

WV 65

1419 Edinburg Court

FRANKLIN, OH 45005

2 story basement

2 pc rough

2 hose bibs - valves required

1 tub

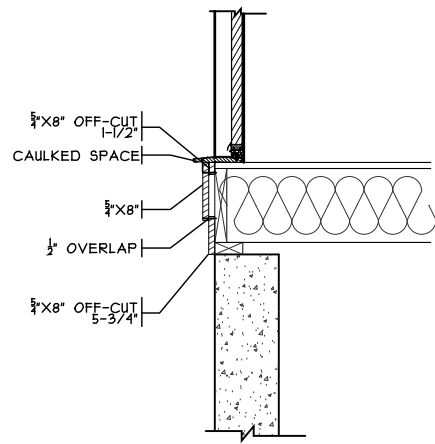
1 shower

softner bypass

AA on kit

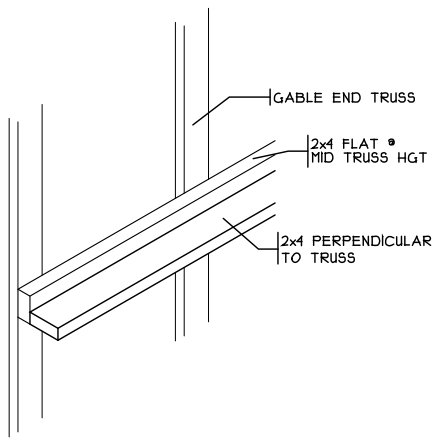
Well Tank - No expansion tank , no pressure valve , no dual check !!

Gas Furnace



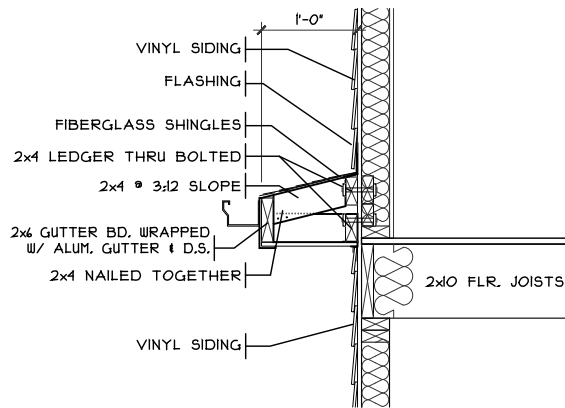
KICK PLATE DETAIL

SCALE: 1/2" = 1'-0"



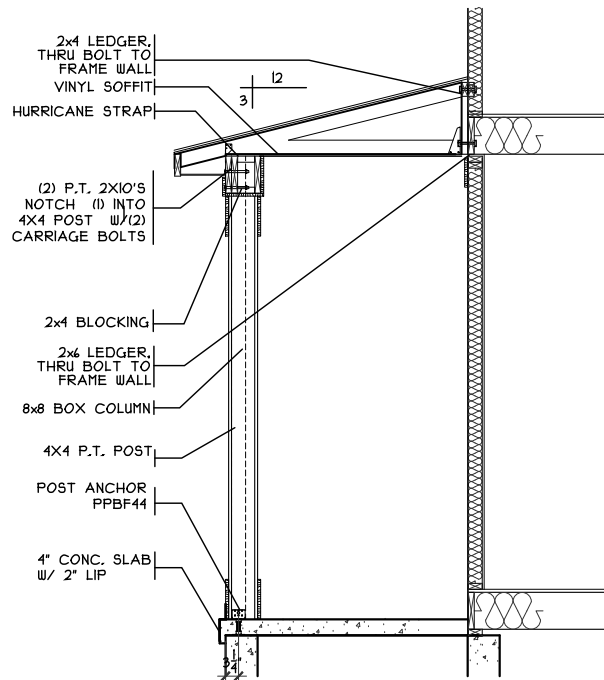
STIFF BACK DETAIL

SCALE: 3/8" = 1'-0"



