

MARKET HOME  
1601 ASHBURY COURT

# PLOT PLAN

LOT 55 (19,891 SF) 0.4566 AC.  
WATERBURY VILLAGE, SECTION 2  
CITY OF CARLISLE  
WARREN COUNTY, OHIO  
FOR: CRISTO HOMES

SETBACKS:  
FRONT YARD=35'  
REAR YARD=30'  
SIDE YARD=10'

C23  
R=15.00'  
L=23.56'

C24  
R=200.00'  
L=46.74'

C25  
R=35.00'  
L=60.30'

C49  
R=225.00'  
L=75.54'



INFORMATION FROM CONSTRUCTION DRAWINGS.  
UTILITIES SHOWN HEREON ARE FOR GRAPHICAL  
PURPOSES ONLY AND MAY NOT REFLECT CURRENT  
SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE  
VERIFICATION OF THE LOCATION AND DEPTH OF  
WATER, SANITARY AND OTHER UTILITY MAINS AND  
SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION  
ELEVATIONS ARE ONLY RECOMMENDATIONS AND  
MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED  
WITH AN "E" FOR EXISTING OR A "P" FOR  
PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE  
FINISH FLOOR GRADE. FINAL FINISH FLOOR  
ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD  
VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR  
TAKES FULL RESPONSIBILITY FOR THE FINISH  
FLOOR ELEVATION.

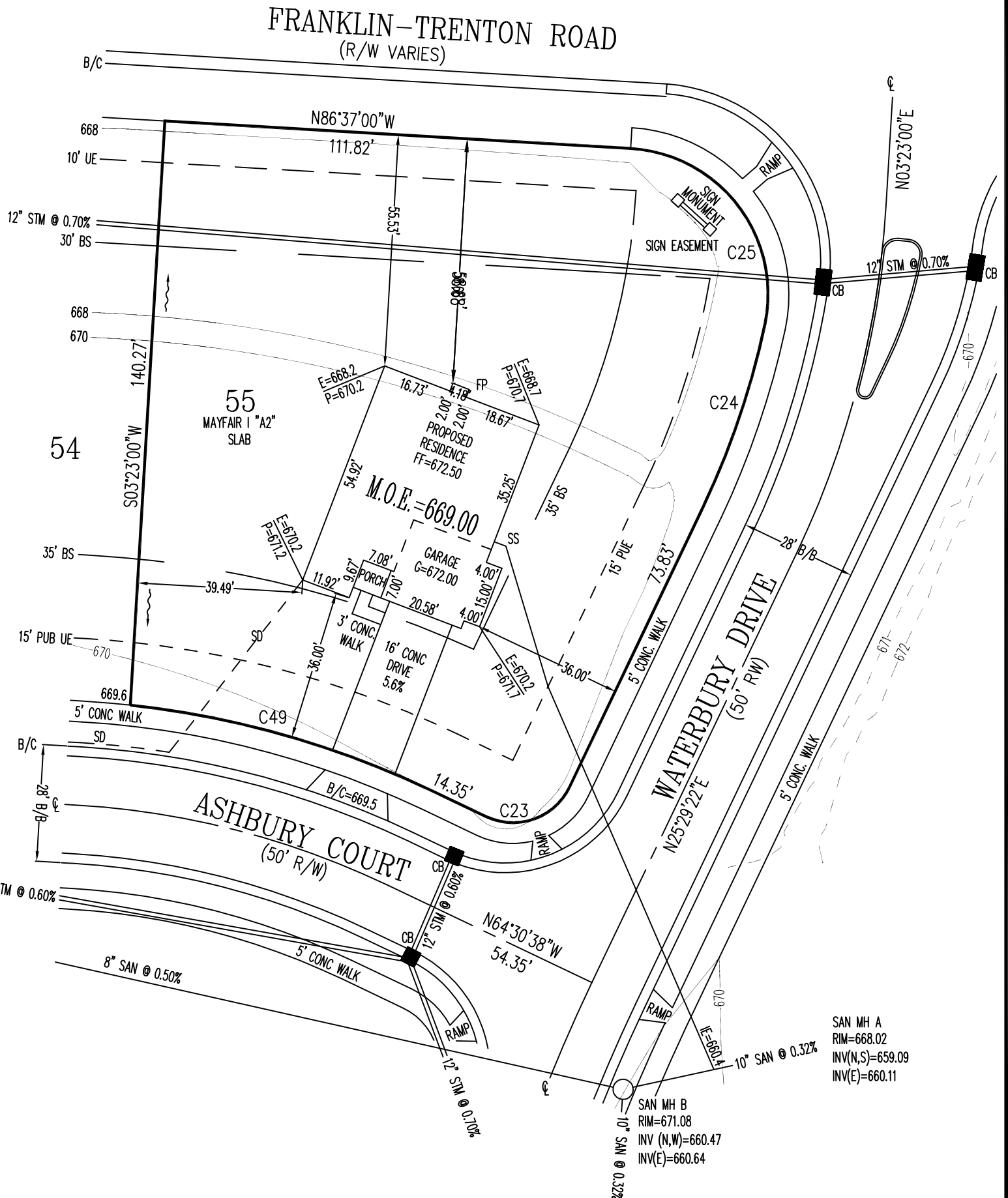
CONTRACTOR IS RESPONSIBLE FOR POSITIVE  
DRAINAGE AROUND/AWAY FROM HOUSES AND  
APPROPRIATE FINAL GRADING TO INSURE PROPER  
DRAINAGE OF THE LOT.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL  
CONDITIONS, GROUND WATER CONDITIONS AND ANY  
POTENTIAL WATER INFILTRATION. CONTRACTOR IS  
RESPONSIBLE FOR ADEQUATE WATERPROOFING  
INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC.  
ADVISES AGAINST HOLDING THE MINIMUM REQUIRED  
DISTANCE ON ANY AND ALL SETBACKS, FRONT,  
REAR, AND SIDES. THE BUILDER ASSUMES ALL  
RESPONSIBILITIES FOR ANY BUILDING  
ENCROACHMENTS THAT MAY OCCUR.

