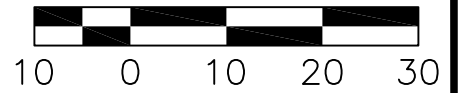
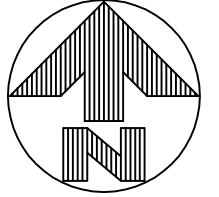


PLOT PLAN

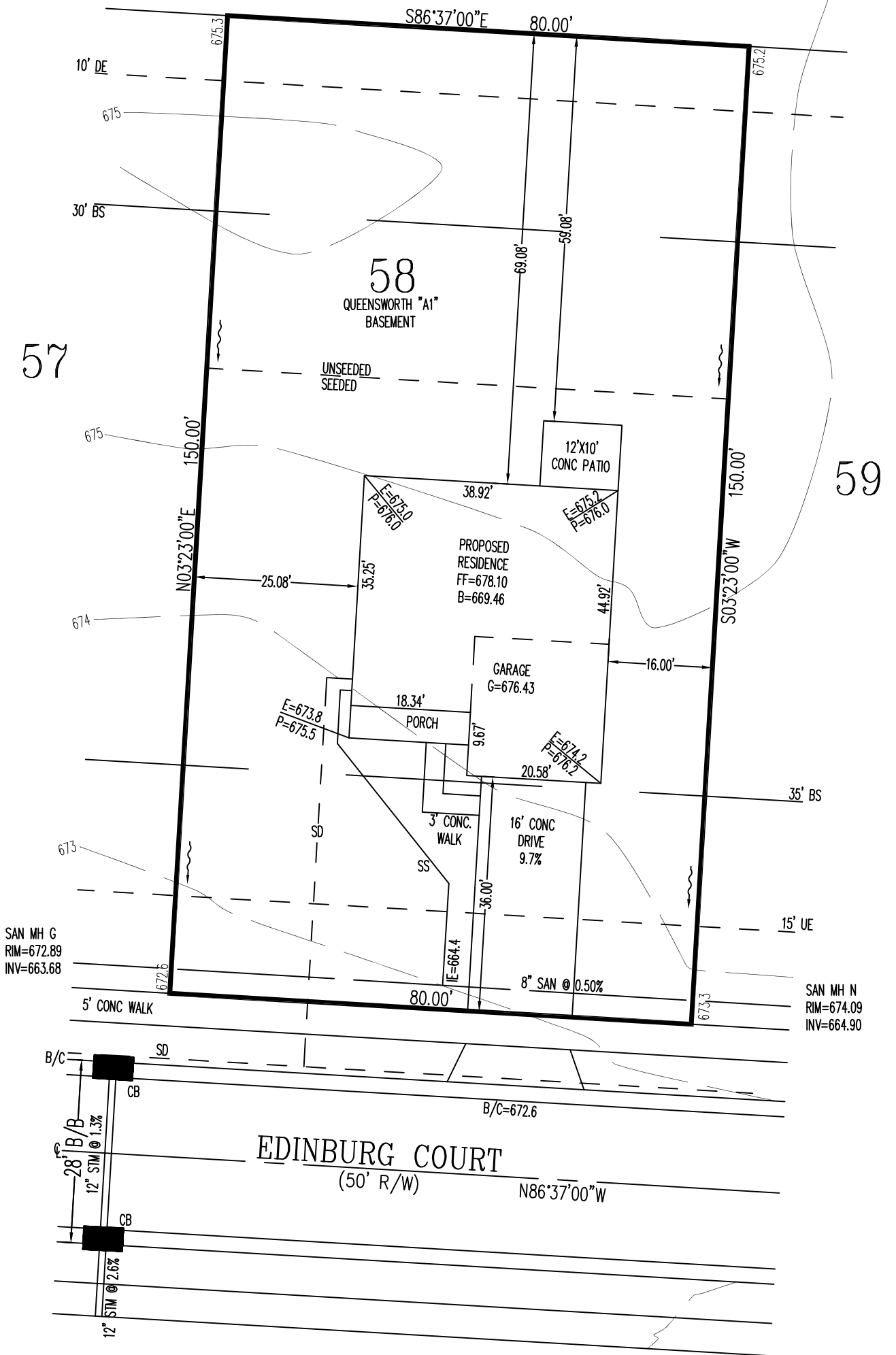
MARKET HOME
1408 EDINBURG COURT



LOT 58 (12,000 SF) 0.2755 AC.
WATERBURY VILLAGE, SECTION 3
CITY OF CARLISLE
WARREN CO., OHIO
FOR: CRISTO HOMES



TOPOGRAPHY FROM APEX FIELD SURVEY, JAN. 2022.
MAY NOT REFLECT CURRENT CONDITIONS.



