

WORLEY RESIDENCE  
1420 EDINBURG COURT

# PLOT PLAN

LOT 64 (23,325 SF) 0.5354 AC.  
WATERBURY VILLAGE, SECTION 3  
CITY OF CARLISLE  
WARREN COUNTY, OHIO  
FOR: CRISTO HOMES

SETBACKS:  
FRONT YARD=40'  
REAR YARD=30'  
SIDE YARD=10'

FEMA FLOOD PANEL  
39165C0012E, ZONE "AE".  
EFFECTIVE: 12/17/2010  
BASE FLOOD ELEV.=667.0

C26  
R=50.00'  
L=41.82'

TOPOGRAPHY FROM  
CONSTRUCTION PLANS.

MAY NOT REFLECT  
CURRENT CONDITIONS.



INFORMATION FROM CONSTRUCTION DRAWINGS.  
UTILITIES SHOWN HEREON ARE FOR GRAPHICAL  
PURPOSES ONLY AND MAY NOT REFLECT CURRENT  
SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE  
VERIFICATION OF THE LOCATION AND DEPTH OF  
WATER, SANITARY AND OTHER UTILITY MAINS AND  
SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION  
ELEVATIONS ARE ONLY RECOMMENDATIONS AND  
MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED  
WITH AN "E" FOR EXISTING OR A "P" FOR  
PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE  
FINISH FLOOR GRADE. FINAL FINISH FLOOR  
ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

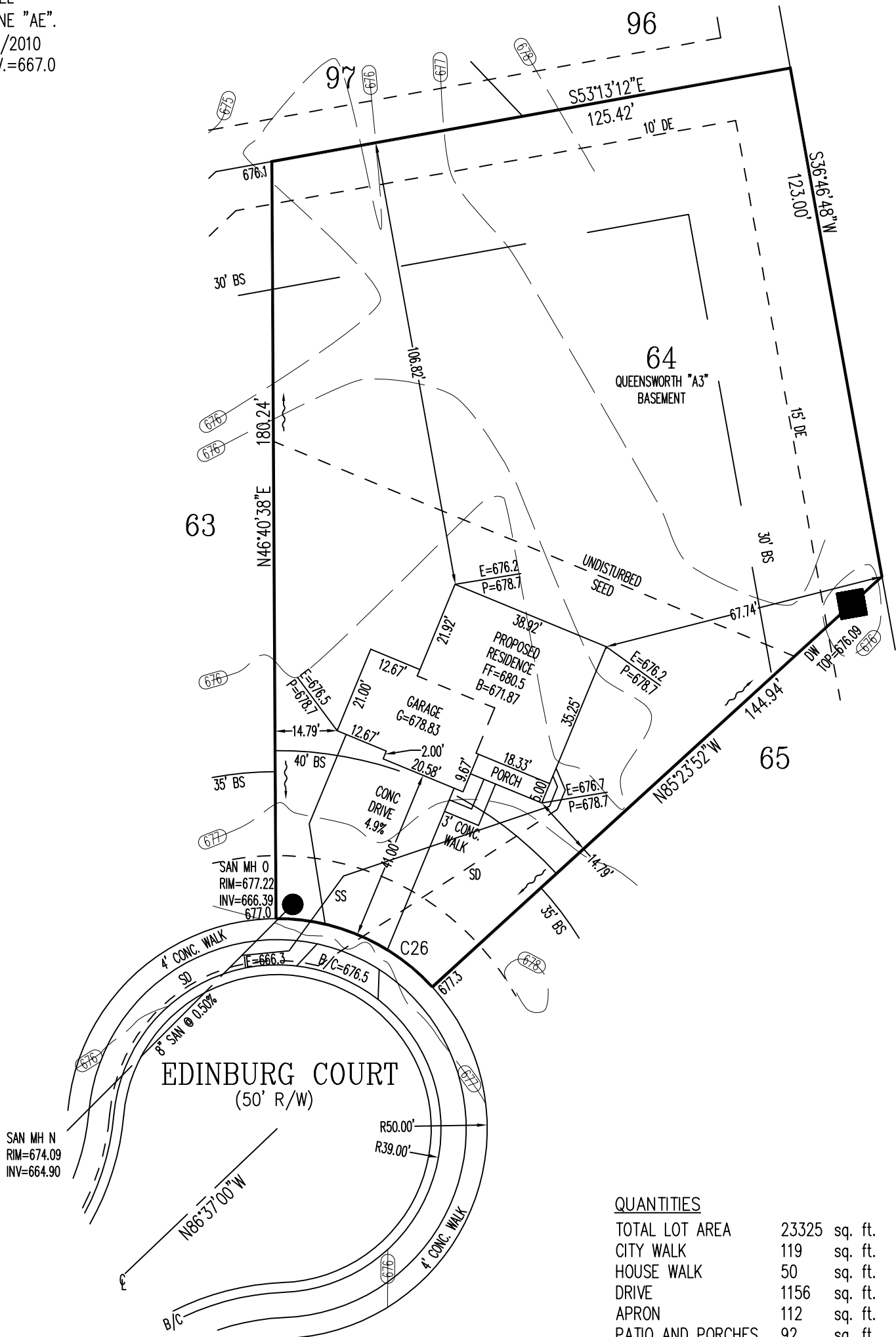
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD  
VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR  
TAKES FULL RESPONSIBILITY FOR THE FINISH  
FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE  
DRAINAGE AROUND/AWAY FROM HOUSES AND  
APPROPRIATE FINAL GRADING TO INSURE PROPER  
DRAINAGE OF THE LOT.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL  
CONDITIONS, GROUND WATER CONDITIONS AND ANY  
POTENTIAL WATER INFILTRATION. CONTRACTOR IS  
RESPONSIBLE FOR ADEQUATE WATERPROOFING  
INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC.  
ADVISES AGAINST HOLDING THE MINIMUM REQUIRED  
DISTANCE ON ANY AND ALL SETBACKS, FRONT,  
REAR, AND SIDES. THE BUILDER ASSUMES ALL  
RESPONSIBILITIES FOR ANY BUILDING  
ENCROACHMENTS THAT MAY OCCUR.