FOR PERMITTING PURPOSES ONLY.

M.O.E.=669.00



SAN MH A  
RIM=668.02  
INV(N,S)=659.09  
INV(E)=660.11

SAN MH B  
RIM=671.08  
INV (N,W)=660.47  
INV(E)=660.64

TOPOGRAPHY FROM  
CONSTRUCTION PLANS.  
  
MAY NOT REFLECT  
CURRENT CONDITIONS.

FEMA FLOOD PANEL  
39165C0012E, ZONE "AE".  
EFFECTIVE: 12/17/2010  
BASE FLOOD ELEV.=667.0

QUANTITIES	
TOTAL LOT AREA	19891 sq. ft.
CITY WALK	1515 sq. ft.
HOUSE WALK	31 sq. ft.
DRIVE	691 sq. ft.
APRON	112 sq. ft.
PATIO AND PORCHES	50 sq. ft.
DECK	- sq. ft.
SEEDING AREA	18685 sq. ft.

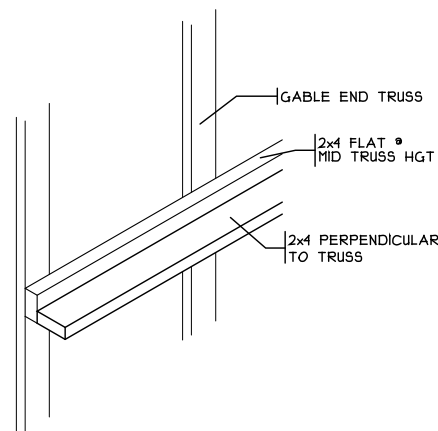
SCALE: 1"=30'  
DATE: 8/26/2021  
DRAWN: REW  
DESIGNED: -  
CHECKED: KRC

ENGINEERING & SURVEYING, INC.  
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:  
1.  
2.  
3.  
4.  
  