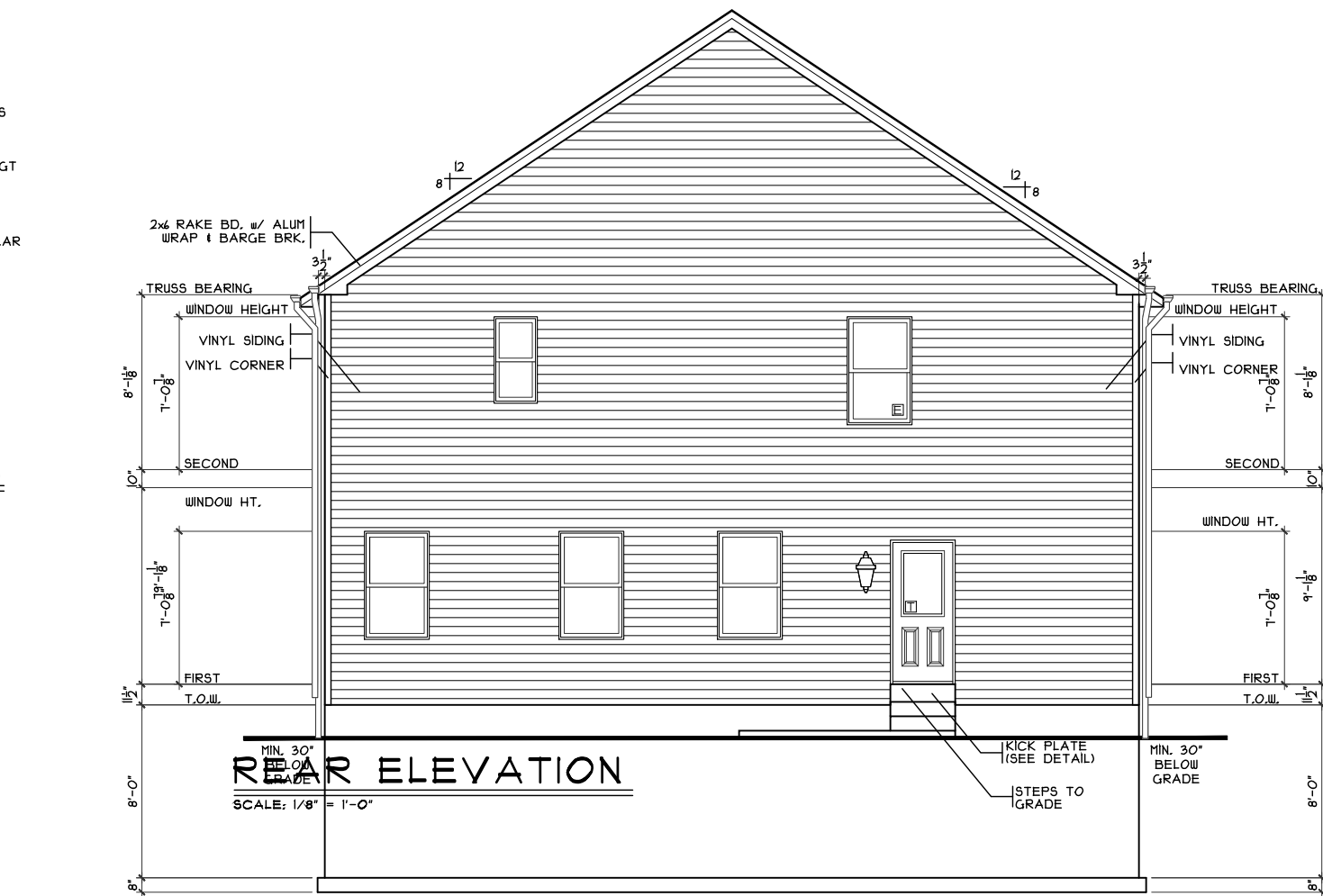
FRONT ROOF DETAIL

SCALE: $1/2" = 1'-0"$



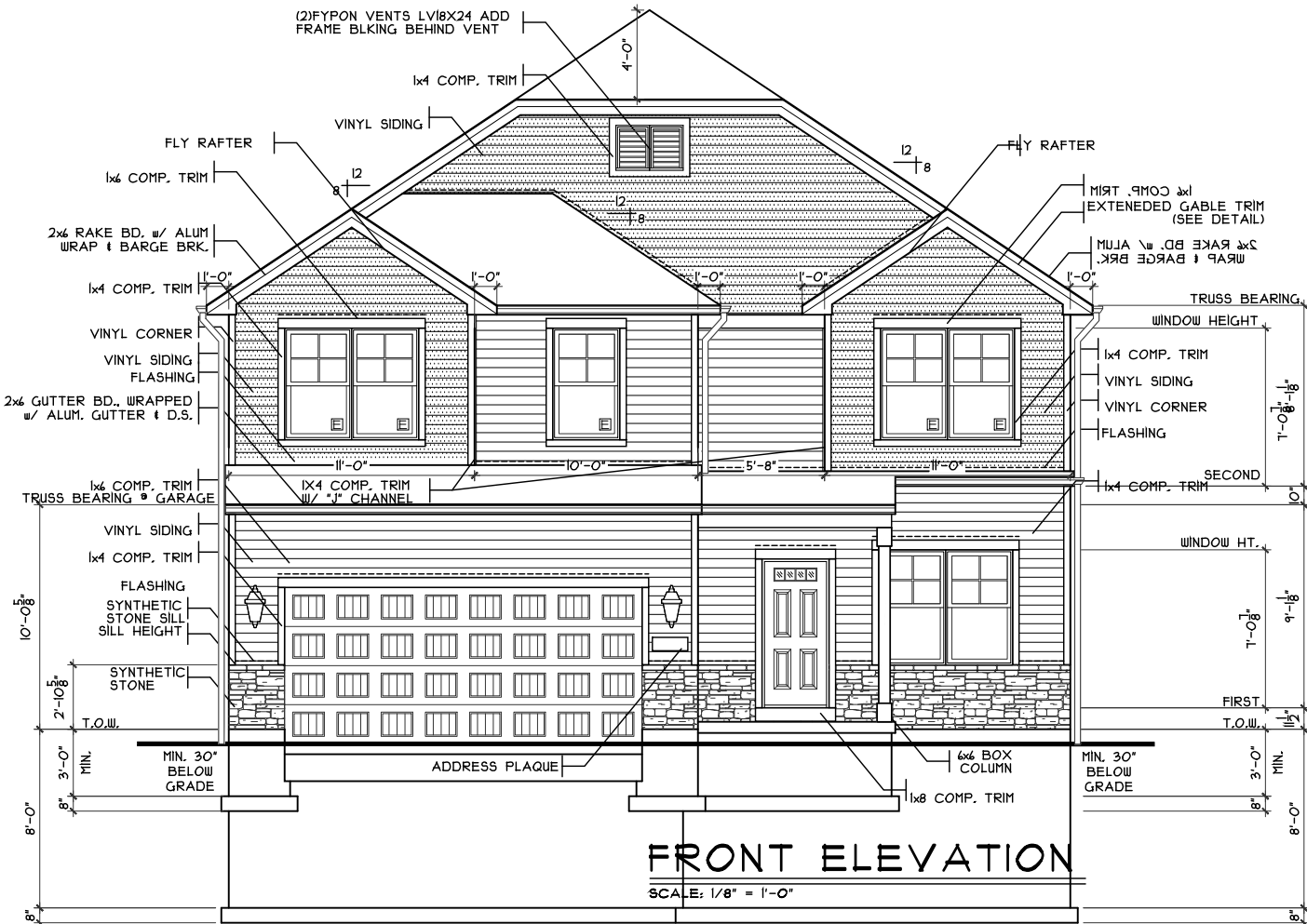
FRONT PORCH DETAIL

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: $1/8" = 1'-0"$



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

[illegible]

NOTE:
PLANS PRINTED ON 24x36 SHEETS TO
BE SCALABLE AT FULL SCALE. 1/4" =
1'-0"
PLANS PRINTED ON 11x17 SHEETS TO BE
SCALABLE AT HALF SCALE. 1/8" = 1'-0"

Silverstone Bsmt - B1 - Vinyl	Issue Dates
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Stone Bsmnt - B1 - Vinyl

Silver

Carlisle

Warren

PLAN INFO.	
251884B4	
4	BDRMS
2.5	BATH
4	CAR GARAGE
4'	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	1886
FIRST	849
SECOND	1037
LOWER (SLAB)	154
GAR.	405

KEY PLAN

37'-8"

39'-4"

