

TR 2240

2145 Pine Valley Drive

Hamilton, OH 45013

2 Story Basement

3pc rough unfinished basement

Vent kitchen sink

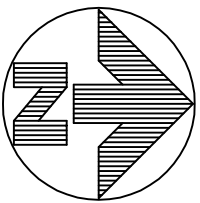
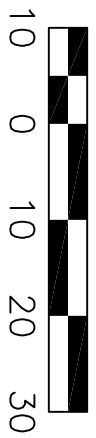
2 hose bibs - no valves required

ice maker

1 tub

1 shower

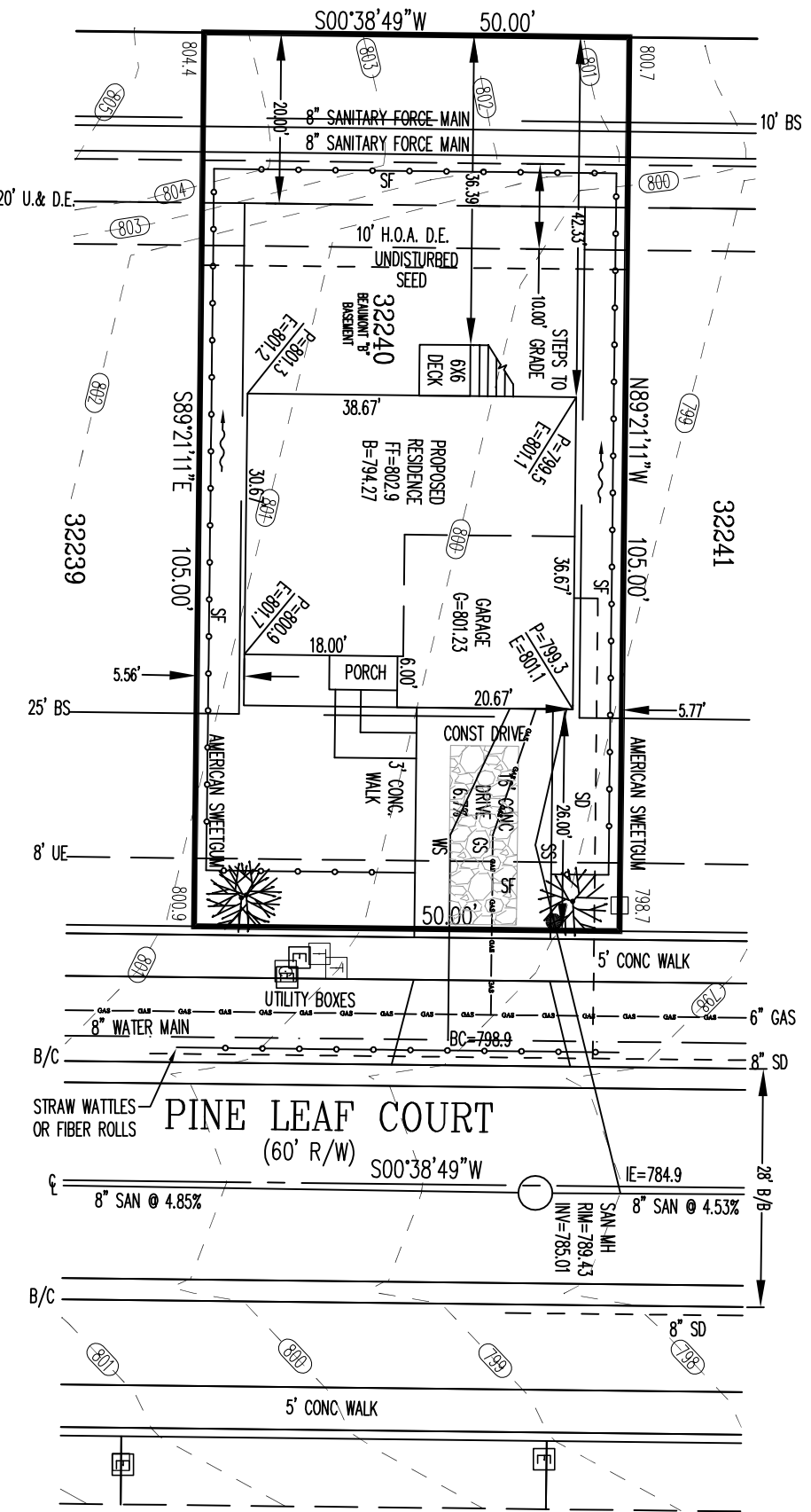
Gas Furnace



PROPOSED RESIDENCE  
2839 PINE LEAF COURT

LOT PLAN

LOT 32240 (5,250 SF) 0.121 ACRES  
ENCLAVE @ TWIN RUN, SECTION THREE  
CITY OF HAMILTON  
BUTLER COUNTY, OHIO  
FOR: CRISTO HOMES



TOPOGRAPHY FROM (CONSTRUCTION PLANS) OR (FIELD LOCATIONS), DATED 06/21/18 MAY NOT REFLECT CURRENT CONDITIONS.

FOR PERMITTING PURPOSES ONLY.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADHERING TO ANY (STATE, CITY, COUNTY, TOWNSHIP, ETC.) ENGINEERING, CONSTRUCTION, MATERIAL AND SAFETY CODES, SPECIFICATION AND/OR REQUIREMENTS.

INFORMATION FROM CONSTRUCTION DRAWINGS, UTILITIES SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

BUILDER IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

BUILDER IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND /AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT. SWALE ARROWS AND DRAINAGE ROUTES ARE SUBJECT TO CHANGE DEPENDING ON GRADING AND SITE CONDITIONS.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. BUILDER IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING, INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

CITY OF HAMILTON NOTES:

CONTRACTOR TO "LEAVE ROUGH GRADE BEHIND CURB IN TREE LAWN 3 INCHES BELOW TOP OF CURB TO HELP STOP SEDIMENT FROM FLOWING INTO THE STREET AND CURB INLETS. FINAL GRADE BEHIND CURB TO BE ESTABLISHED JUST PRIOR TO SEEDING."

\*CONST. ENTRANCE-AS SHOWN HEREON FOR GRAPHICAL PURPOSES ONLY. \*GRAVEL OR CRUSHED STONE CONSTRUCTION ENTRANCE UNDERLAIN WITH GEOTEXTILE\* DIMENSIONS AND MATERIAL TO BE DETERMINED BY CITY.

AN OPERATOR QUALIFIED (OQ) CONTRACTOR MUST INSTALL THE GAS SERVICE FROM THE CURB BOX TO THE METER

THE GAS SERVICE IS TO BE DIRECT BURY

GAS CURB VALVES CANNOT BE LOCATED IN THE SIDEWALK OR DRIVEWAY

WATER SERVICE SHALL BE TYPE K COPPER FROM THE WATER MAIN TO THE METER. PLASTIC PIPE IS NOT RECOMMENDED ANYWHERE ON THIS PROJECT TO TO THE CITY'S DISINFECTION PROCESS

THE CONTRACTOR MUST FOLLOW THE CITY OF HAMILTON WATER MAIN AND WATER SERVICE TESTING PROCEDURES.

ADD A CLEANOUT AT THE R/W OR EASEMENT DNA ANY BEND IN THE LATERAL. USE A COUNTERSUNK HEAD WHEN A RAISED HEAD IS CONSIDERED A TRIP HAZARD. CLEANOUTS ARE NOT TO BE LOCATED IN THE SIDEWALK OR DRIVEWAY.

THE MINIMUM VERTICAL DIFFERENCE BETWEEN THE FINISHED FLOOR ELEVATION OF THE LOWEST LEVEL AND THE CROWN OF THE SANITARY SEWER MAIN IS THREE (3) FOOT

IF IT IS NECESSARY TO TAP THE SANITARY SEWER MAIN A FACTORY WVE MUST BE USED.



YARD TREE  
(SEE APPROVED TREE LIST AND SIZE REQUIREMENTS IN CHAPTER 915 OF THE CITY OF HAMILTON CODIFIED ORDINANCES)

QUANTITIES

TOTAL LOT AREA	5250	sq. ft.
CITY WALK	171	sq. ft.
HOUSE WALK	44	sq. ft.
DRIVE	512	sq. ft.
APRON	185	sq. ft.
PATIO AND PORCHES	32	sq. ft.
DECK	36	sq. ft.
SEEDING AREA	2368	sq. ft.
UNDISTURBED AREA	1366	sq. ft.



