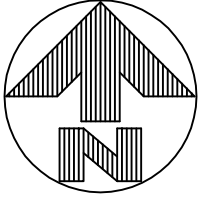
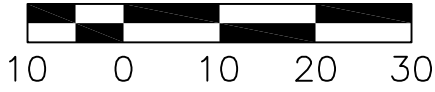


PLOT PLAN  
 LOT 6 (12,012 SF) 0.2758 AC.  
 WATERBURY VILLAGE, SECTION 1  
 CITY OF CARLISLE  
 WARREN CO., OHIO  
 FOR: CRISTO HOMES

BALLWEG RESIDENCE  
 1090 MARTY LEE LANE



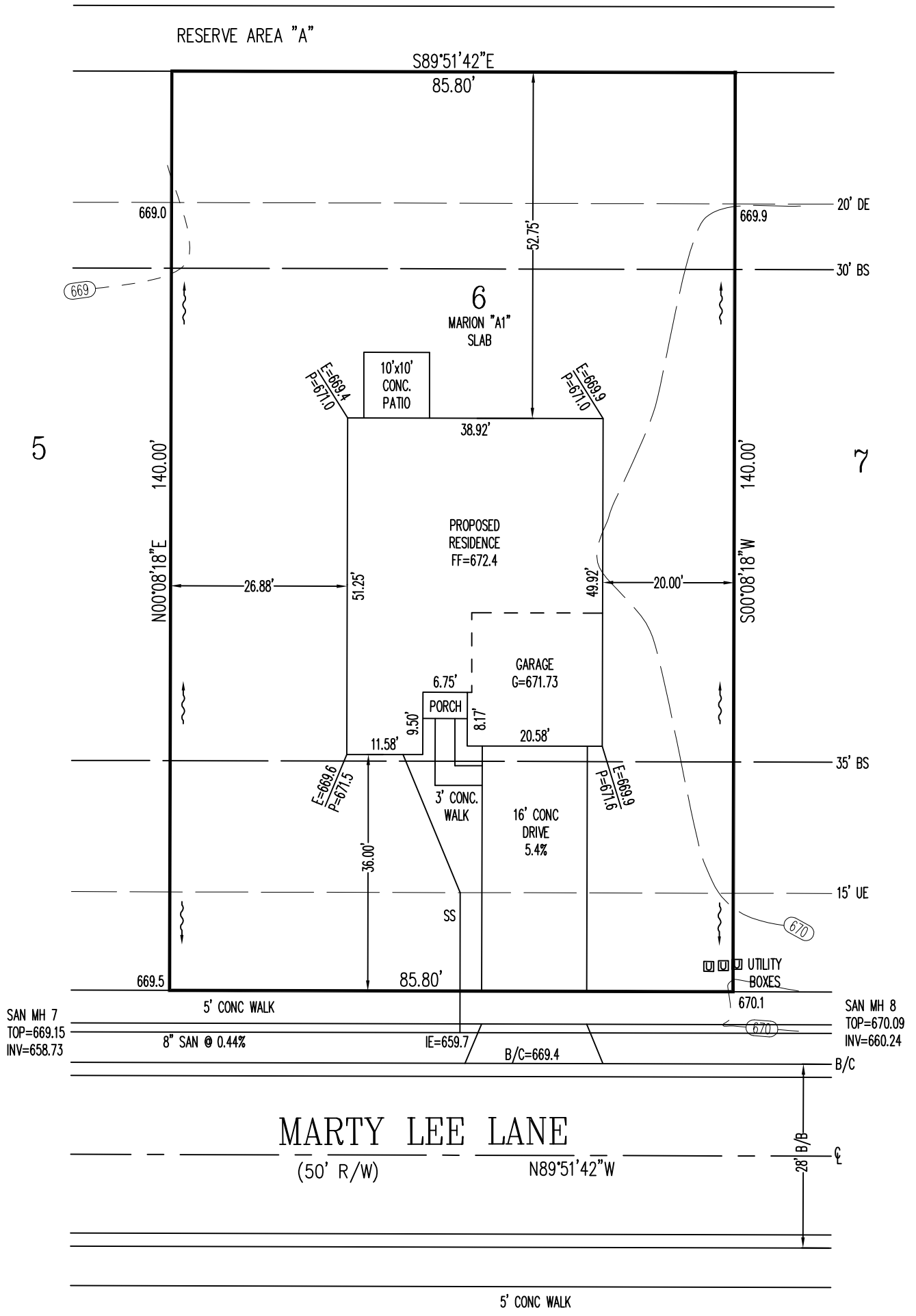
FEMA FLOOD PANEL  
 39165C0012E, ZONE "AE".  
 EFFECTIVE: 12/17/2010  
 BASE FLOOD ELEV.=668.0