Royal - WV65
Proposed Residence:
SPEC
1419 Edinburg court
Waterbury Lot - 65

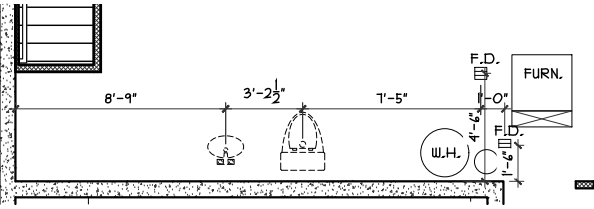


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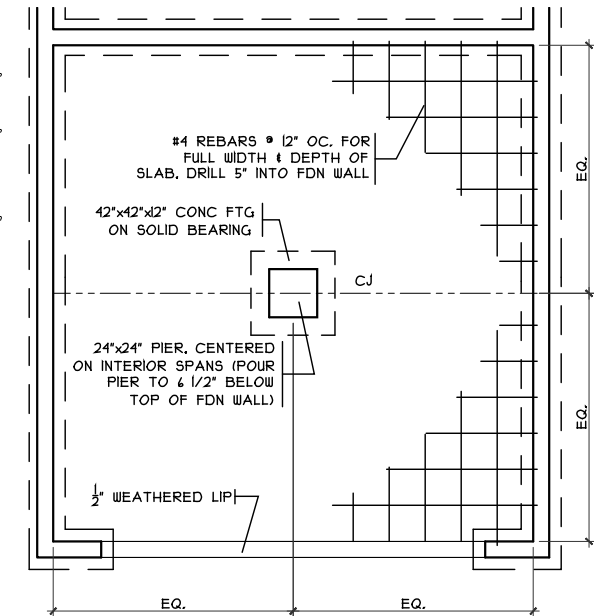
Plan: Silverstone Basement
Date : 3.19.2025
Drawn: DS
Scale : As Noted
Revised:

Front & Rear Elevation
Plan: Silverstone Basement
Date : 3.19.2025
Drawn: DS
Scale : As Noted
Revised:

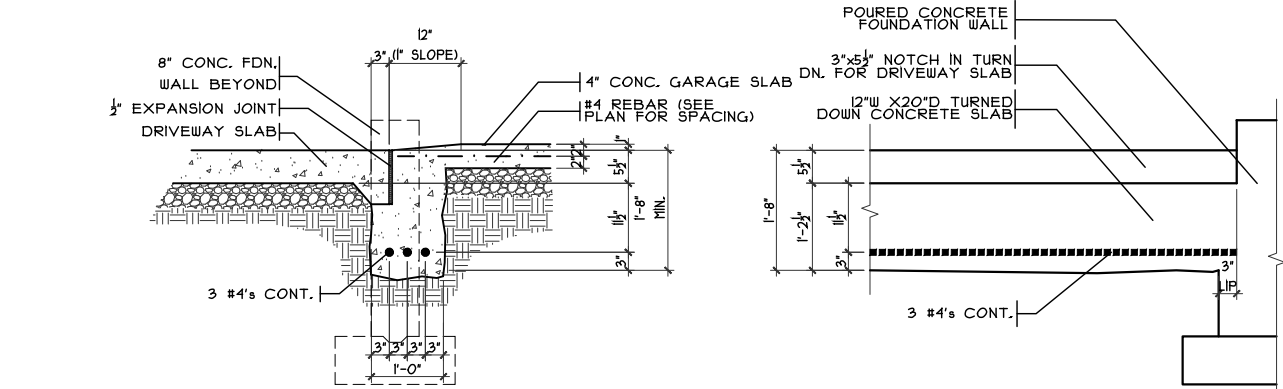
A1



DIMS TO FDN PLUMB.
SCALE: 1/8" = 1'-0"



GRADE BM DETAIL
SCALE: 1/8" = 1'-0"