REVISIONS:

- 1.
- 2.
- 3.
- 4.

PROJECT: TWINRUN SHEET  
DRAWING: 231698PB 1 OF 1

2 WORKING DAYS  
BEFORE YOU DIG



CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

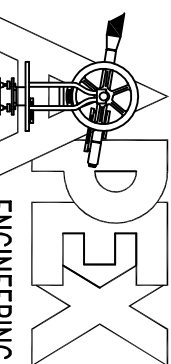
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DATE: 09/15/23

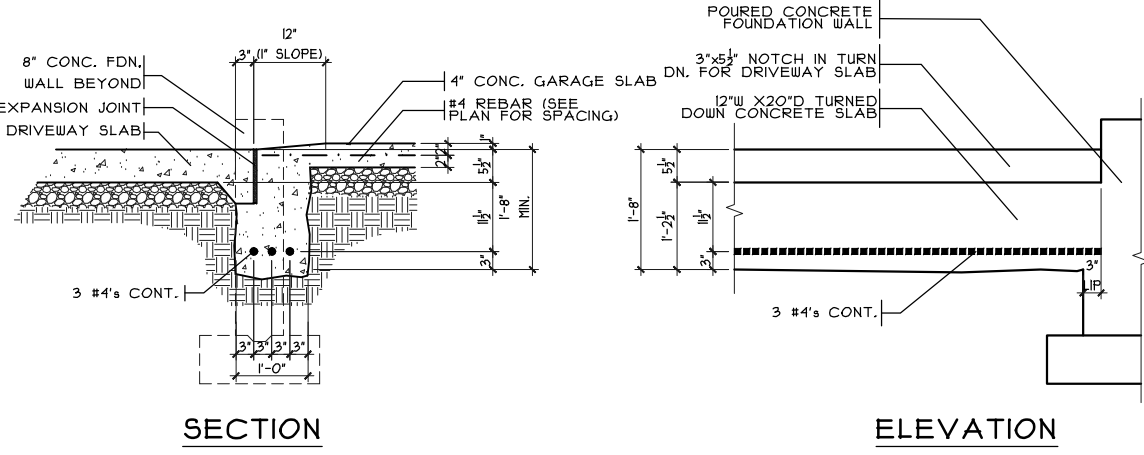
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DESIGNED:

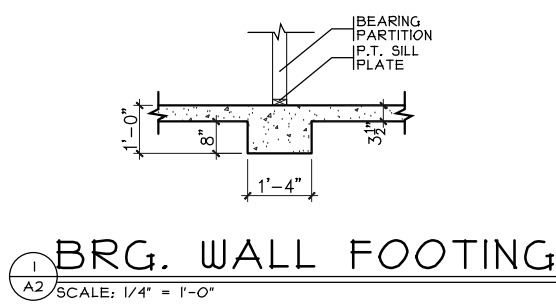
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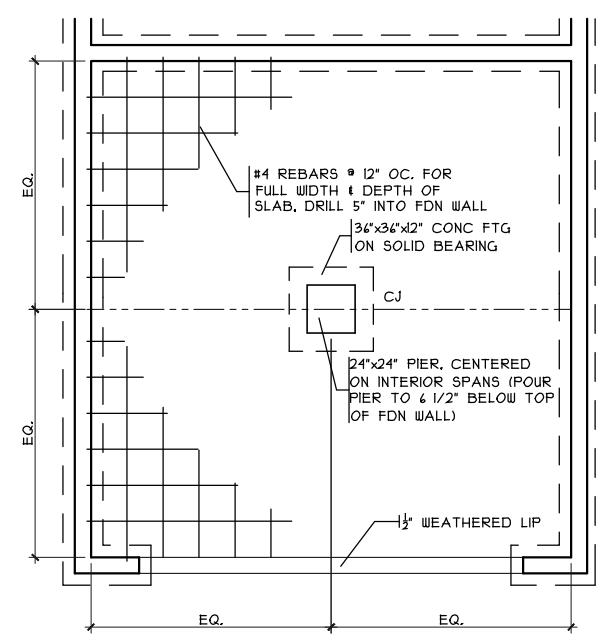
ENGINEERING & SURVEYING, INC.  
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202