PROJECT: WATERBURYVILL  
DRAWING: 212173PA  
  
SHEET  
1 OF 1

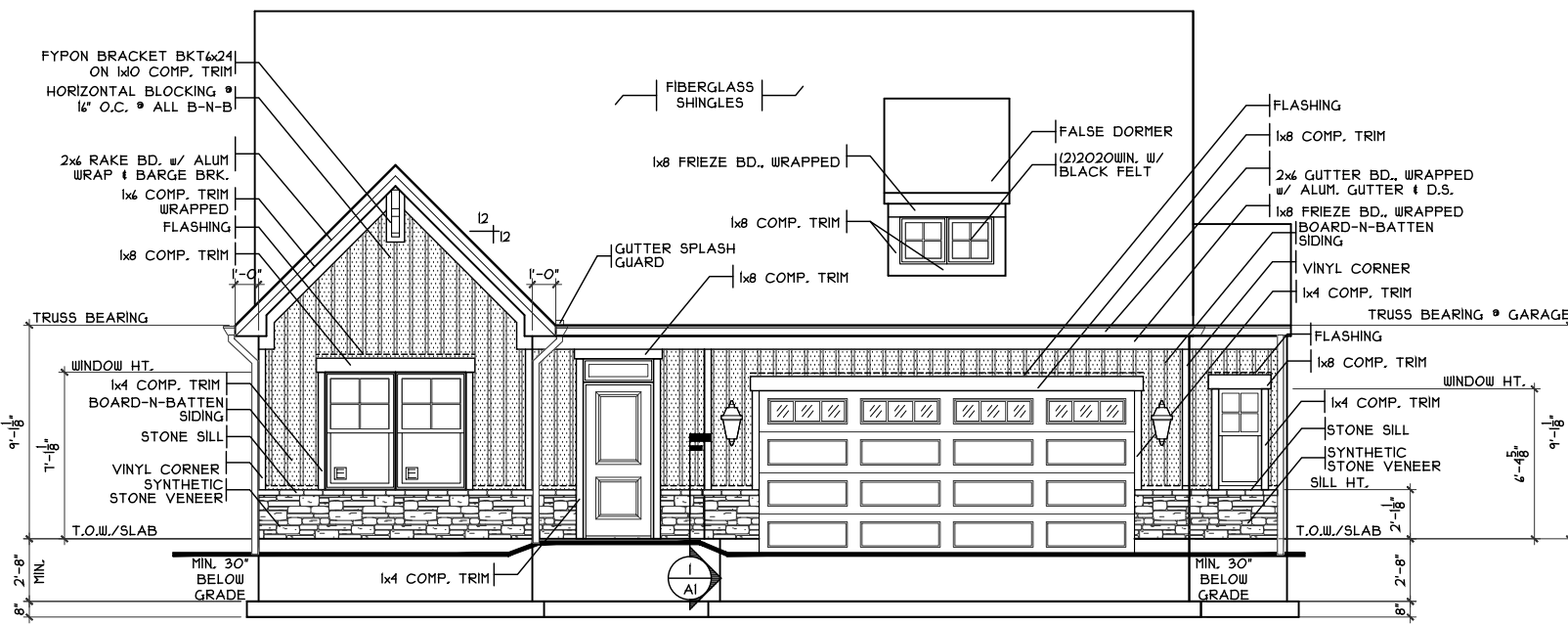
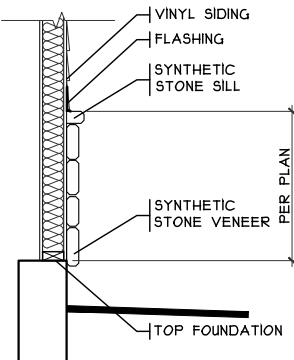
### STIFF BACK DETAIL