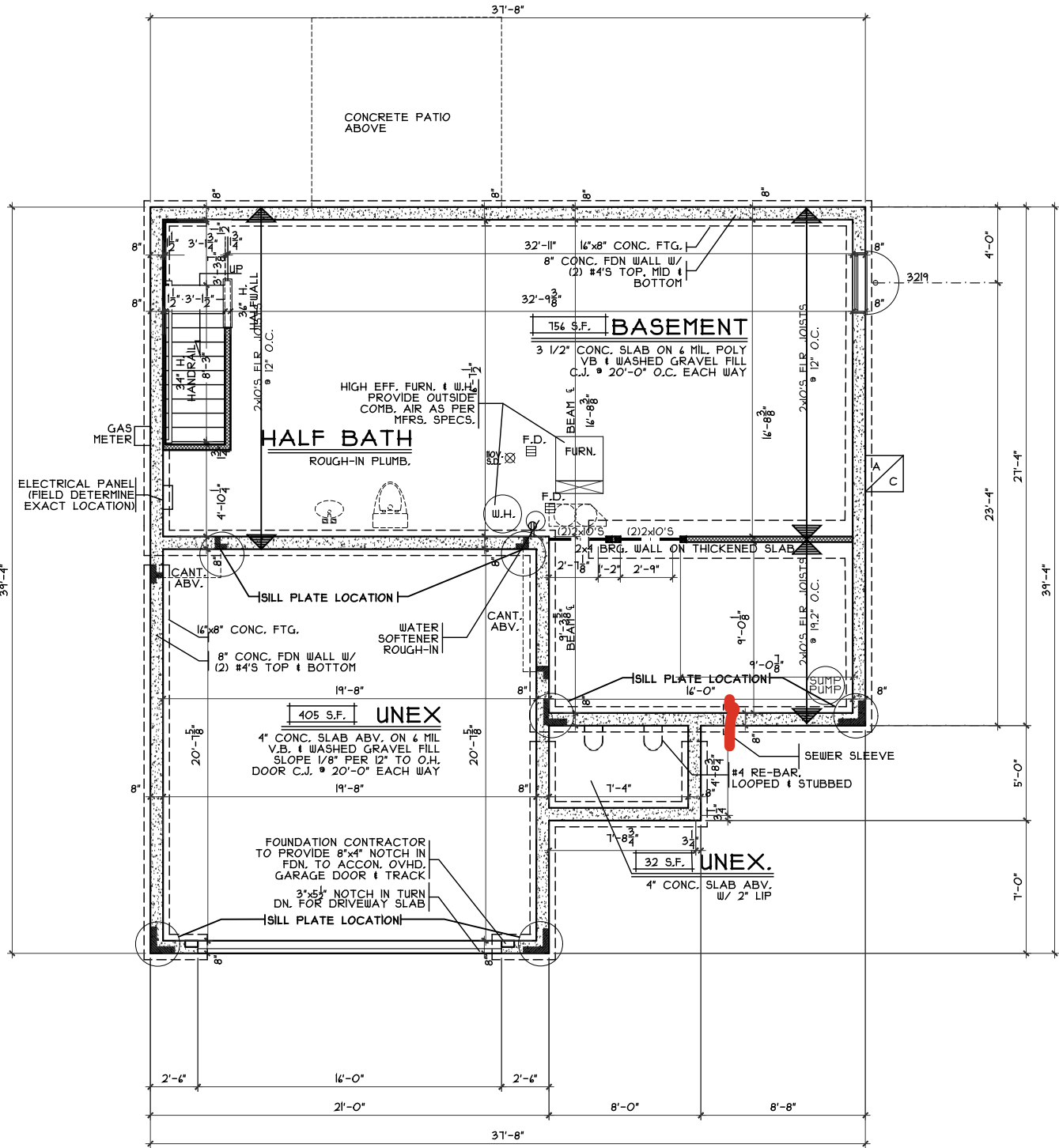


SECTION

ELEVATION

GARAGE DOOR GRADE BM

SCALE: 3/8" = 1'-0"



NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1" AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4".

FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

Foundation Plan

Plan: Silverstone Basement
Date : 3.19.2025
Drawn: DS
Scale : As Noted
Revised:
Sheet : 3 of 8

Royal - WV65

Proposed Residence:

SPEC
1419 Edinburg court
Waterbury Lot - 65

Silverstone Bsm - B1 -

Vinyl

Issue Dates

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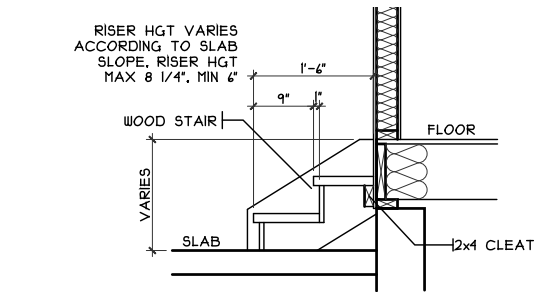
Review