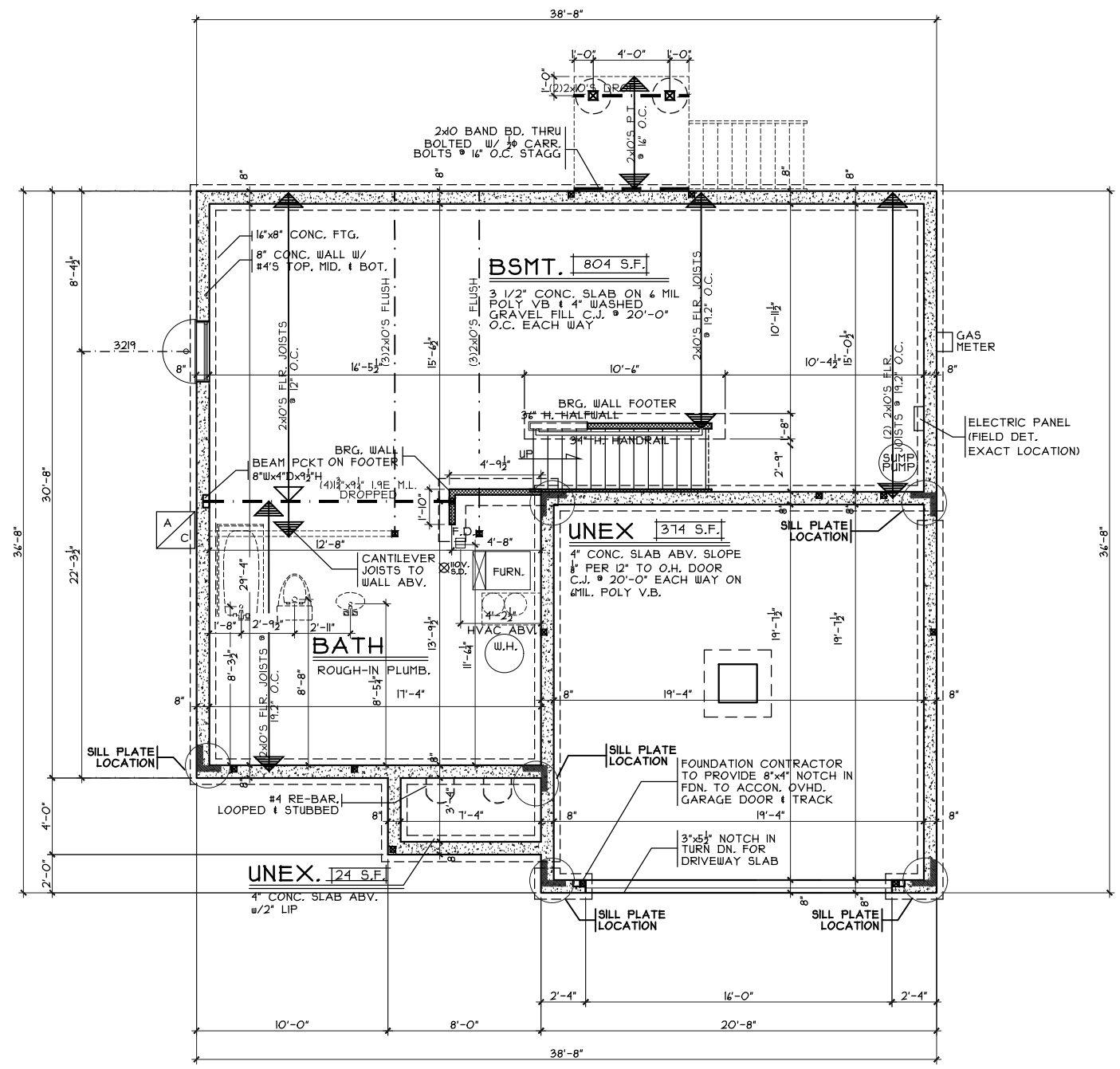
**GARAGE DOOR GRADE BM**  
SCALE: 3/8" = 1'-0"