FOR PERMITTING PURPOSES ONLY.



### QUANTITIES

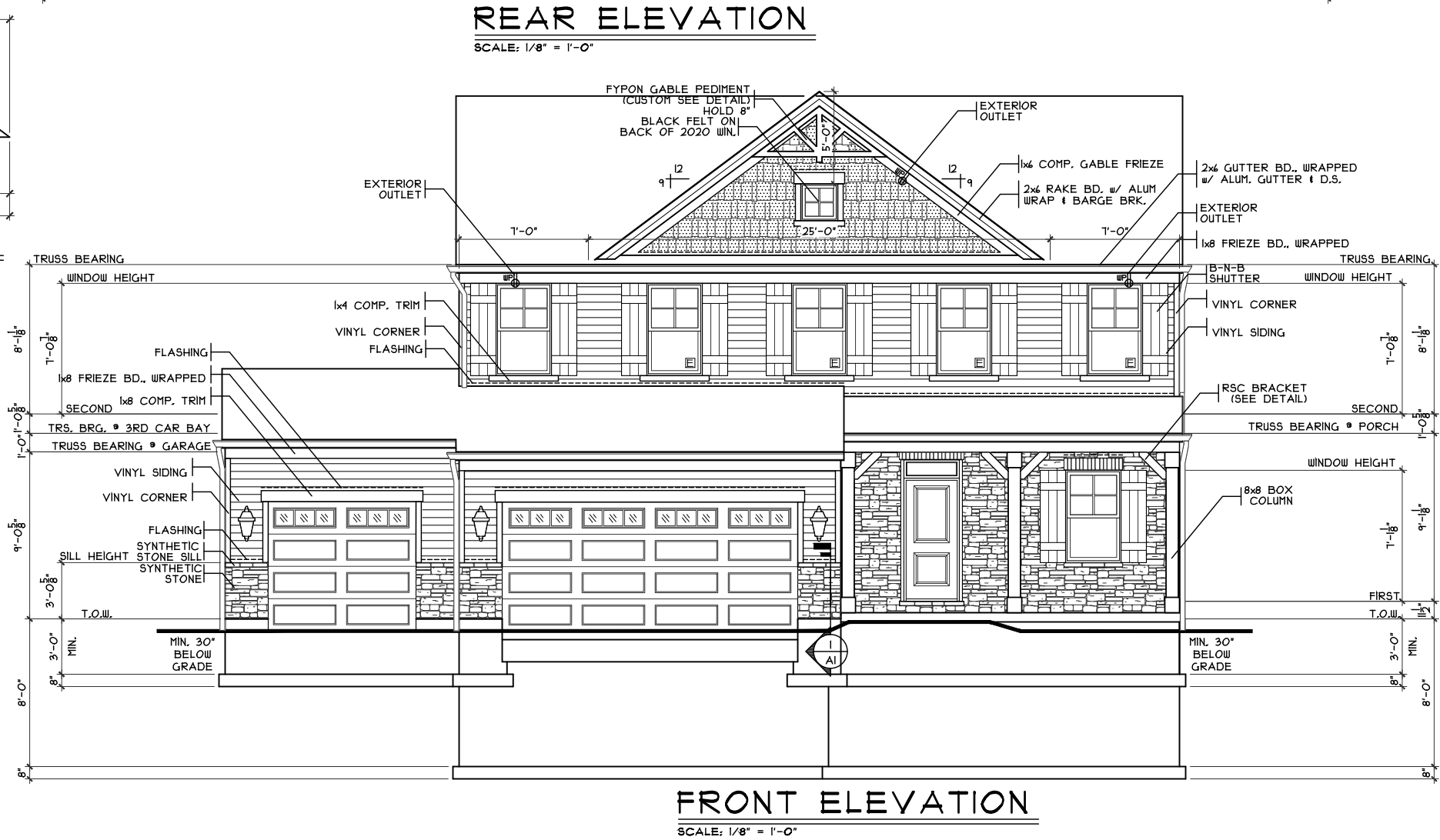
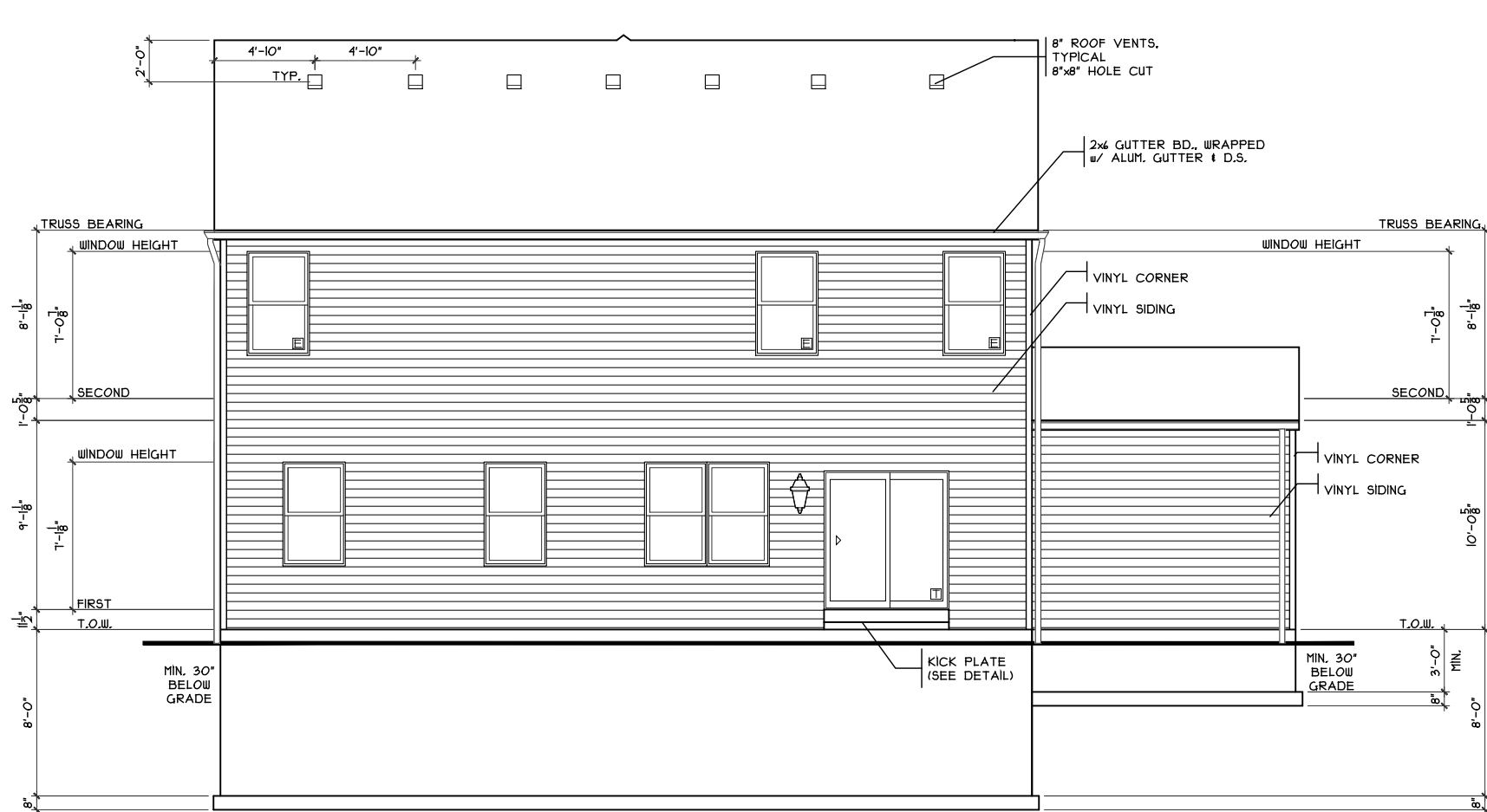
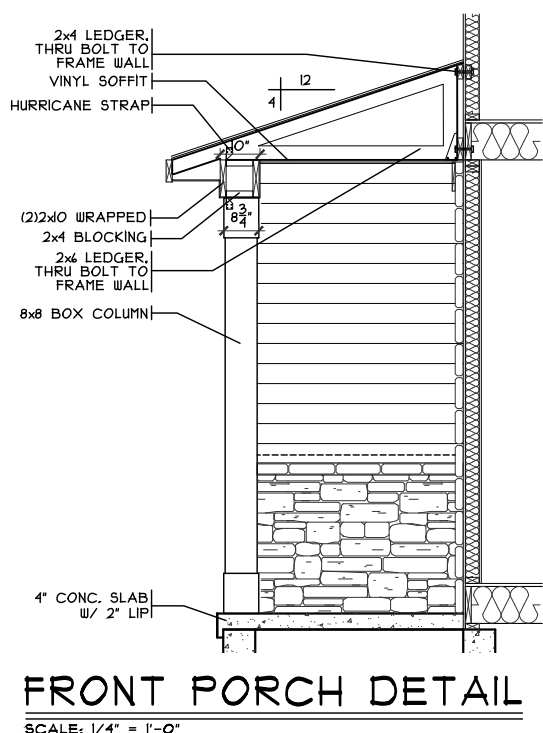