Carlisle
Warren

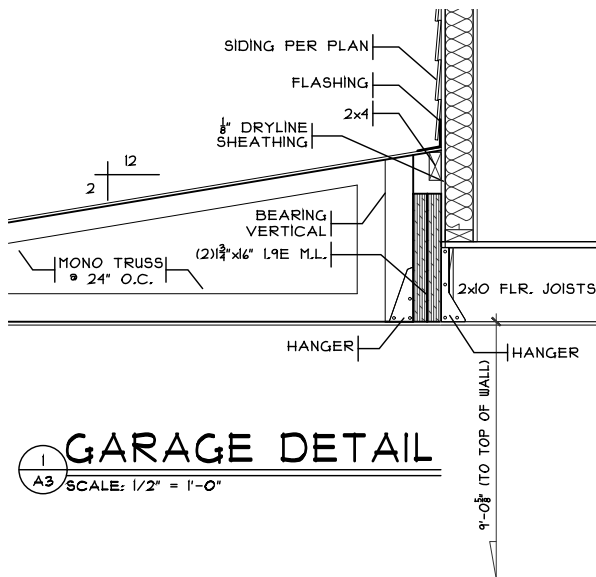


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A2

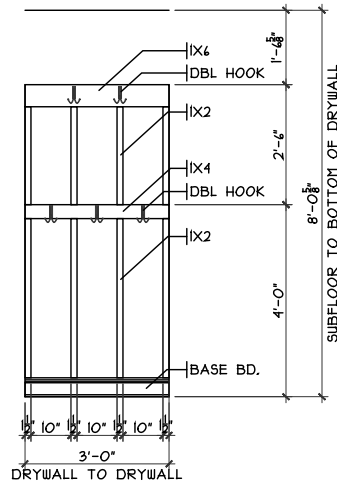


GARAGE STAIRS DETAIL



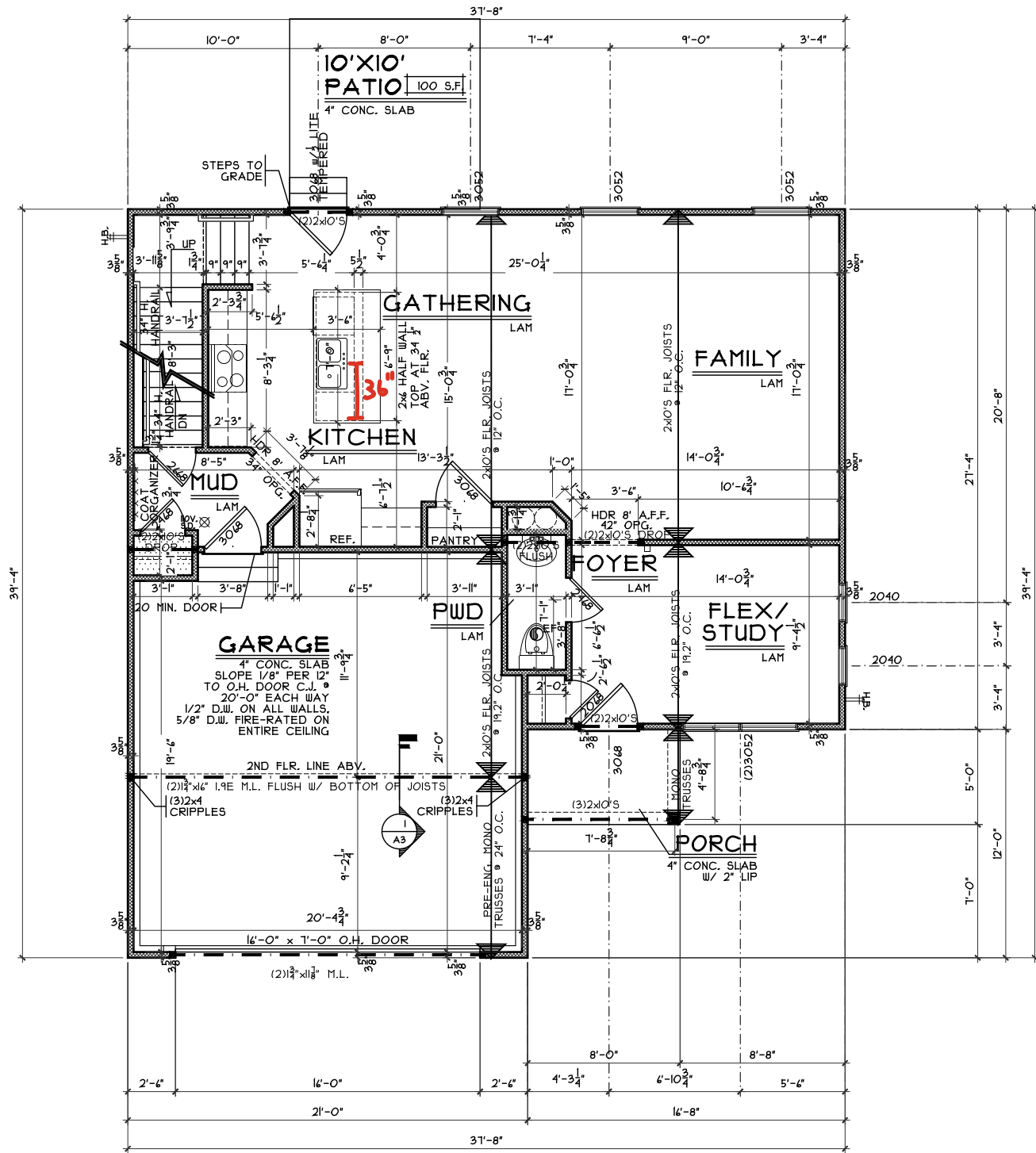
GARAGE DETAIL

A3 SCALE: 1/2" = 1'-0"