**BRG. WALL FOOTING**  
SCALE: 1/4" = 1'-0"



**GRADE BM DETAIL**  
SCALE: 1/8" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

**Foundation Plan**  
Plan: Beaumont Basement  
Date: 8/16/23  
Drawn: TB  
Scale: As Noted  
Revised: 9/21/23  
Sheet: 3 of 8

**Proposed Residence:**  
SPEC  
2839 Pine Leaf Court  
Enclave at Twin Run

**CRISTO HOMES**  
7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.755.0570 www.cristohomes.com

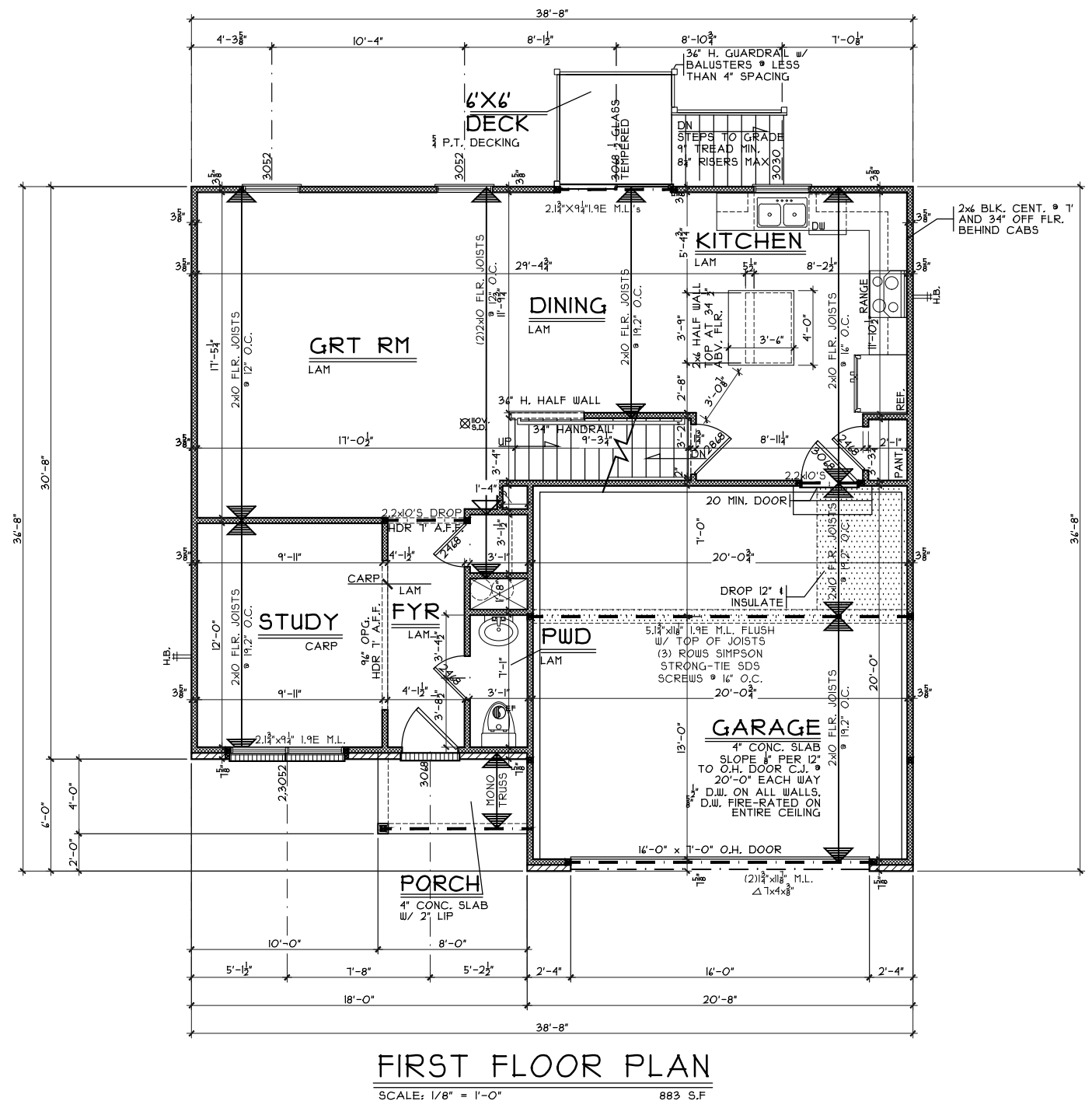
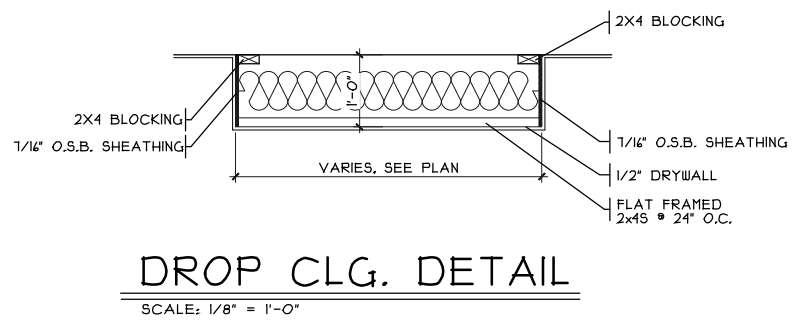
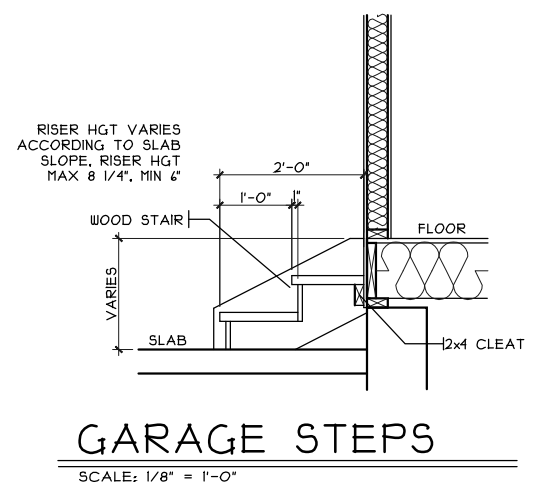
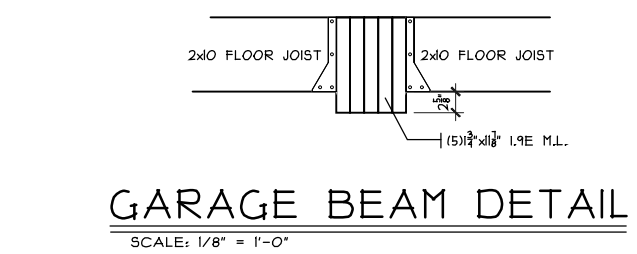
**Rennaissance - TR-2240**  
Beaumont - B5 - Vinyl