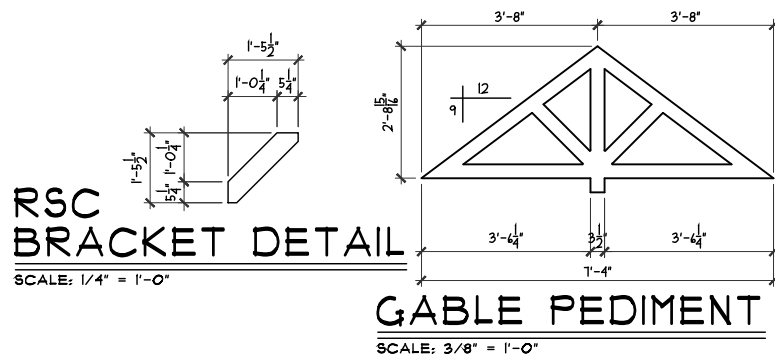
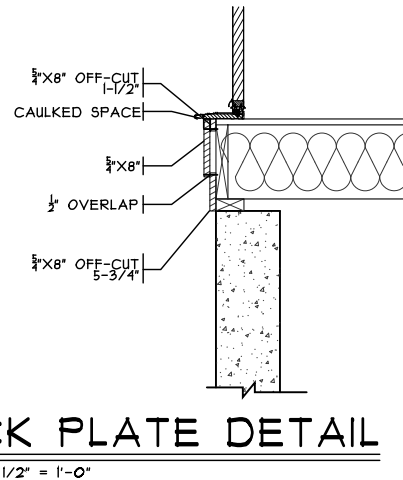
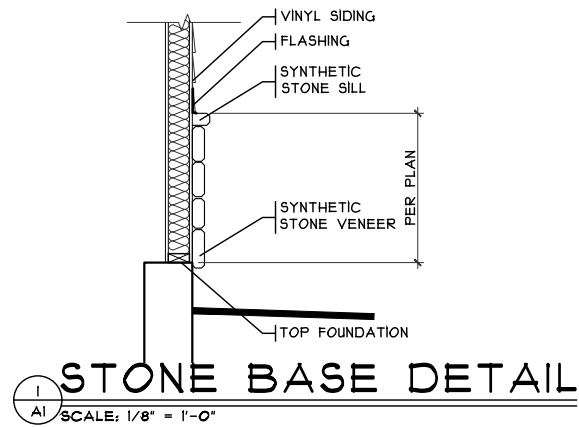
TOTAL LOT AREA	23325	sq. ft.
CITY WALK	119	sq. ft.
HOUSE WALK	50	sq. ft.
DRIVE	1156	sq. ft.
APRON	112	sq. ft.
PATIO AND PORCHES	92	sq. ft.
DECK		sq. ft.
SEEDING AREA	6095	sq. ft.
UNDISTURBED AREA	14243	sq. ft.