SUGGESTED FF=670.0

SETBACKS:  
 FRONT YARD=35'  
 REAR YARD=30'  
 SIDE YARD=10'

QUANTITIES

TOTAL LOT AREA	12,012	sq. ft.
CITY WALK	349	sq. ft.
HOUSE WALK	43	sq. ft.
DRIVE	678	sq. ft.
APRON	111	sq. ft.
PATIO AND PORCHES	127	sq. ft.
DECK	-	sq. ft.
SEEDING AREA	9726	sq. ft.



INFORMATION FROM CONSTRUCTION DRAWINGS.

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

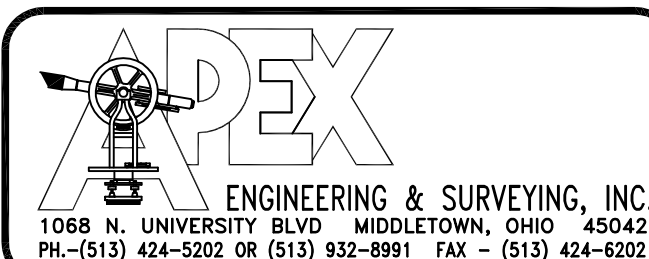
BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

TOPOGRAPHY FROM APEX TOPOGRAPHIC SURVEY, DATED DECEMBER 2017.

MAY NOT REFLECT CURRENT CONDITIONS.

SCALE: 1"=20'  
 DATE: 06/22/2020  
 DRAWN: JLS  
 DESIGNED:  
 CHECKED: KRC

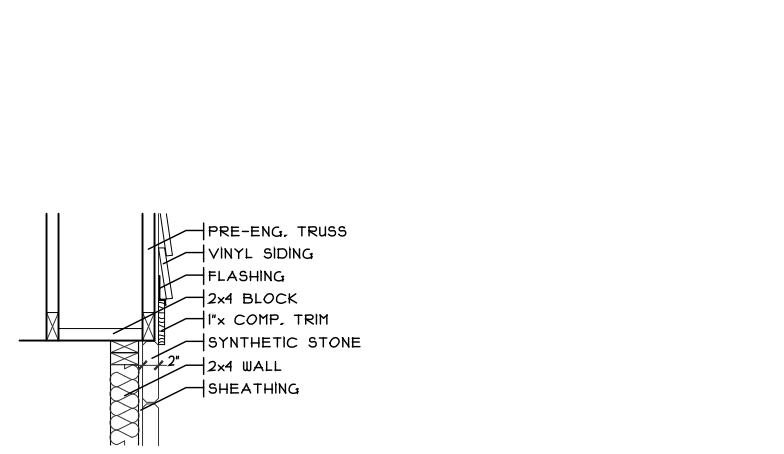


REVISIONS:

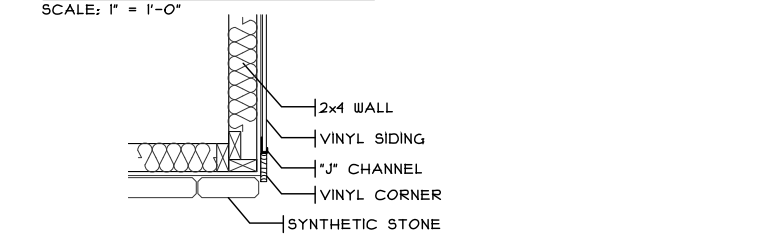
- 1.
- 2.
- 3.
- 4.