SCALE: 3/8" = 1'-0"



### STONE BASE DETAIL

SCALE: 1/8" = 1'-0"

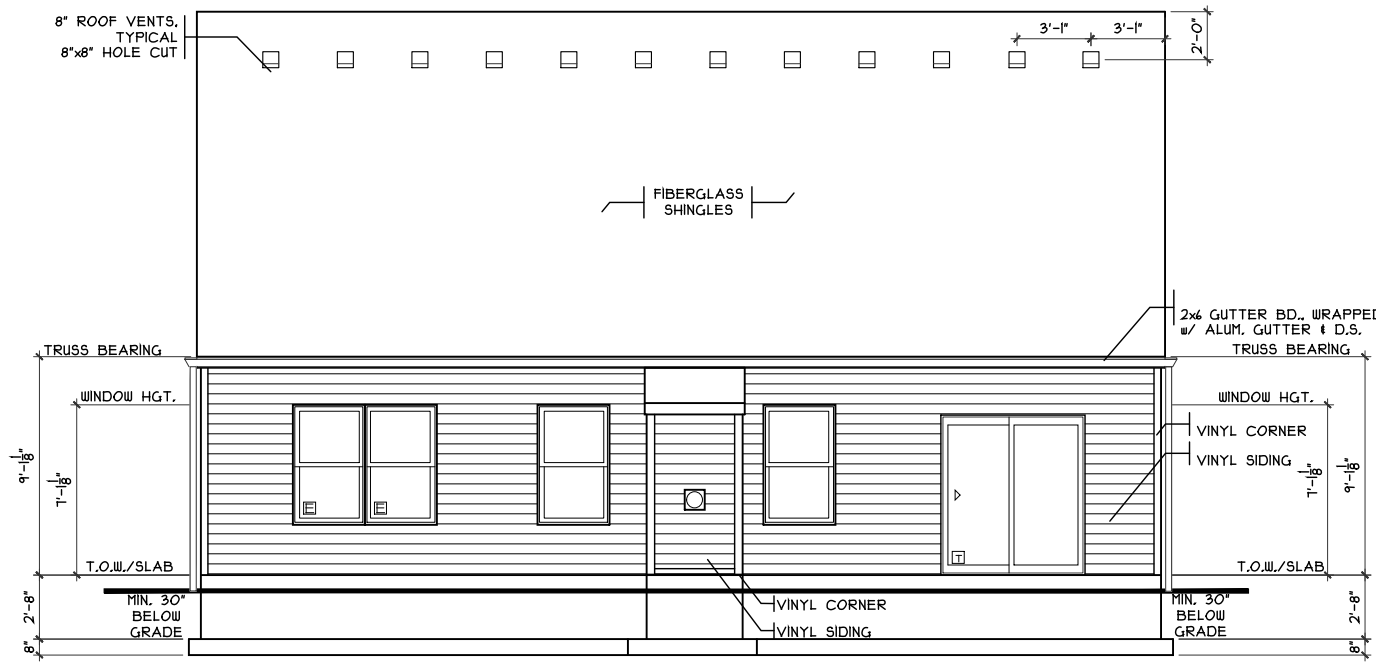


### FRONT ELEVATION

SCALE: 1/8" = 1'-0"

### REAR ELEVATION

SCALE: 1/8" = 1'-0"



### SHEET INDEX

SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A4	Typical Wall Sections/Stair Section
A5	Typical Framing Details (Aluminum)
G1	General Notes
E1	First Floor Electrical Plan

NOTE:  
 PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"  
 PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

ISSUE DATES	
9/23/21	REVISIONS

PLAN INFO.	
R1191B3	
3	BDRMS
4	BATH
2	CAR GARAGE
	FST FLR. CLG.
<b>SQUARE FOOTAGE</b>	
TOTAL	1647
FIRST	1647
SECOND	N/A
LOWER (SLAB)	1511
GAR. (SLAB)	433