SCALE: 1"=30'  
DATE: 8/26/2021  
DRAWN: REW  
DESIGNED: -  
CHECKED: KRC

**APEX**  
ENGINEERING & SURVEYING, INC.  
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:  
1.  
2.  
3.  
4.

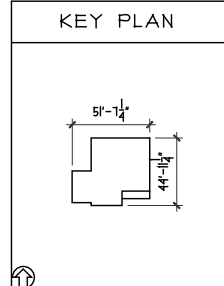
PROJECT: WATERBURYVILL	SHEET
DRAWING: 212173PA	1 OF 1



SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan
A4	Second Floor Plan
A5	Typical Wall Sections/Stair Section
A6	Typical Framing Details (Aluminum)
G1	General Notes

NOTE:  
 PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"  
 PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

PLAN INFO.	
252433B4	
4	BDRMS
2.5	BATH
4.5	CAR GARAGE
1	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	2428
FIRST	1034
SECOND	1334
LOW. LEV. FIN. LOWER (SLAB)	N/A
GAR. (SLAB)	1043
	648



**OPTIONS**

Queensworth - A3 - Vinyl

Issue Dates

Review	Date

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Carlsie

Springboro

Prestige - WV-64

Proposed Residence:

Worley Residence

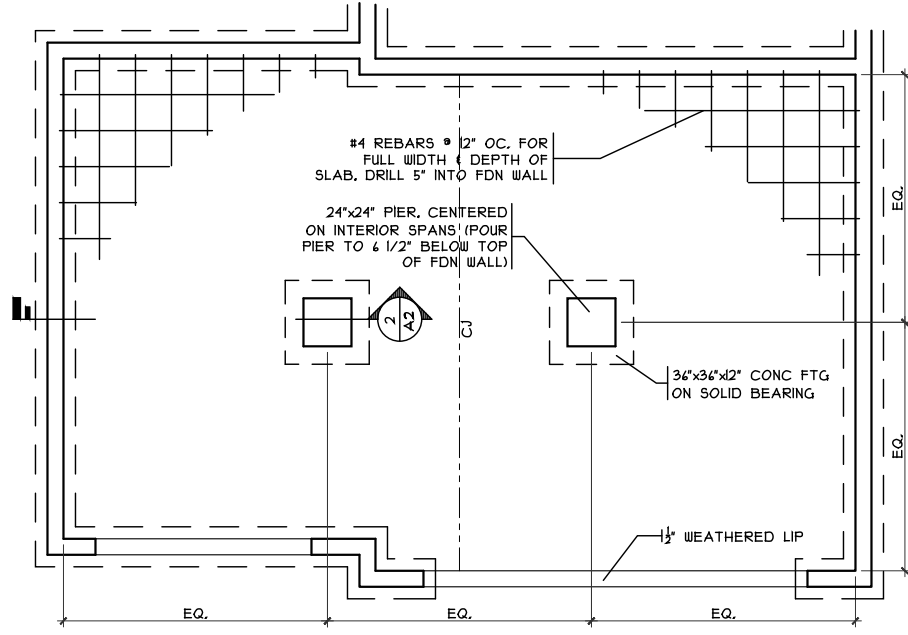
1420 Edinburg Court

Waterbury Village Lot 64

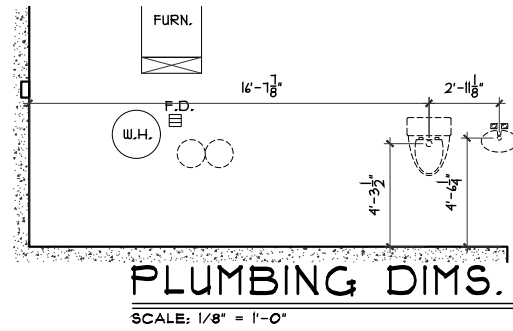
Plan: Queensworth  
 Date: 2.11.2022  
 Drawn: SMC  
 Scale: As Noted  
 Revised: 3.2.2022  
 Sheet: 1 of 15

**CRISTO HOMES**  
 7894 A Tyers Place Blvd.  
 West Chester, OH 45689  
 513.755.0570

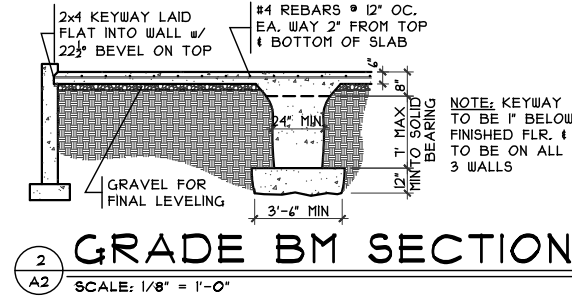
**A1**



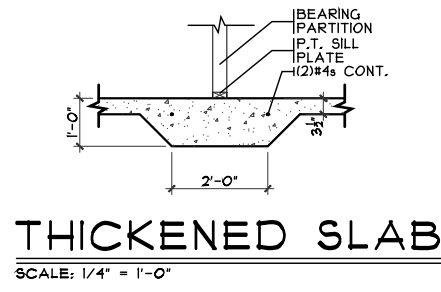
**GRADE BM DETAIL**  
SCALE: 1/8" = 1'-0"



