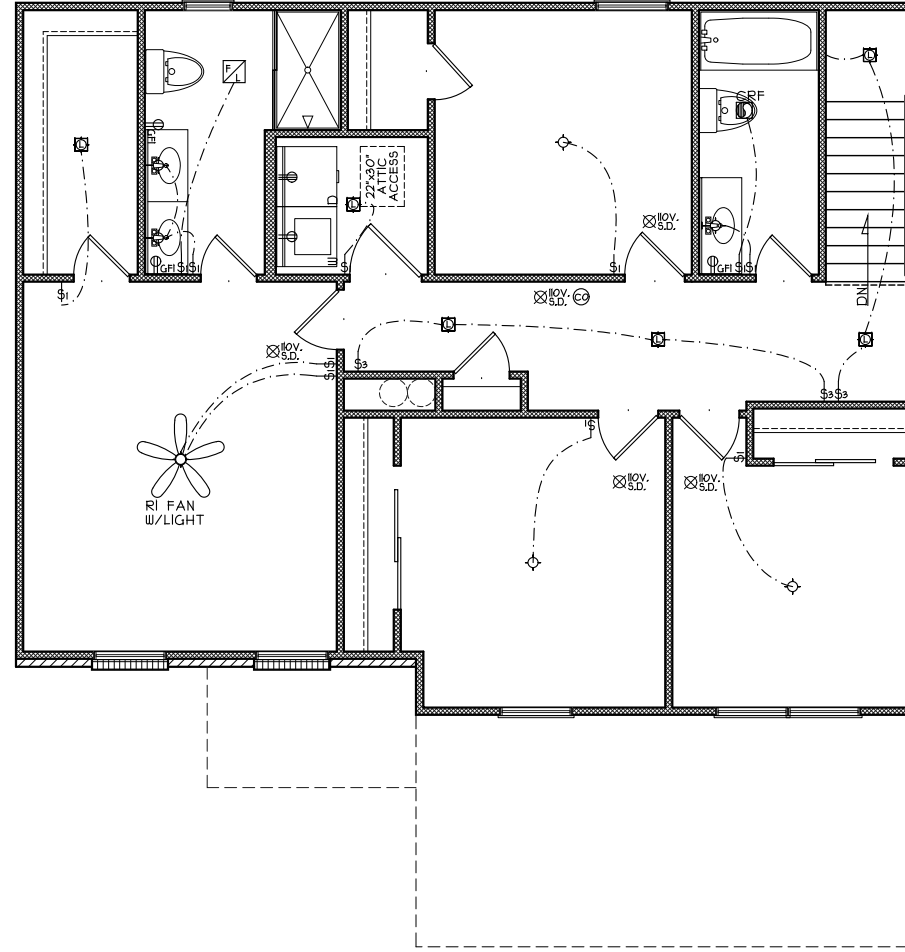
Hamilton
 Butler County

E2

ELECTRICAL NOTES

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ELECTRICAL LEGEND	
	LIGHT FIXTURE - PENDANT
	LIGHT FIXTURE - PULL CHAIN
	LIGHT FIXTURE - RECESSED
	LIGHT FIXTURE - LED FLUSH MOUNT
	LIGHT FIXTURE - EYEBALL
	EXTERIOR FIXTURE - WALL MOUNTED
	INCANDESCENT FIXTURE - WALL MOUNTED
	WALL SCONCE
	LIGHT FIXTURE - FLUORESCENT
	UNDER CABINET LIGHT
	EXHAUST FAN/LIGHT FIXTURE
	TELEVISION OUTLET
	UNIVERSAL OUTLET
	HDMI JACK
	TELEPHONE OUTLET
	DUPLEX CONVENIENCE RECEPTACLE VISUAL SAFETY REQUIRED
	DUPLEX CONVENIENCE RECEPTACLE DEDICATED
	GROUND FAULT CIRCUIT INTERRUPT DUPLEX RECEPTACLE
	DUPLEX CONVENIENCE RECEPTACLE WEATHER PROOF
	LOW VOLTAGE RECEPTACLE
	220 VOLT RECEPTACLE
	SWITCH - SINGLE POLE
	SWITCH - THREE WAY
	SWITCH - FOUR WAY
	SWITCH - DIMMER
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN
	CONTINUOUS RUNNING FAN
	CEILING FAN
	THERMOSTAT
	GARAGE DOOR OPENER
	FLOOD LIGHT
	SPOT LIGHT