COAT ORGANIZER

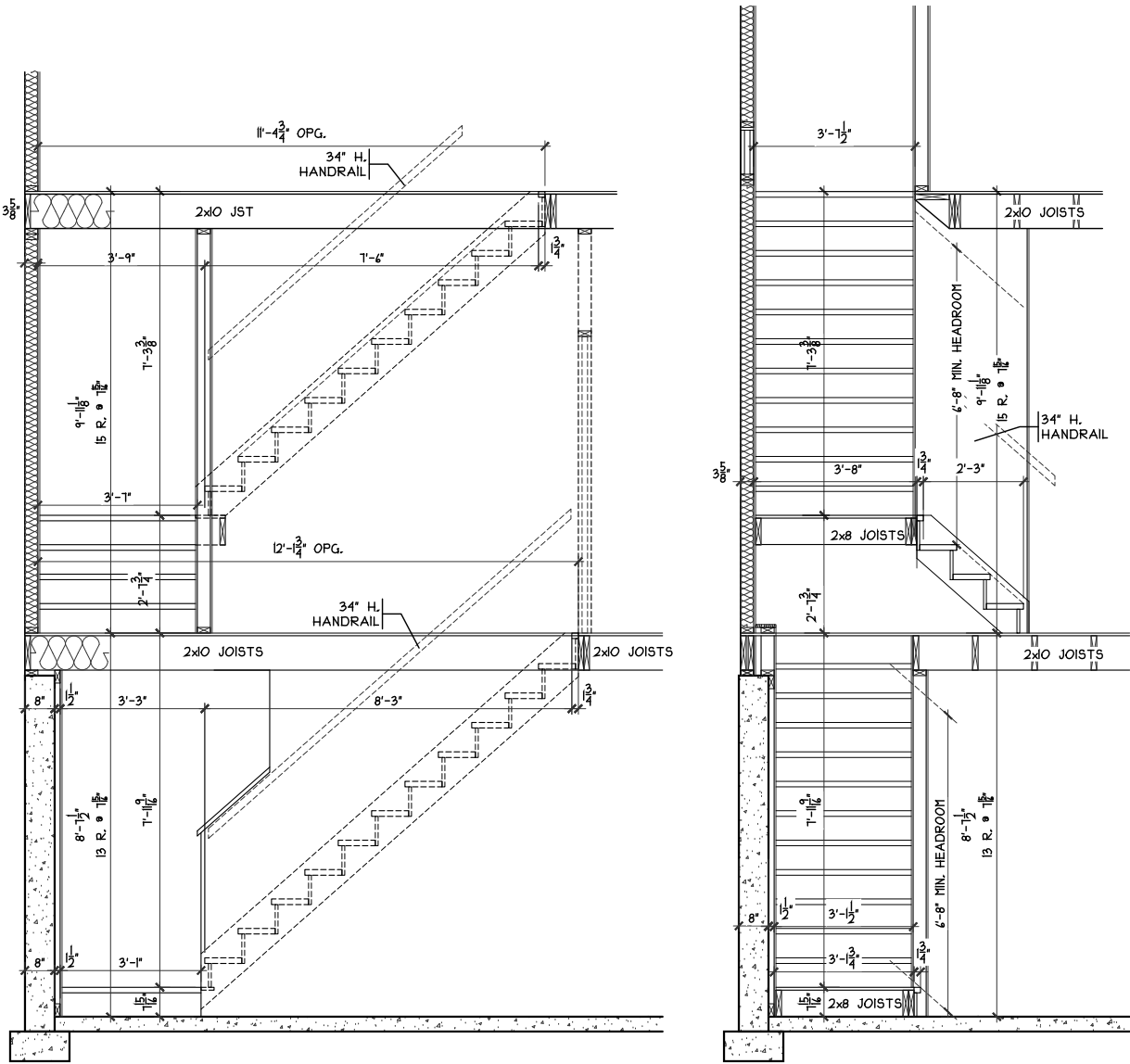
SCALE: 1/8" = 1'-0"



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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0" 849 SQ. FT.