Issue Dates  
Review

Hamilton  
Butler

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**A2**



**First Floor Plan**  
Plan: Beaumont Basement  
Date: 8/16/23  
Drawn: TB  
Scale: As Noted  
Revised: 9/21/23  
Sheet: 4 of 8

**Proposed Residence:**  
SPEC  
2839 Pine Leaf Court  
Enclave at Twin Run

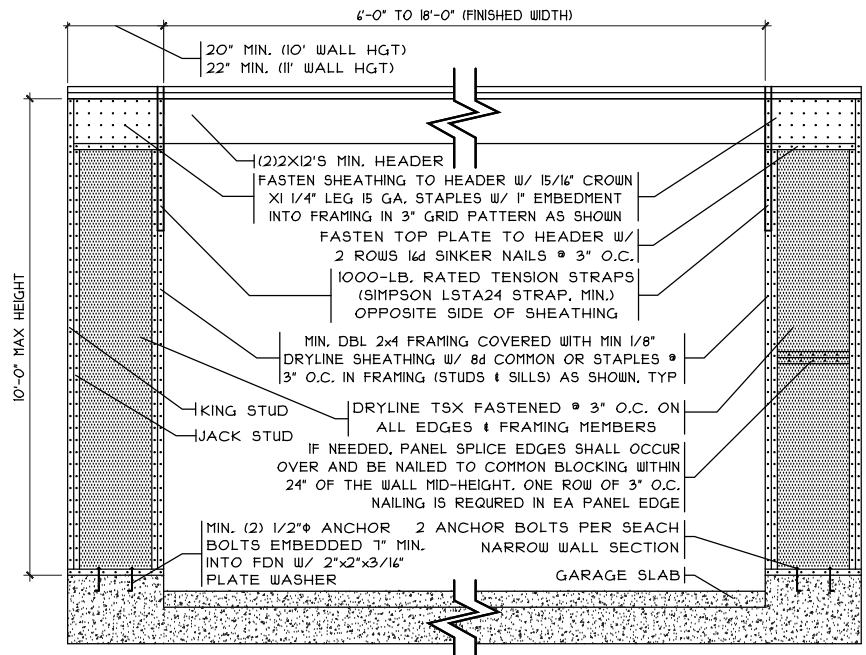
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7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.755.0570 www.cristohomes.com