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

Electrical Plan

Plan: Crownfield Basement
 Date : 7.19.2023
 Drawn: JRC
 Scale : As Noted
 Revised: 8.1.2023
 Sheet : E3 of 8



Renaissance - TR-2227

Proposed Residence:

Market Home
 2868 Pine Leaf Court
 Enclave at Twin Run Lot 2227

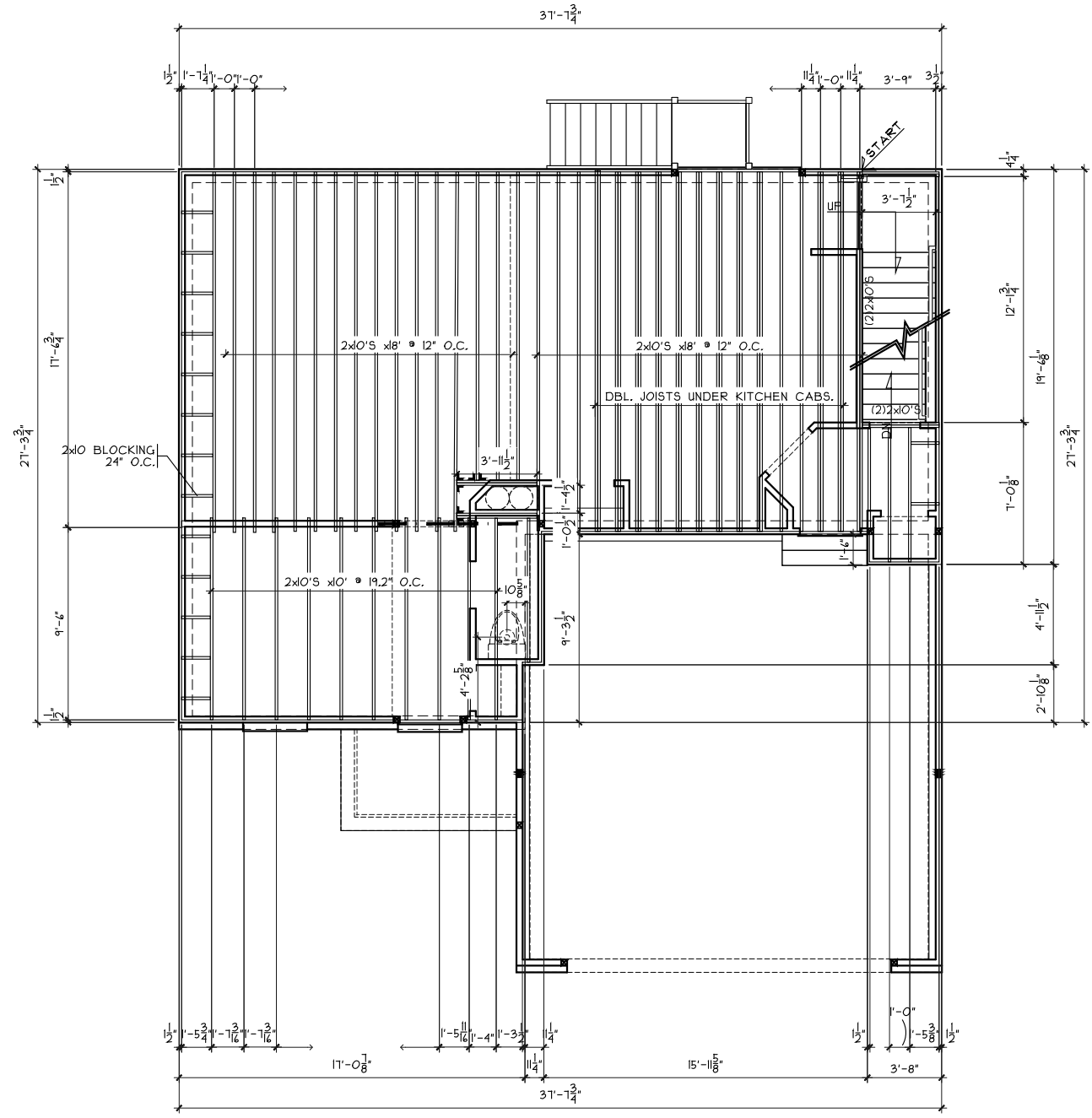
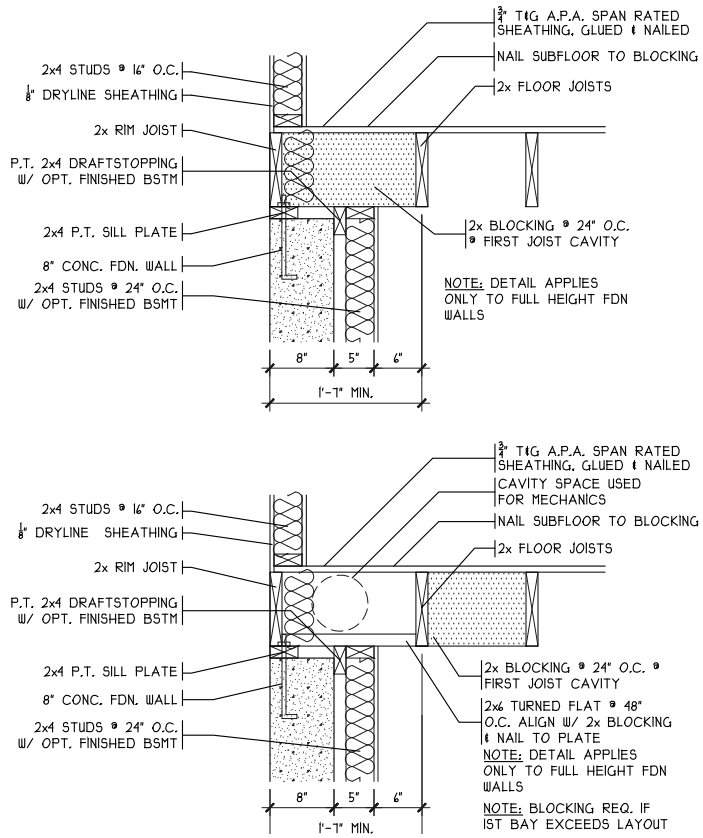
Crownfield Bsm - D5 - Vinyl