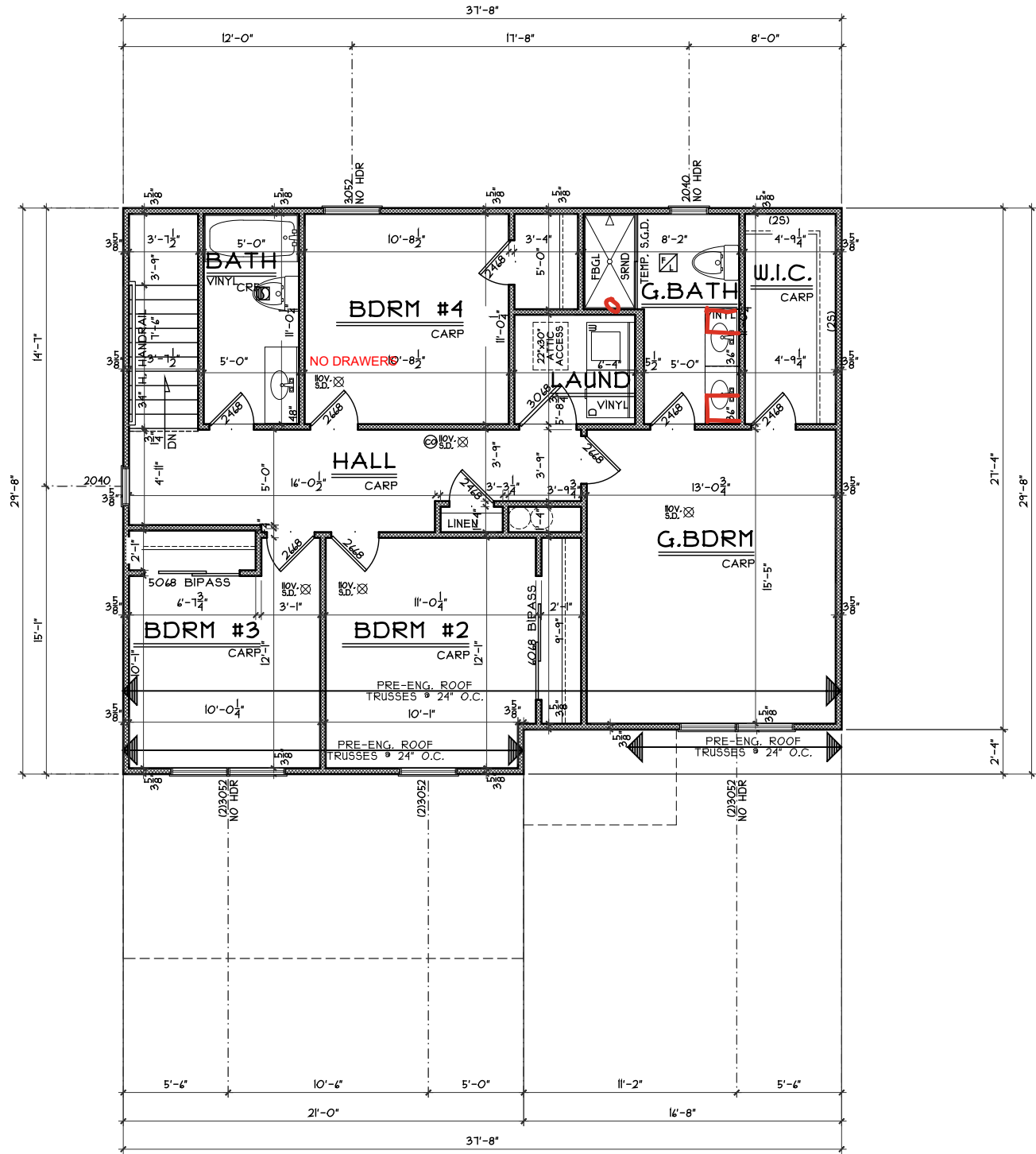
STAIR SECTION

SCALE: 1/4" = 1'-0"

NOTE: ALL EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION- MASONRY VENEER TO OVERHANG FOUNDATION AS REQ'D. TO ACCOMMODATE 1' AIRSPACE AT SHEATHING. MAXIMUM OVERHANG TO BE 3/4".

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0" 1031 SQ. FT.



Second Floor Plan

Plan: Silverstone Basement
Date: 3.19.2025
Drawn: DS
Scale: As Noted
Revised:
Sheet: 5 of 8

Royal - WV65

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SPEC
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Silverstone Bsm1 - B1 -

Vinyl

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Carlise
Warren

Review