INFORMATION FROM CONSTRUCTION DRAWINGS, UTILITIES AND CONTOURS SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

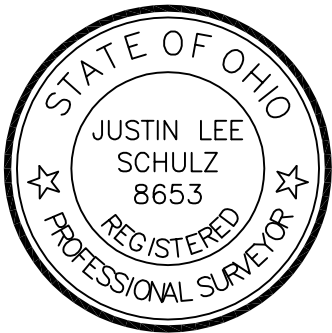
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE CONTRACTOR. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

FOR PERMITTING PURPOSES ONLY.



SETBACKS:
FRONT=35'
REAR=30'
SIDE=10'

QUANTITIES

TOTAL LOT AREA	12000	sq. ft.
CITY WALK	320	sq. ft.
HOUSE WALK	50	sq. ft.
DRIVE	656	sq. ft.
APRON	111	sq. ft.
PATIO AND PORCHES	212	sq. ft.
DECK		sq. ft.
SEEDING AREA	5602	sq. ft.
UNDISTURBED AREA	4327	sq. ft.

2 WORKING DAYS
BEFORE YOU DIG
OHIO811.org
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

SCALE: 1"=20'
DATE: 03-28-22
DRAWN: JLL
DESIGNED:
CHECKED: JLS

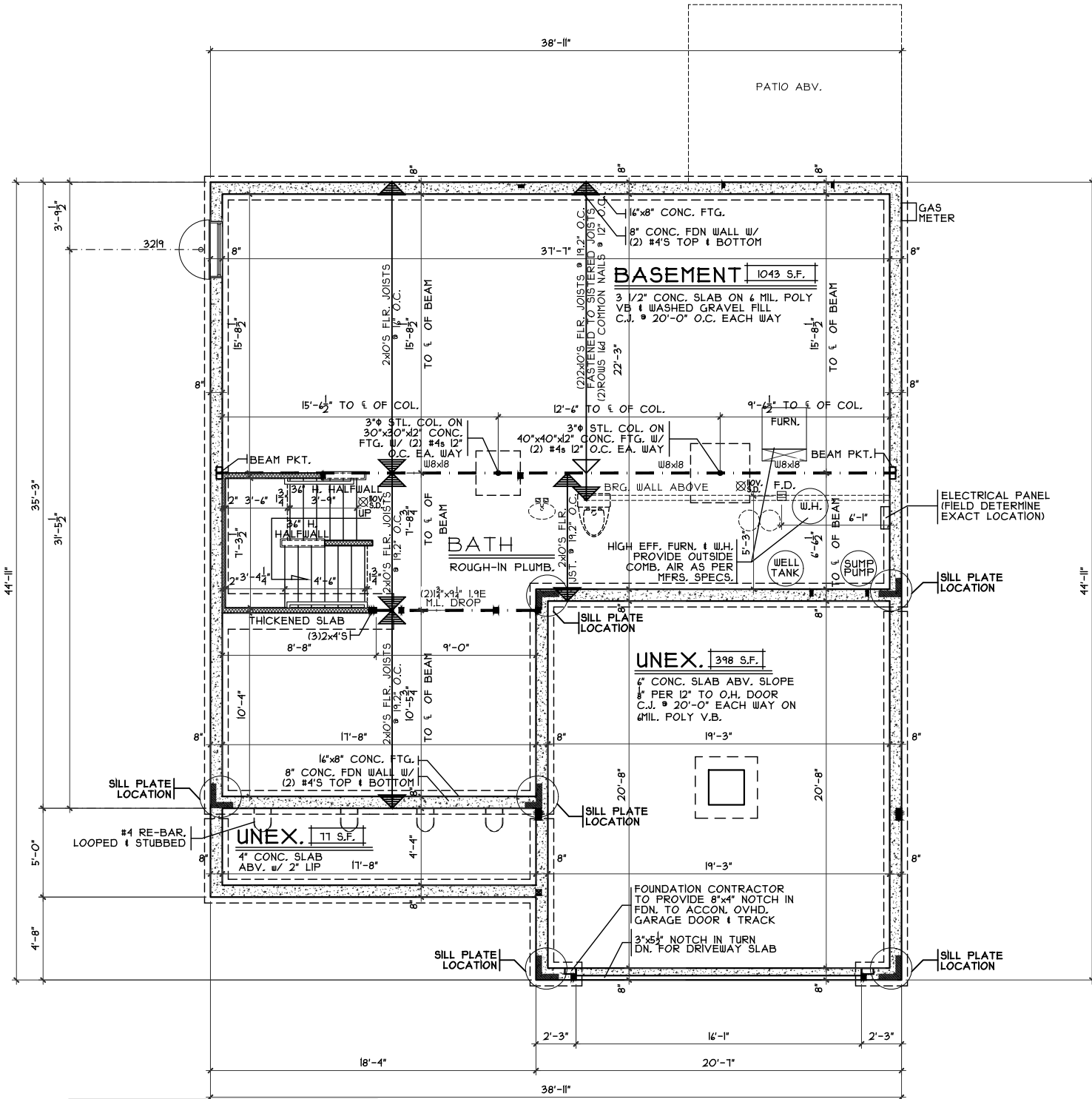