PROJECT: WATERBURYVILL  
 DRAWING: 201301PA

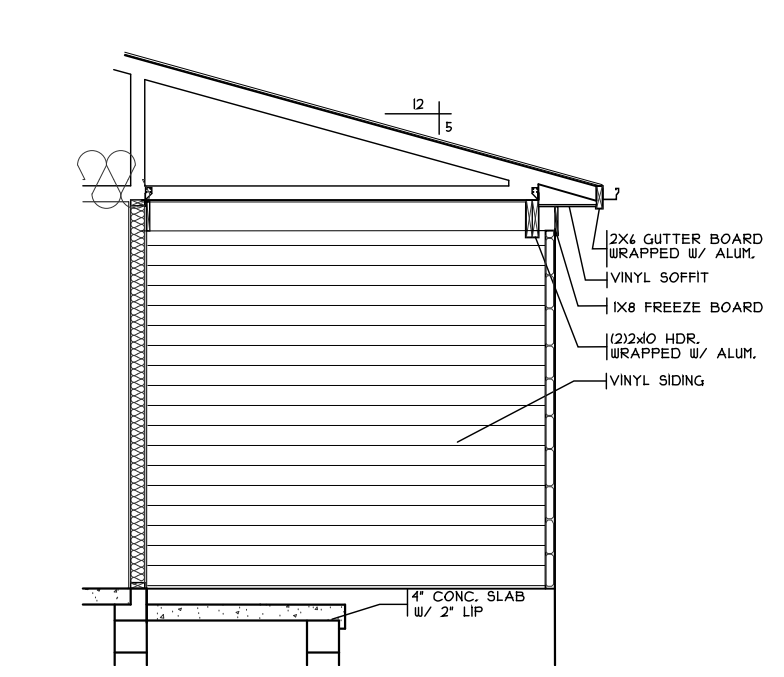
SHEET  
 1 OF 1



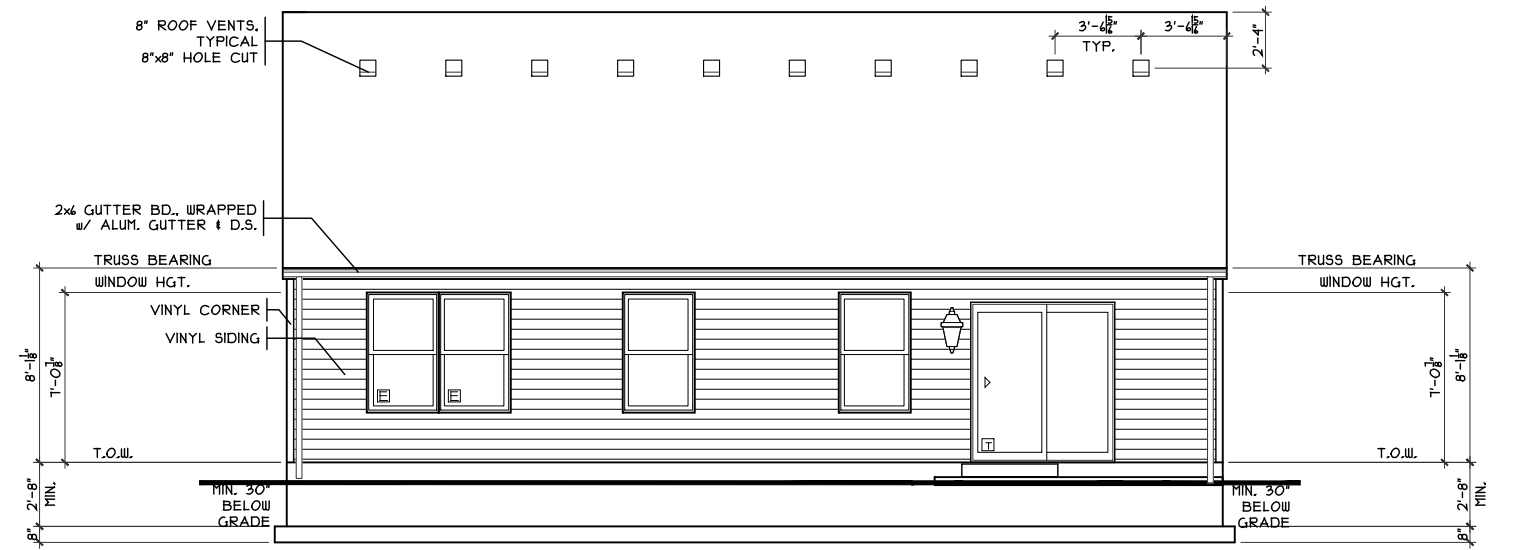
**STONE DETAIL**  
 SCALE: 1" = 1'-0"