KEY PLAN	
43'-1"	
36'-11"	

OPTIONS	

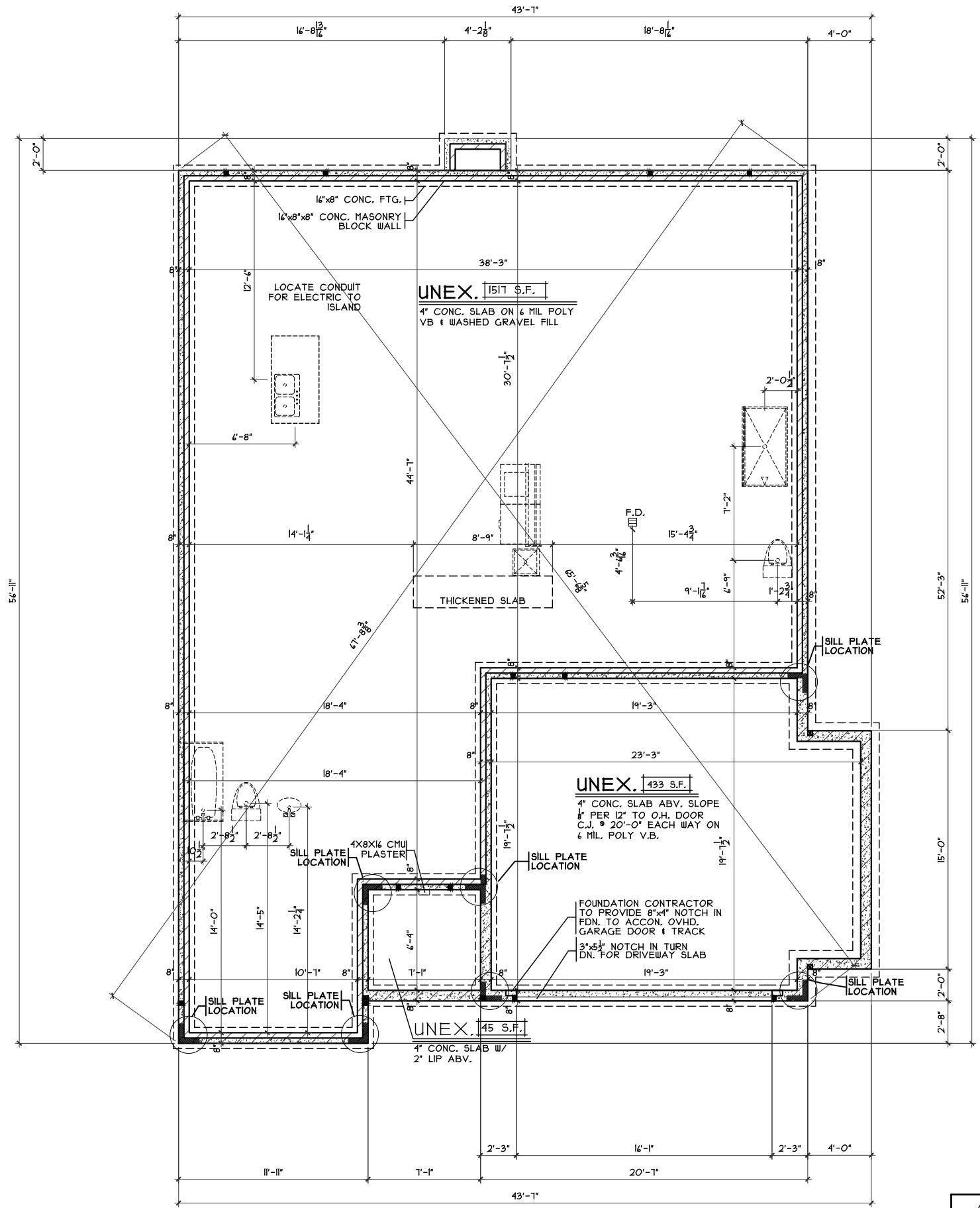
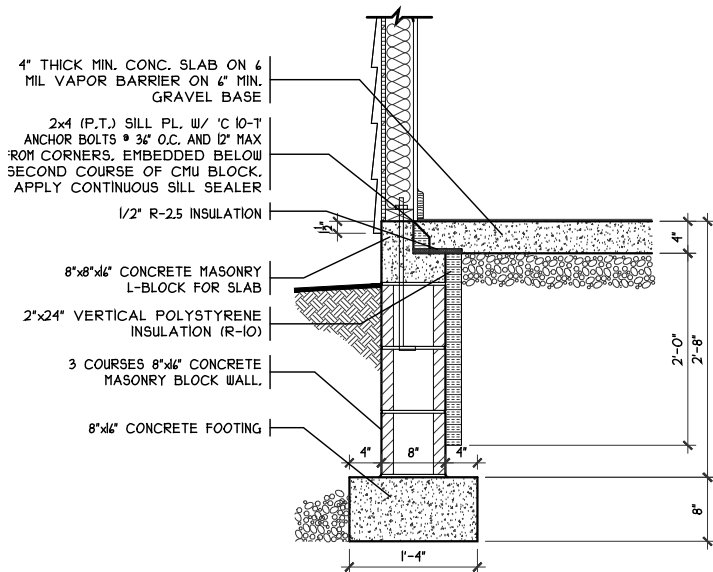