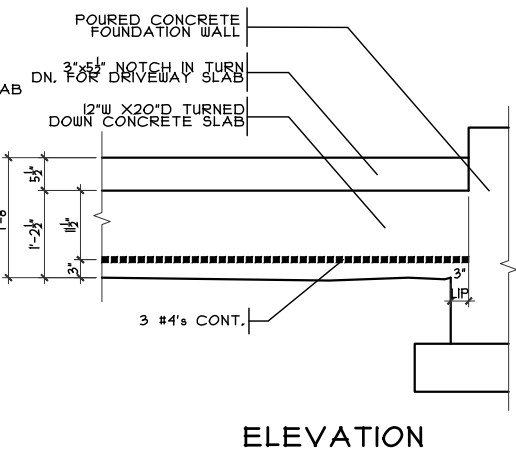
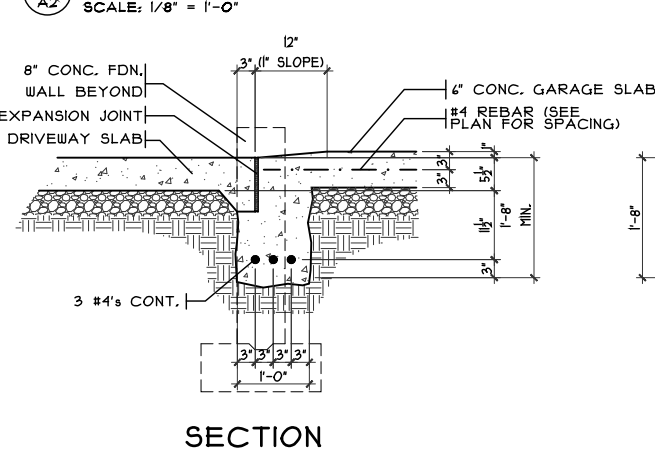
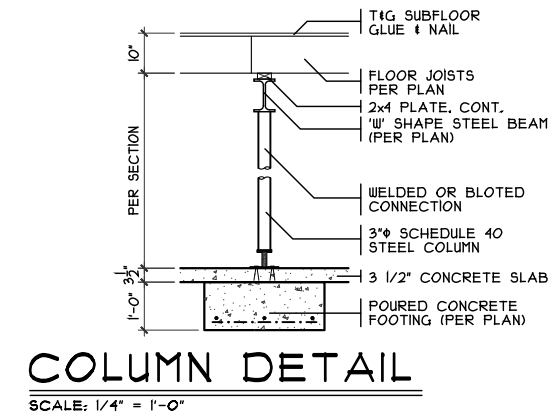
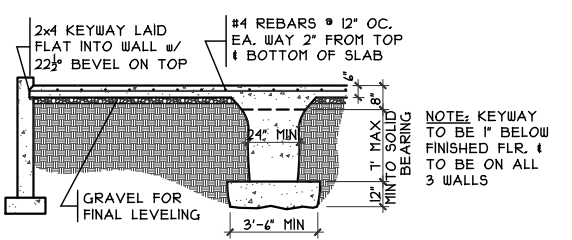
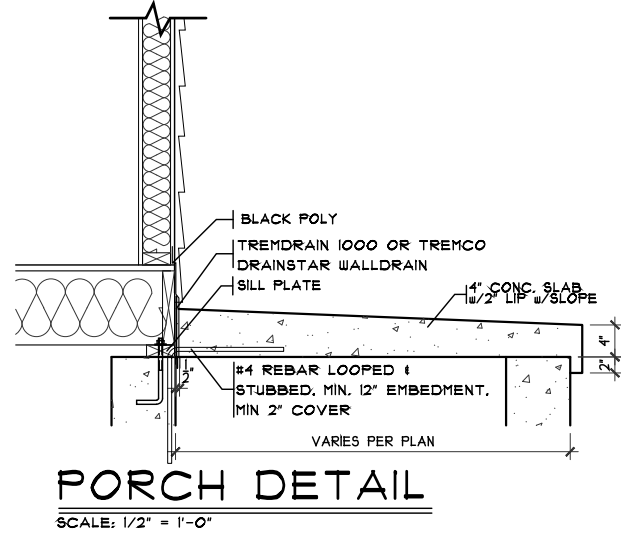
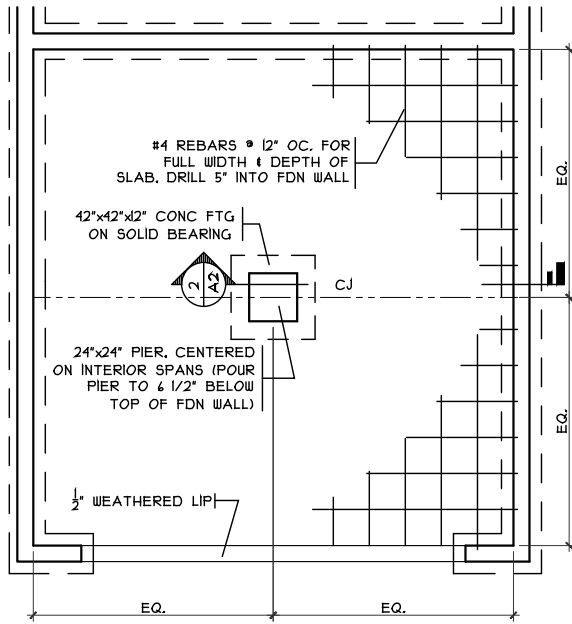
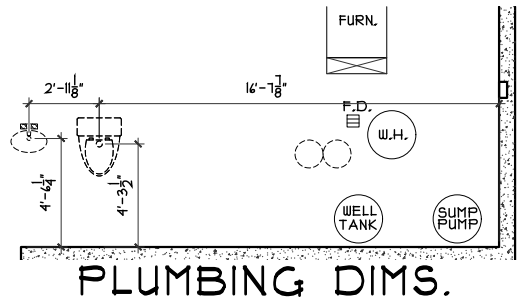
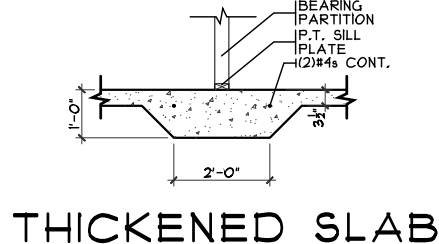
APEX
ENGINEERING & SURVEYING, INC.
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:

- 1.
- 2.
- 3.
- 4.

PROJECT: WATERBURYVILL
DRAWING: 220750PA

SHEET
1 OF 1



NOTE:
■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER. CONTINUOUS TO SOLID BEARING BELOW.

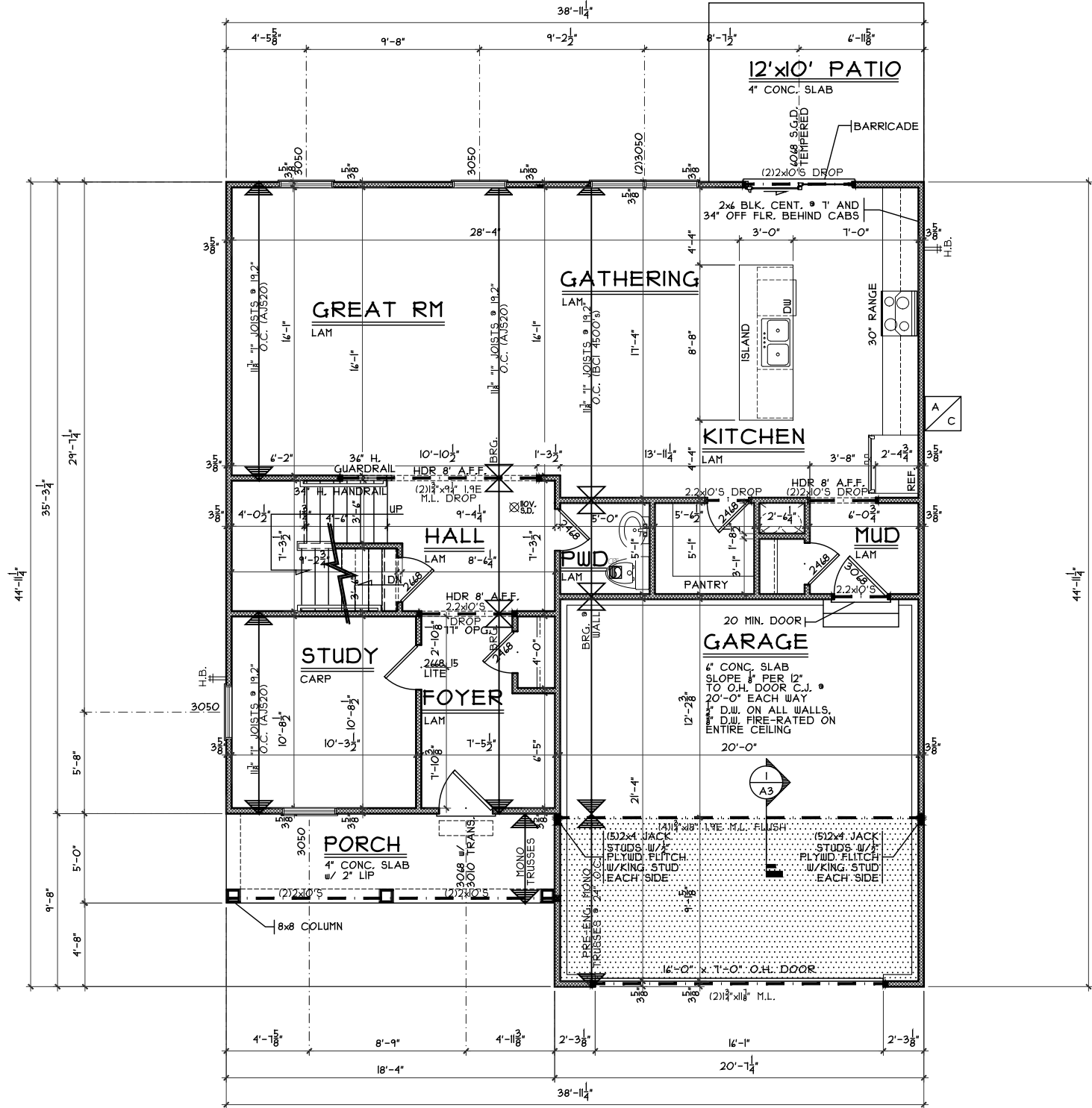
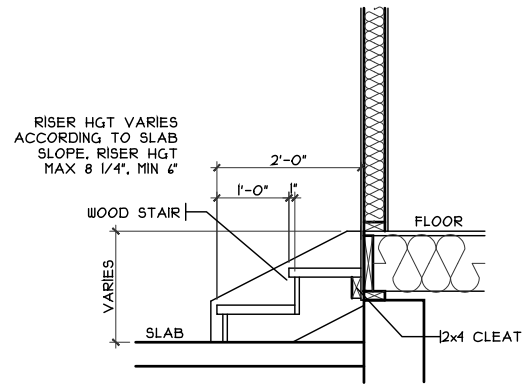
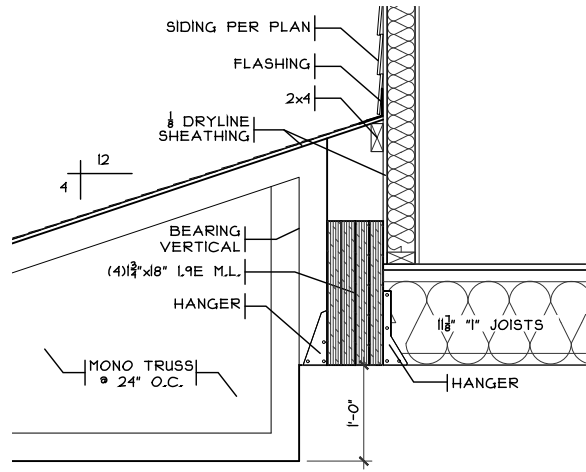
Queensworth - A1 - Vinyl
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Prestige - WV-58
Proposed Residence:
Market Home
1408 Edinburg Court
Waterbury Village
Springboro County
Carlsie