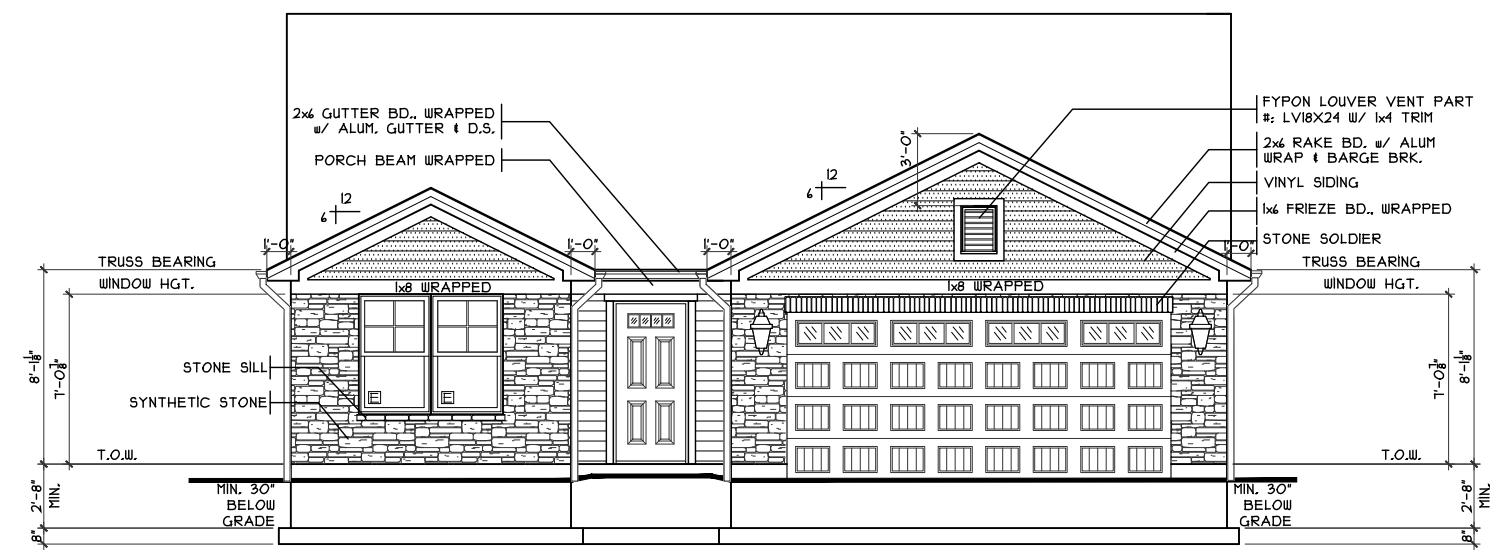
**STONE/VINYL CORNER**  
 SCALE: 1" = 1'-0"



**PORCH DETAIL**  
 SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

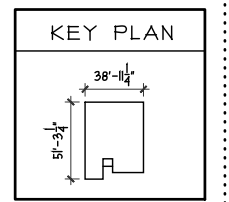


**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A4	Typical Wall Sections
A5	Typical Framing Details (Aluminum)
G1	General Notes

**NOTE:**  
 PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"  
 PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

R1490B3 PLAN INFO	
3	BDRMS
2	BATHS
1	CAR GARAGE
1	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	1500
MAIN	1500
UPPER	N/A
LOWER (SLAB)	1315
GARAGE (SLAB)	318



OPTIONS	

**Front And Rear Elevations** | **Marion Slab - A6 - Vinyl** | **Issue Dates**

Proposed Residence: **Ballweg Residence**  
 1090 Marty Lee Lane  
 Waterbury Village Lot #6

WV-6

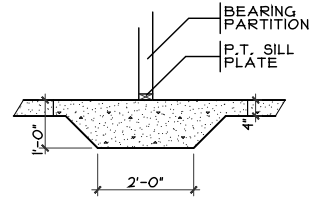
CRISTO HOMES | 7594-A Tylers Place Blvd. | West Chester, OH 45069 | 513.755.0570 | www.cristohomes.com