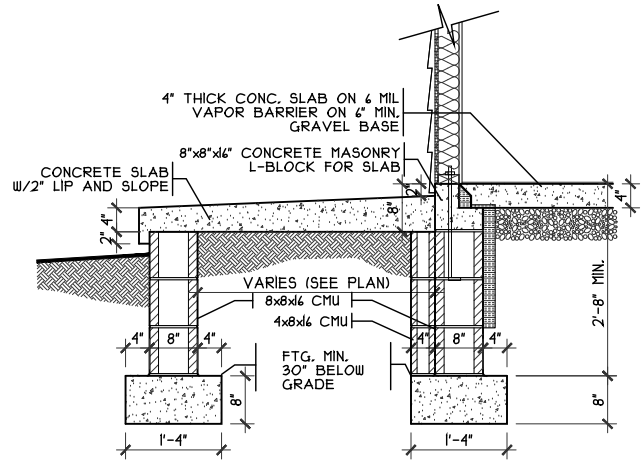
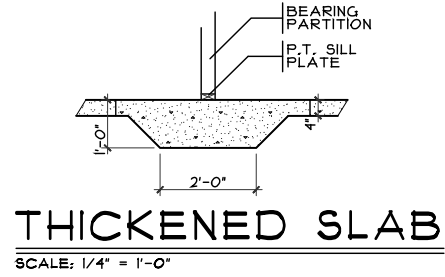
Issue Dates: Mayfair I - A2 - Vinyl