**Beaumont - B5 - Vinyl**  
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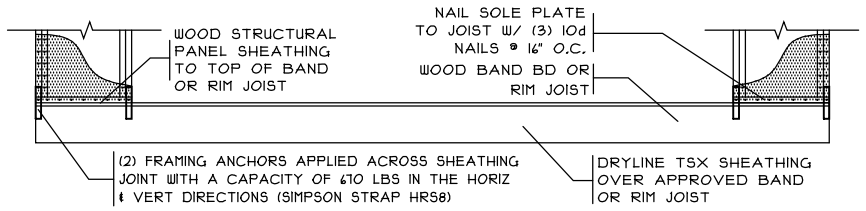
**Issue Dates**  
Review

**Hamilton Butler**

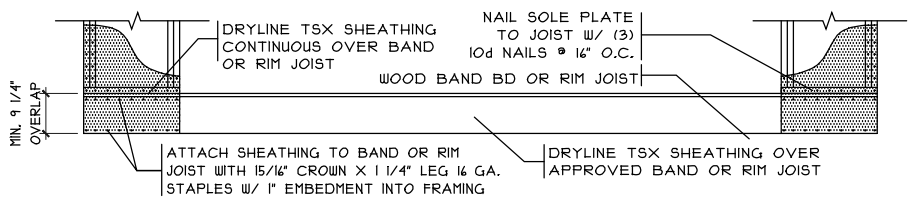
A3



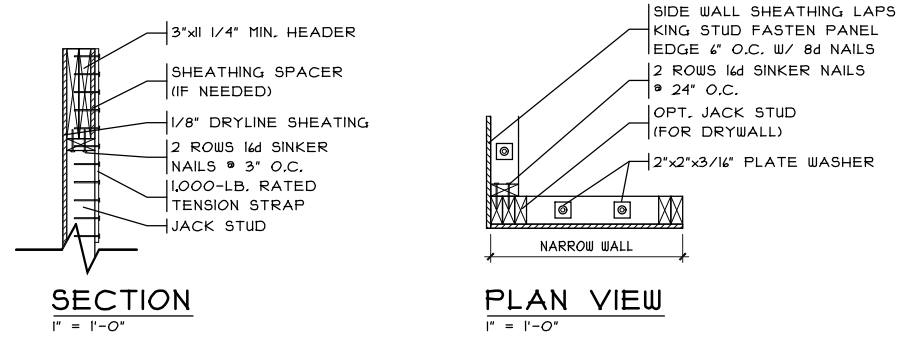
**WALL OVER POURED FOUNDATION**  
 SCALE: 1/4" = 1'-0"