CRISTO HOMES
7944 Tyers Place Blvd.
West Chester, OH 45669
513.755.0570
www.cristohomes.com

Foundation Plan
Plan: Queensworth
Date: 3.18.2022
Drawn: DCI
Scale: As Noted
Revised: 4.6.2022
Sheet: 3 of 15

A2



NOTE:
 ■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER. CONTINUOUS TO SOLID BEARING BELOW.

First Floor Plan
 Plan: Queensworth
 Date: 3.18.2022
 Drawn: DCI
 Scale: As Noted
 Revised: 4.6.2022
 Sheet: 5 of 15

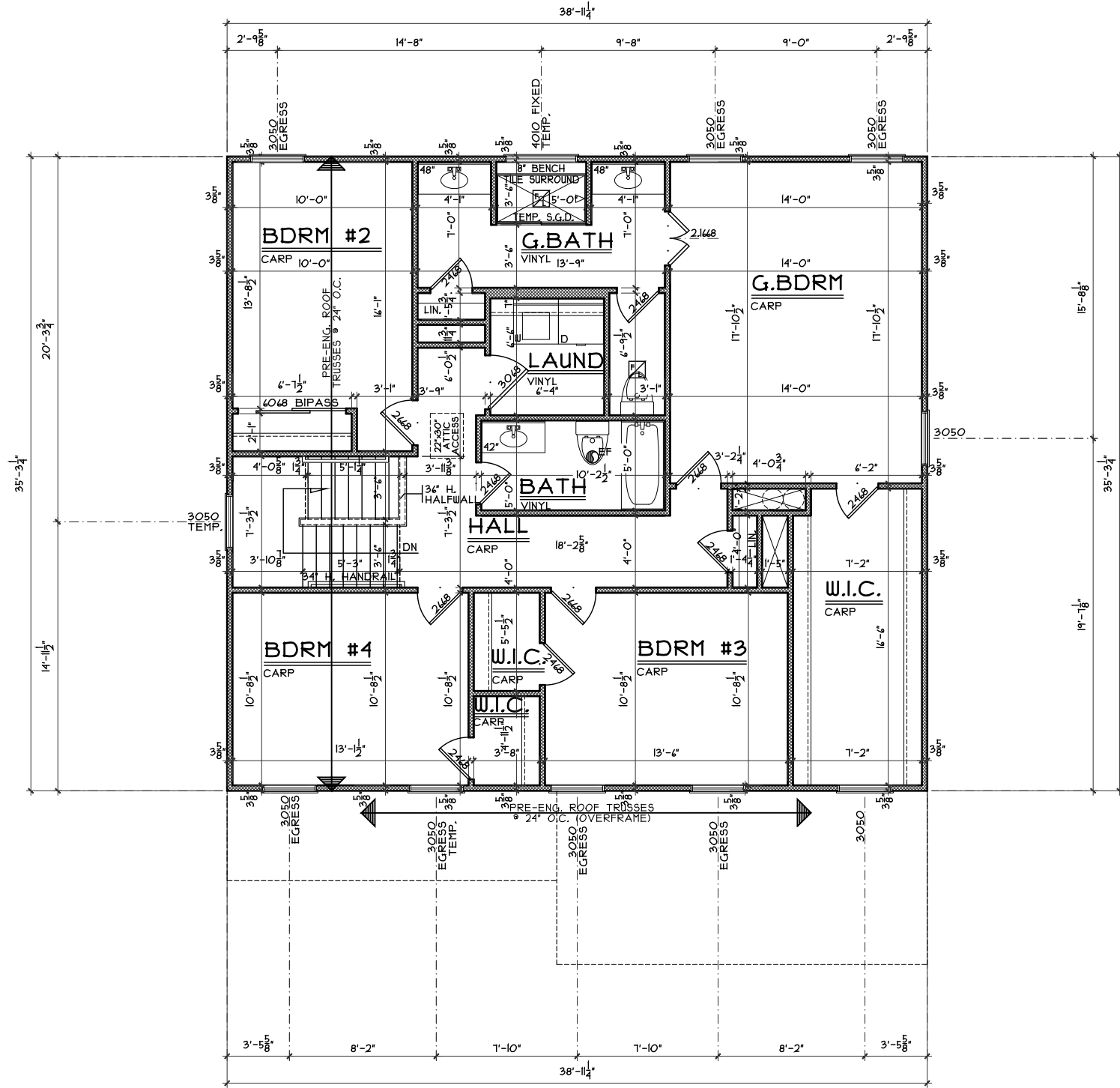
CRISTO HOMES
 7944 Tyers Place Blvd.
 West Chester, OH 45689
 513.755.0570
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Prestige - WV-58
 Proposed Residence:
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 1408 Edinburg Court
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 Carlisle