Issue Dates

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Hamilton
 Butler County

E3



Floor Joist Layout

Plan: Crownfield Basement
 Date: 7.19.2023
 Drawn: JRK
 Scale: As Noted
 Revised: 8.1.2023
 Sheet: S1 of 8



Renaissance - TR-2227

Proposed Residence:

Market Home
 2868 Pine Leaf Court
 Enclave at Twin Run Lot 2227

Crownfield Bsmt - D5 - Vinyl

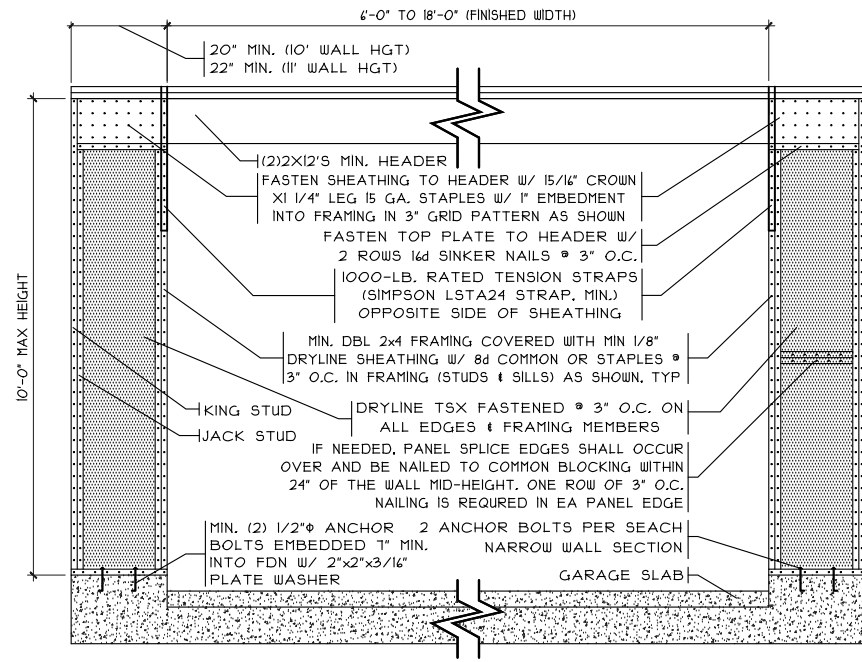
Issue Dates

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Review	

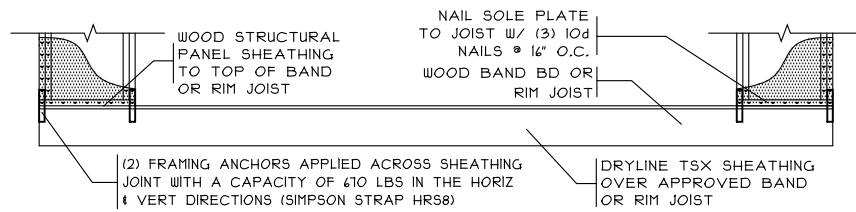
Hamilton
 Butler County

S1



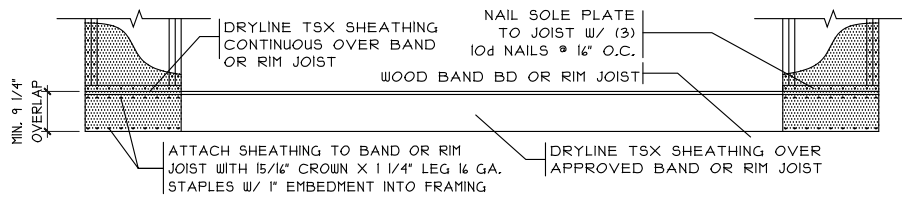
WALL OVER POURED FOUNDATION

SCALE: 1/4" = 1'-0"