Proposed Residence:  
 Market Home  
 1601 Ashbury Court  
 Waterbury Village Lot 55



Plan: Mayfair I Slab  
 Date: 8.18.2021  
 Drawn: SMC  
 Scale: As Noted  
 Revised: 9.23.2021  
 Sheet: 1 of 15

**A1**



**NOTE:**  
■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER CONTINUOUS TO SOLID BEARING BELOW.

OPTIONS

**Foundation Plan**  
Plan: Mayfair 1 Slab  
Date: 8.18.2021  
Drawn: SMC  
Scale: As Noted  
Revised: 9.23.2021  
Sheet: 3 of 15

**Proposed Residence:**  
Market Home  
1601 Ashbury Court  
Waterbury Village Lot 55

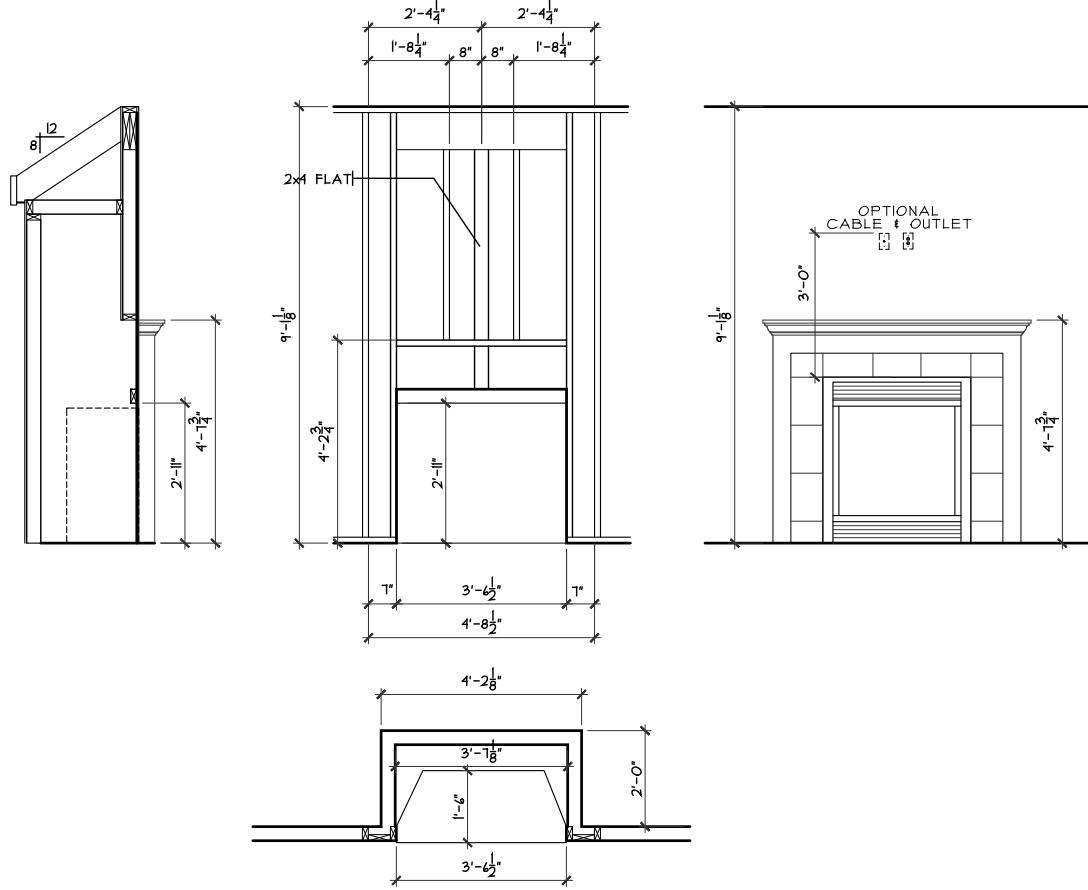
**CRISTO HOMES**  
7944 Tyers Place Blvd.  
West Chester, OH 45389  
513.755.0570