**WALL OVER RAISED WOOD FLOOR**  
 SCALE: 1/4" = 1'-0" FRAMING ANCHOR OPTION

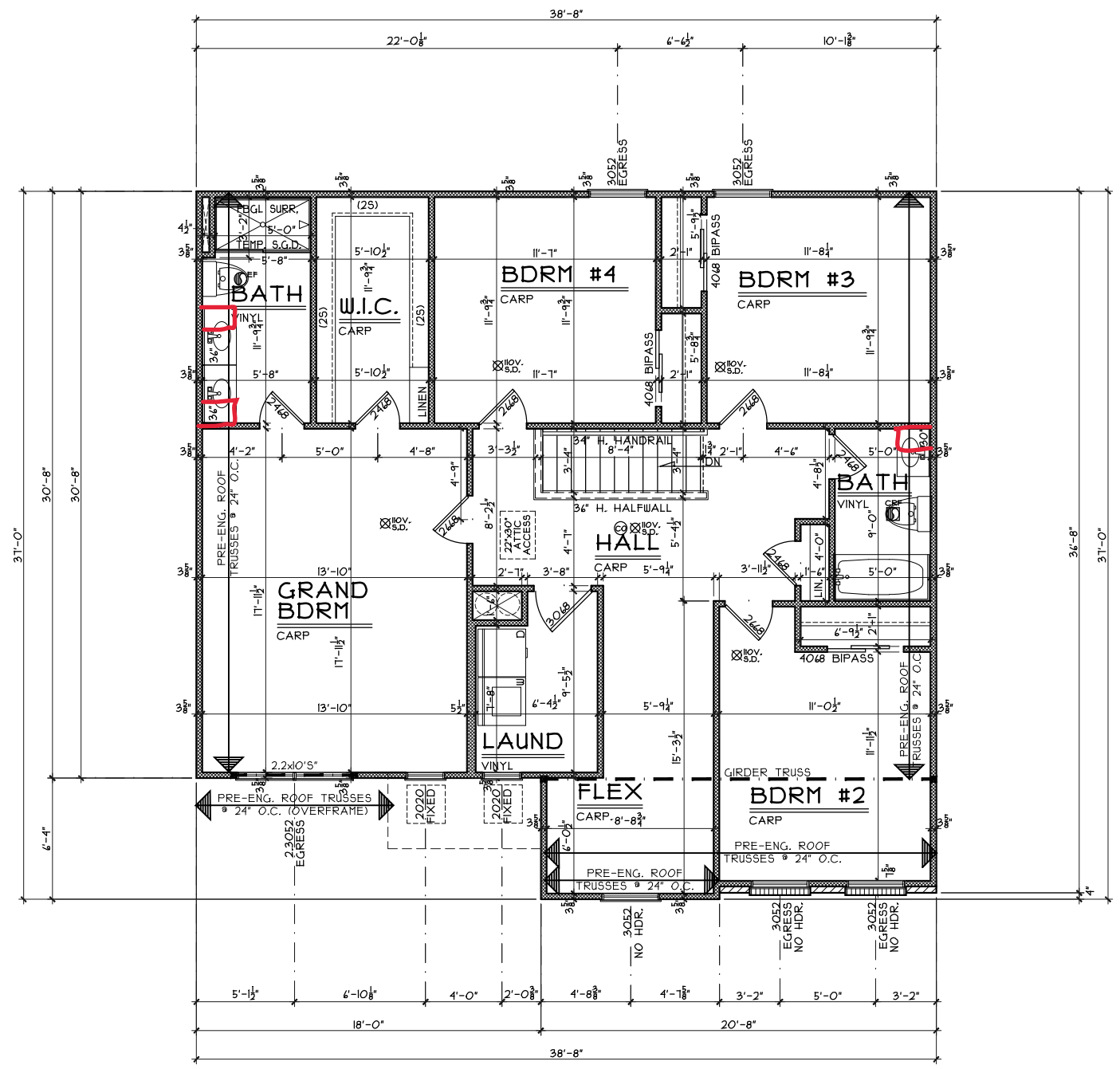


**WALL OVER RAISED WOOD FLOOR**  
 SCALE: 1/4" = 1'-0" OVERLAP OPTION



**METHOD CS-PF CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION**

SCALE PER DETAIL POURED WALL FDN



**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 1213 S.F.

Second Floor Plan  
 Plan: Beaumont Basement  
 Date: 8/16/23  
 Drawn: TB  
 Scale: As Noted  
 Revised: 9/21/23  
 Sheet: 5 of 8

Renaissance - TR-2240  
 Proposed Residence:  
 SPEC  
 2839 Pine Leaf Court  
 Enclave at Twin Run

Beaumont - B5 - Vinyl  
 Issue Dates  
 Review

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Hamilton  
 Butler

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**A4**