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Review	Issue Dates

A3



NOTE:
 ■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0" 1303 SQ. FT.

Second Floor Plan

Plan: Queensworth
 Date: 3.18.2022
 Drawn: DCJ
 Scale: As Noted
 Revised: 4.6.2022
 Sheet: 6 of 15



Prestige - WV-58

Proposed Residence:
 Market Home
 1408 Edinburg Court
 Waterbury Village

Queensworth - A1 - Vinyl

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Issue Dates

Issue	Review

A4

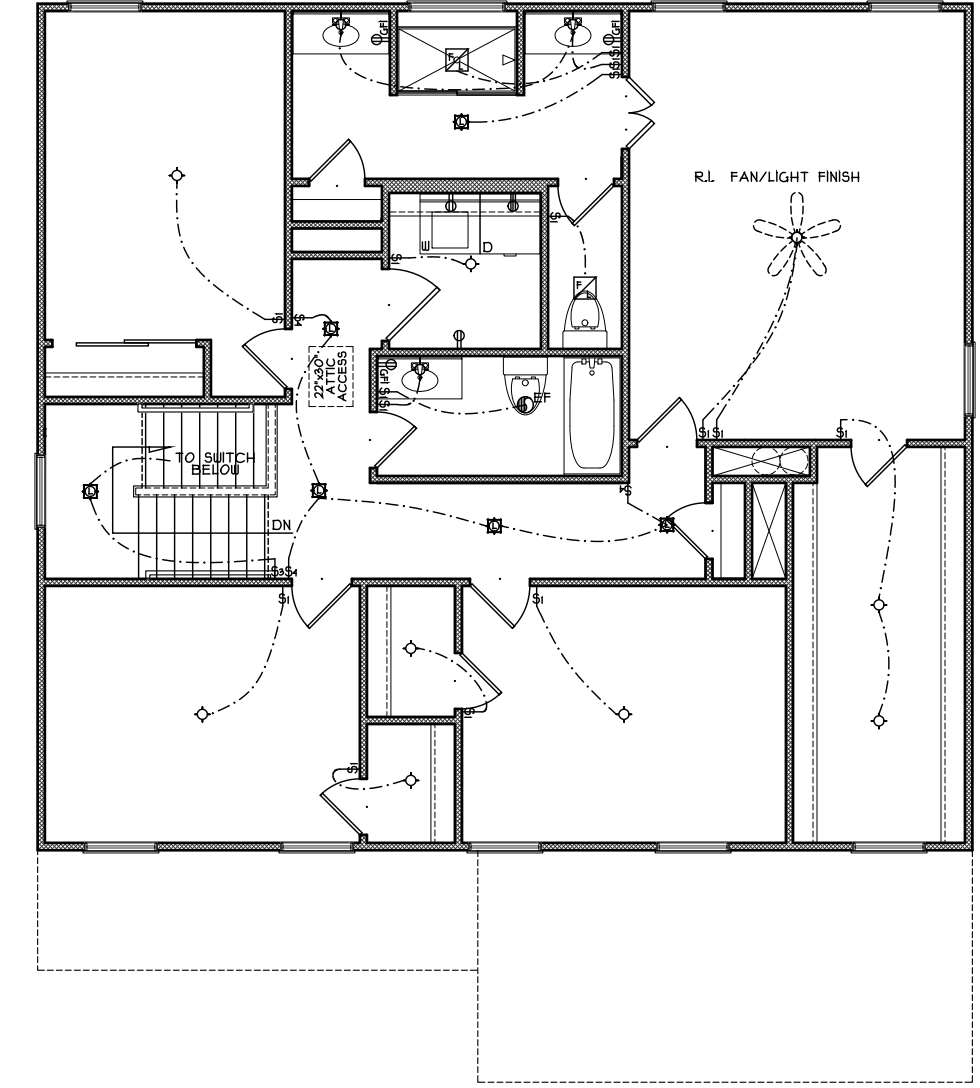
Carlisle
 Springboro County

ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL CO-ORDINATE THE EXACT LOCATION OF ALL HVAC EQUIPMENT, (HVAC AND EXHAUST) WITH GENERAL CONTRACTOR, PRIOR TO THE START OF CONSTRUCTION.

2. ANY REFERENCE TO ELECTRICAL, PLUMBING, AND HVAC CONTRACTORS, NOTED ON THESE DRAWINGS OR STATED IN THE SPECIFICATIONS SHALL NOT BE MISCONSTRUED AS AN INTENTION TO DEFINE SEPARATE CONTRACTORS FOR THE RESPECTIVE WORK. THE GENERAL CONTRACTOR SHALL CO-ORDINATE AND PROVIDE A COMPLETE BUILDING WITH COMPLETE MECHANICAL, AND ELECTRICAL SYSTEMS, REGARDLESS OF ANY SPECIFICATION REFERENCES TO OTHER CONTRACTORS.