**Mayfair I - A2 - Vinyl**  
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**Warren County**  
Carlisle

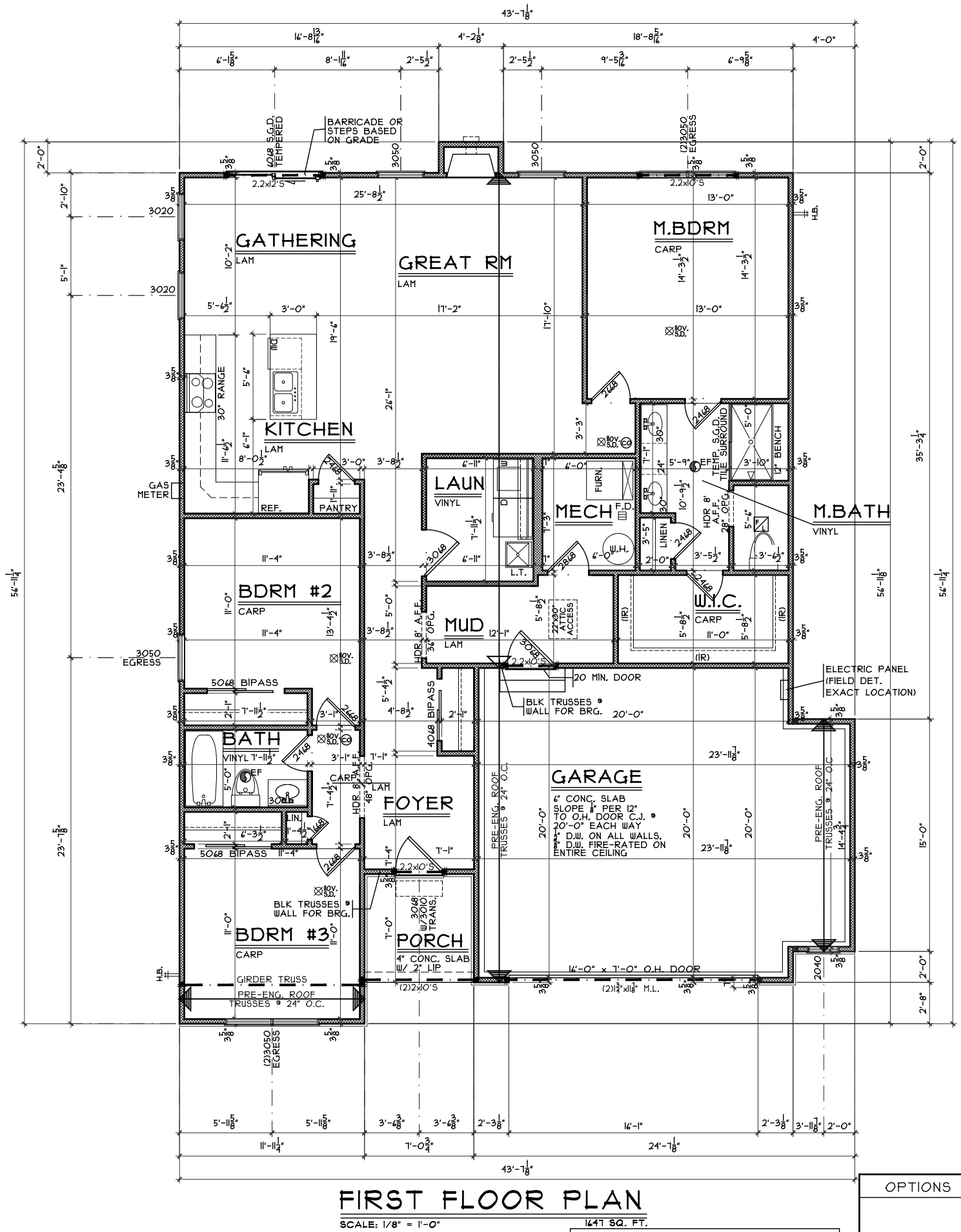
**Issue Dates**  
Review

**A2**



**FIREPLACE FRAMING DETAIL**  
 SCALE: 1/4" = 1'-0"

**DOOR FRAMING DETAIL**  
 SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 1641 SQ. FT.

**NOTE:**  
 ■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

**OPTIONS**

First Floor Plan

Plan: Mayfair 1 Slab  
 Date: 8.18.2021  
 Drawn: SMC  
 Scale: As Noted  
 Revised: 02.23.2021  
 Sheet: 5 of 15

WV-55

Proposed Residence:

Market Home  
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Mayfair I - A2 - Vinyl

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Issue Dates

Review

Carlsle  
 Warren County

**A3**