Plan: Marion Slab | Date: 6/12/20 | Drawn: KMA | Scale: As Noted | Revised: 7/15/20 | Sheet: 1 of 8

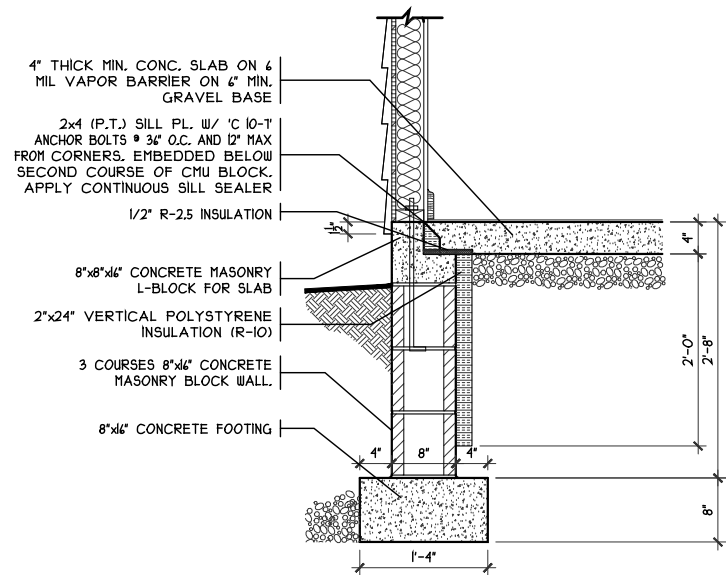
Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