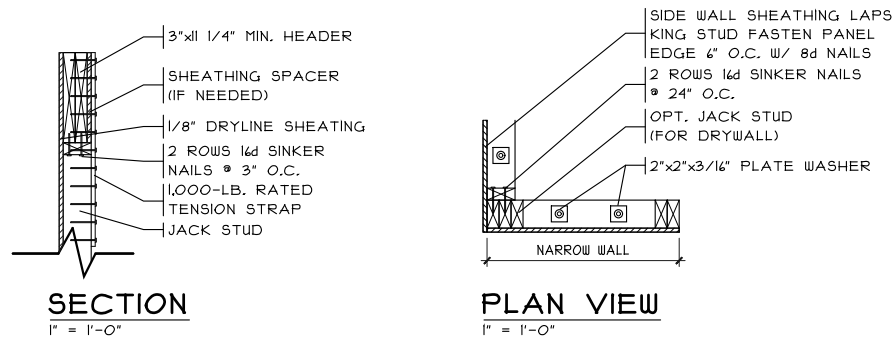
WALL OVER RAISED WOOD FLOOR

SCALE: 1/4" = 1'-0" FRAMING ANCHOR OPTION



WALL OVER RAISED WOOD FLOOR

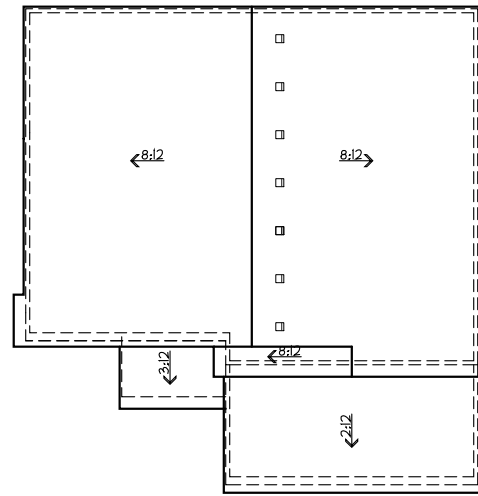
SCALE: 1/4" = 1'-0" OVERLAP OPTION



METHOD CS-PF CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

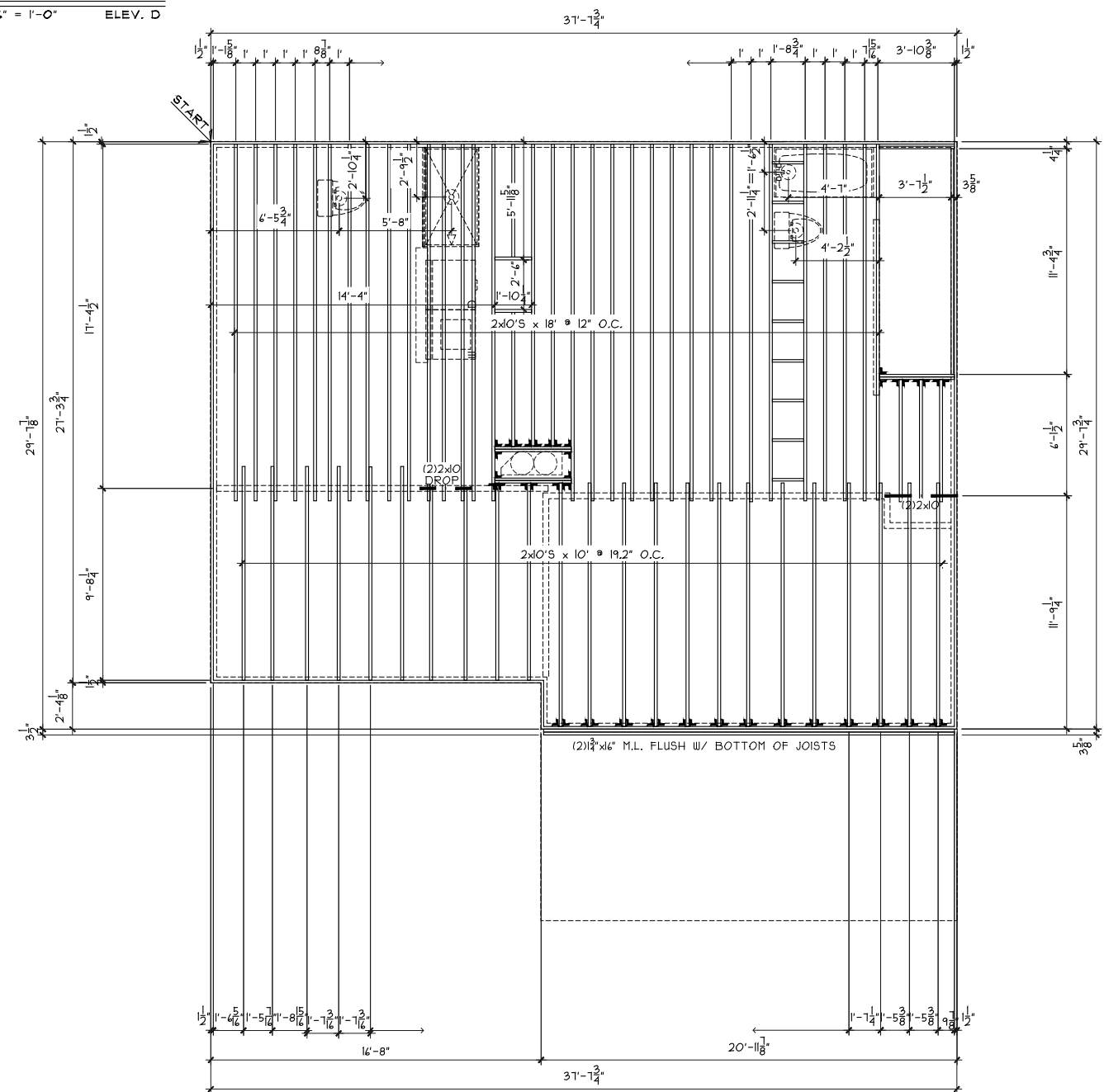
SCALE PER DETAIL

POURED WALL FDN



ROOF PLAN

SCALE: 1/16" = 1'-0" ELEV. D



SECOND FLOOR JOIST LAYOUT

SCALE: 1/8" = 1'-0"

Floor Joist Layout

Plan: Crownfield Basement
 Date: 7.19.2023
 Drawn: JRC
 Scale: As Noted
 Revised: 8.1.2023
 Sheet: 52 of 8

Renaissance - TR-2227

Proposed Residence:

Market Home
 2868 Pine Leaf Court
 Enclave at Twin Run Lot 2227

Crownfield Bsm - D5 - Vinyl

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Issue Dates

Review	Issue Dates

Hamilton
 Butler County

S2