ELECTRICAL LEGEND	
	LIGHT FIXTURE - PENDANT
	LIGHT FIXTURE - PULL CHAIN
	LIGHT FIXTURE - RECESSED
	LIGHT FIXTURE - EYEBALL
	EXTERIOR FIXTURE - WALL MOUNTED
	INCANDESCENT FIXTURE - WALL MOUNTED
	WALL SCONCE
	LIGHT FIXTURE - HOCKEY PUCK
	LIGHT FIXTURE - FLUORESCENT
	UNDER CABINET LIGHT
	EXHAUST FAN/LIGHT FIXTURE
	TELEVISION OUTLET
	UNIVERSAL OUTLET
	TELEPHONE OUTLET
	DUPLEX CONVENIENCE RECEPTACLE VISUAL SAFETY REQUIRED
	DUPLEX CONVENIENCE RECEPTACLE DEDICATED
	GROUND FAULT CIRCUIT INTERRUPT DUPLEX RECEPTACLE
	DUPLEX CONVENIENCE RECEPTACLE WEATHER PROOF
	LOW VOLTAGE RECEPTACLE
	220 VOLT RECEPTACLE
	SWITCH - SINGLE POLE
	SWITCH - THREE WAY
	SWITCH - FOUR WAY
	SWITCH - DIMMER
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN
	CONTINUOUS RUNNING FAN
	CEILING FAN
	THERMOSTAT
	GARAGE DOOR OPENER
	SHALLOW BOX LED
	SPOT LIGHT



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

Electrical Plan

Plan: Queensworth
Date : 3.18.2022
Drawn: DCJ
Scale : As Noted
Revised: 4.6.2022
Sheet : E3 of 15

Prestige - WV-58
Proposed Residence:
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E3