Carlisle  
 Warren County

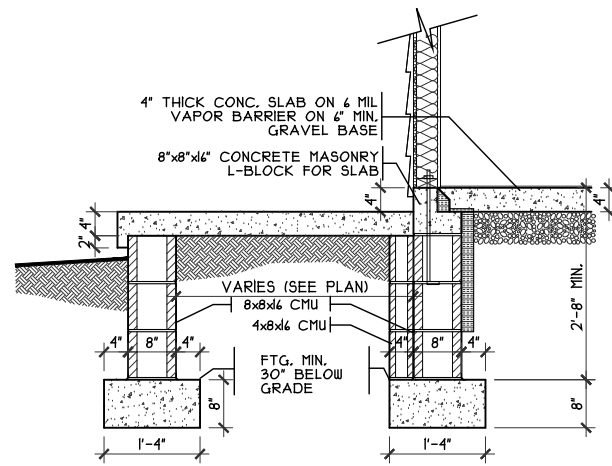
**A1**



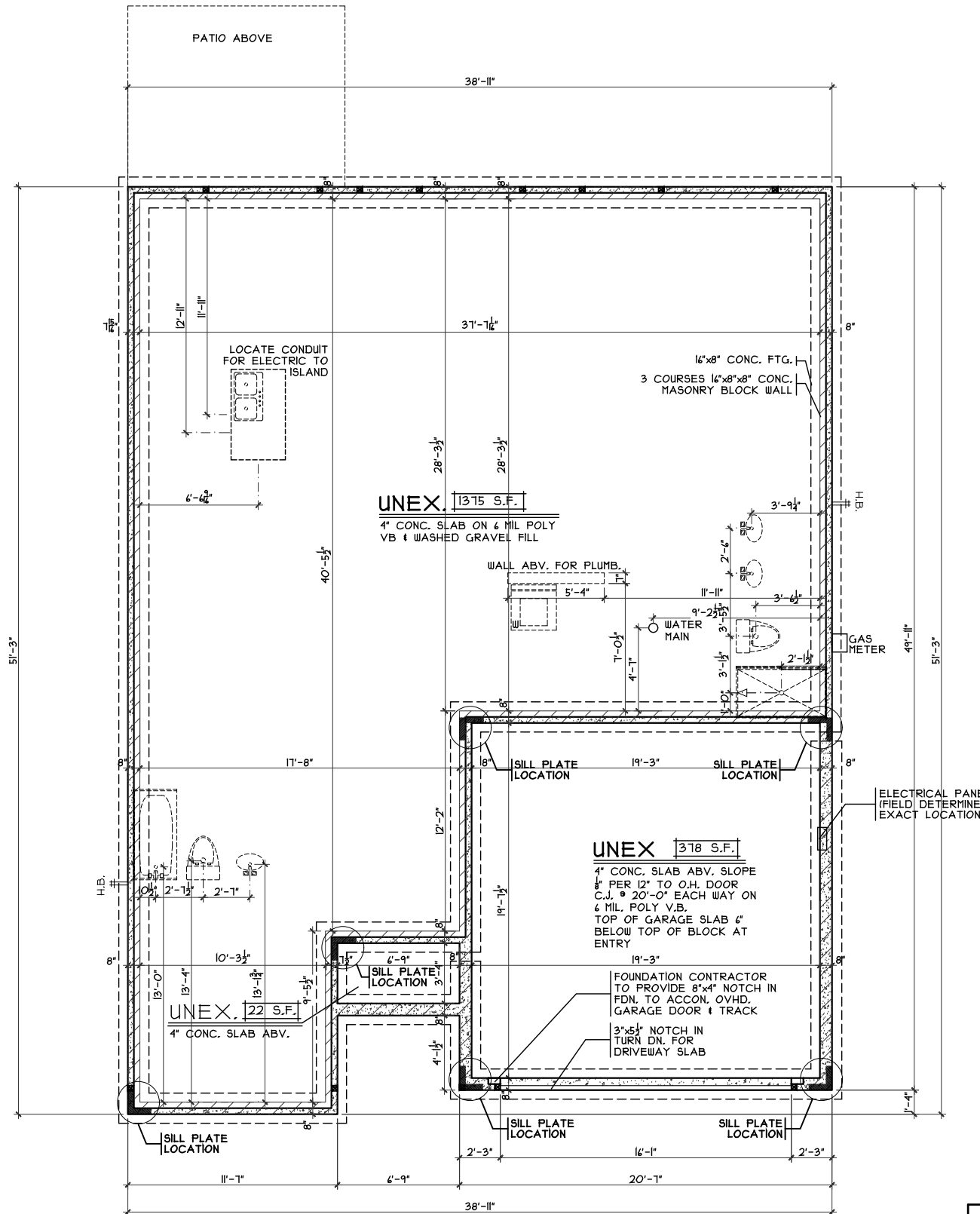
**1 THICKENED SLAB**  
SCALE: 1/4" = 1'-0"



**SOG DETAIL**  
SCALE: 1/8" = 1'-0"



**2 PORCH DETAIL**  
SCALE: 3/8" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

OPTIONS

Foundation Plan

Plan: Marion Slab  
Date: 6/12/20  
Drawn: KMA  
Scale: As Noted  
Revised: 7/15/20  
Sheet: 3 of 8



7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.795.0570 www.cristohomes.com

Proposed Residence:

Ballweg Residence  
1090 Marty Lee Lane  
Waterbury Village Lot #6

WV-6

Marion Slab - A6 - Vinyl

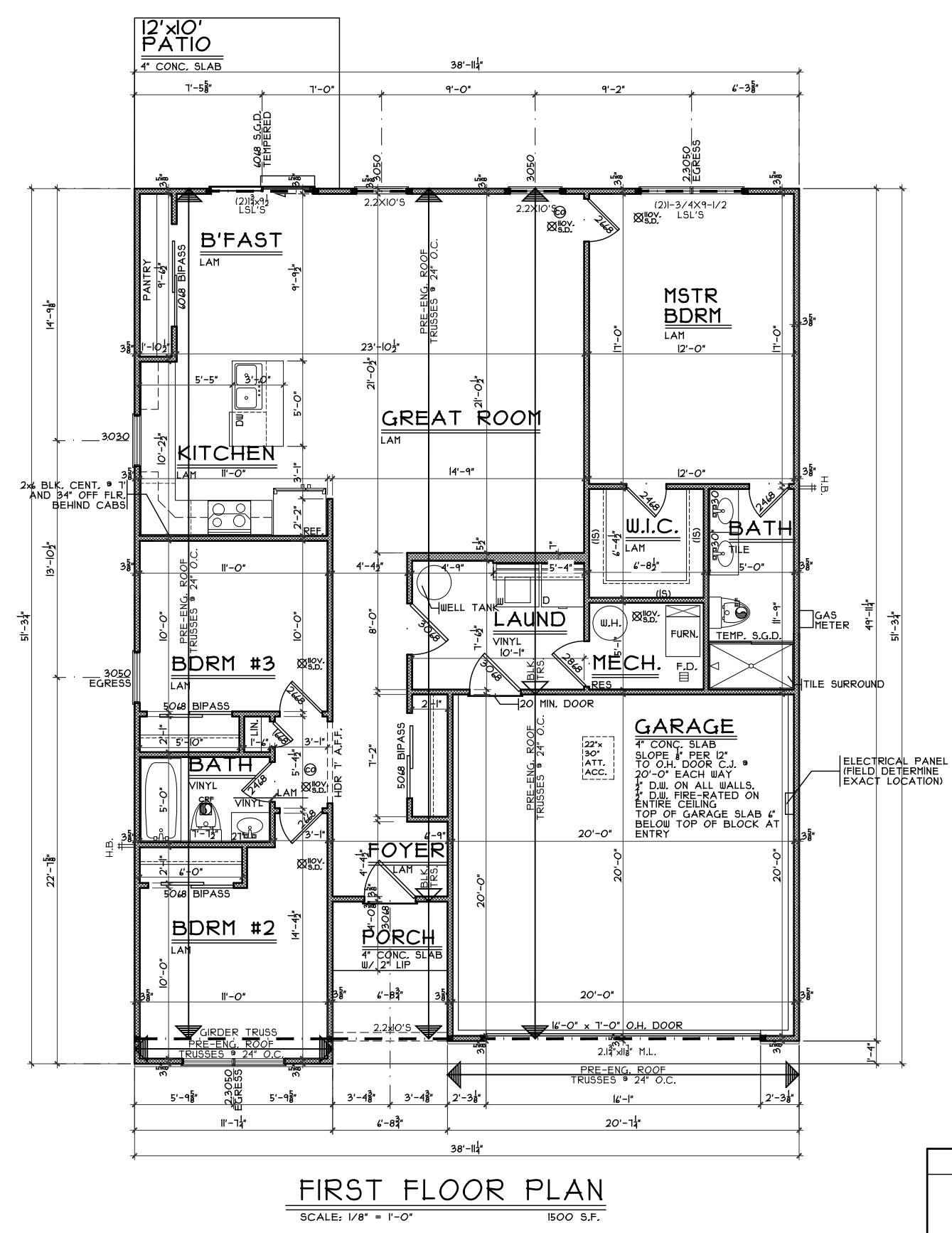
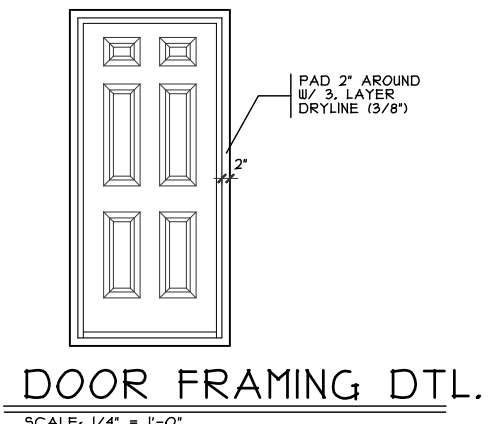
Carlisle  
Warren County

Issue Dates

Review	Issue Dates

Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

A2



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1500 S.F.

OPTIONS

**First Floor Plan**  
Plan: Marion Slab  
Date: 6/12/20  
Drawn: KMA  
Scale: As Noted  
Revised: 7/15/20  
Sheet: 4 of 8

**Proposed Residence:**  
Ballweg Residence  
1090 Marty Lee Lane  
Waterbury Village Lot #6

**CRISTO HOMES**  
7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.755.0570 www.cristohomes.com

**Marion Slab - A6 - Vinyl**  
Cristo Homes reserves all property rights in these plans. These plans are not to be reproduced, changed, or copied in any manner. They are not to be given to a third party, either in full or in part, without first receiving written permission from Cristo Homes. In the event these plans are used by a third party, Cristo Homes shall be held harmless.

**Issue Dates**

Review	Issue Dates

Warren County  
Carlisle

**A3**