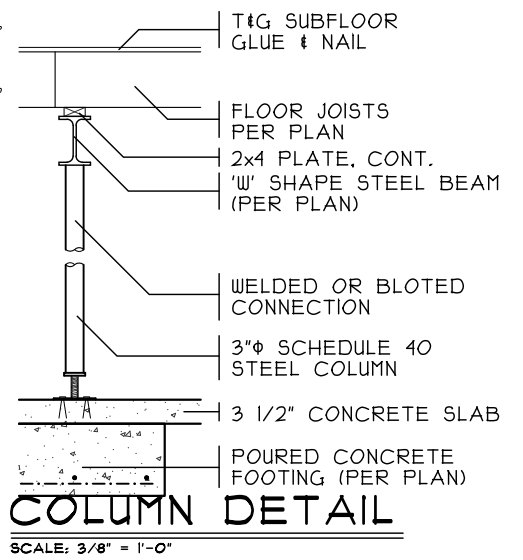
**PLUMBING DIMS.**  
SCALE: 1/8" = 1'-0"



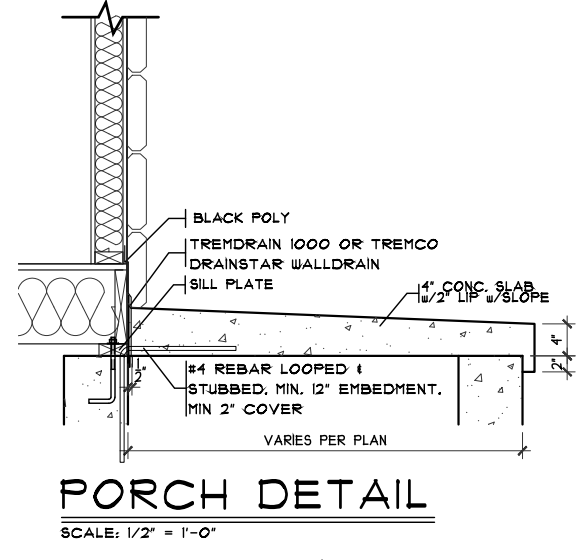
**GRADE BM SECTION**  
SCALE: 1/8" = 1'-0"



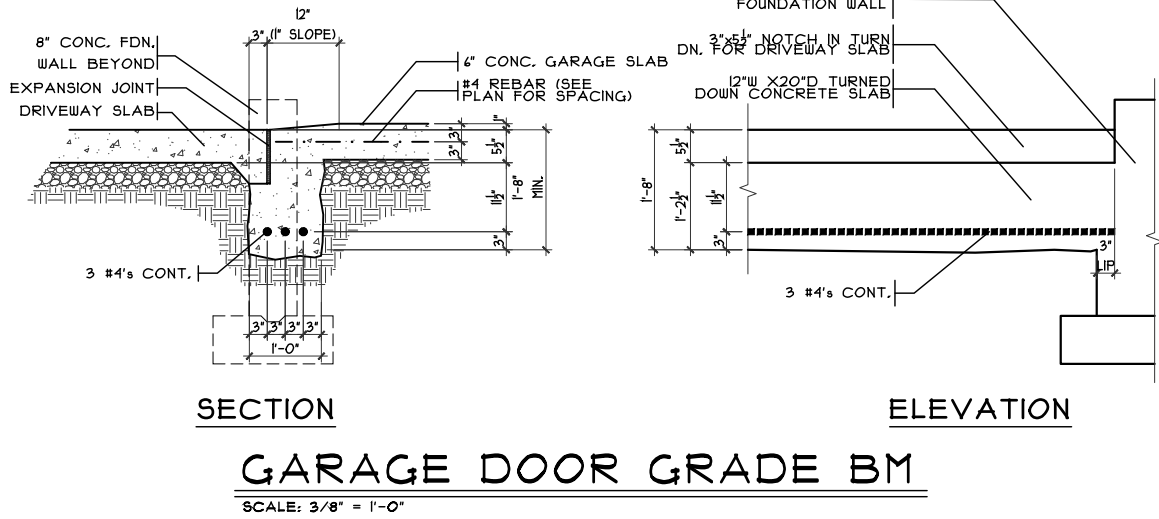
**THICKENED SLAB**  
SCALE: 1/4" = 1'-0"



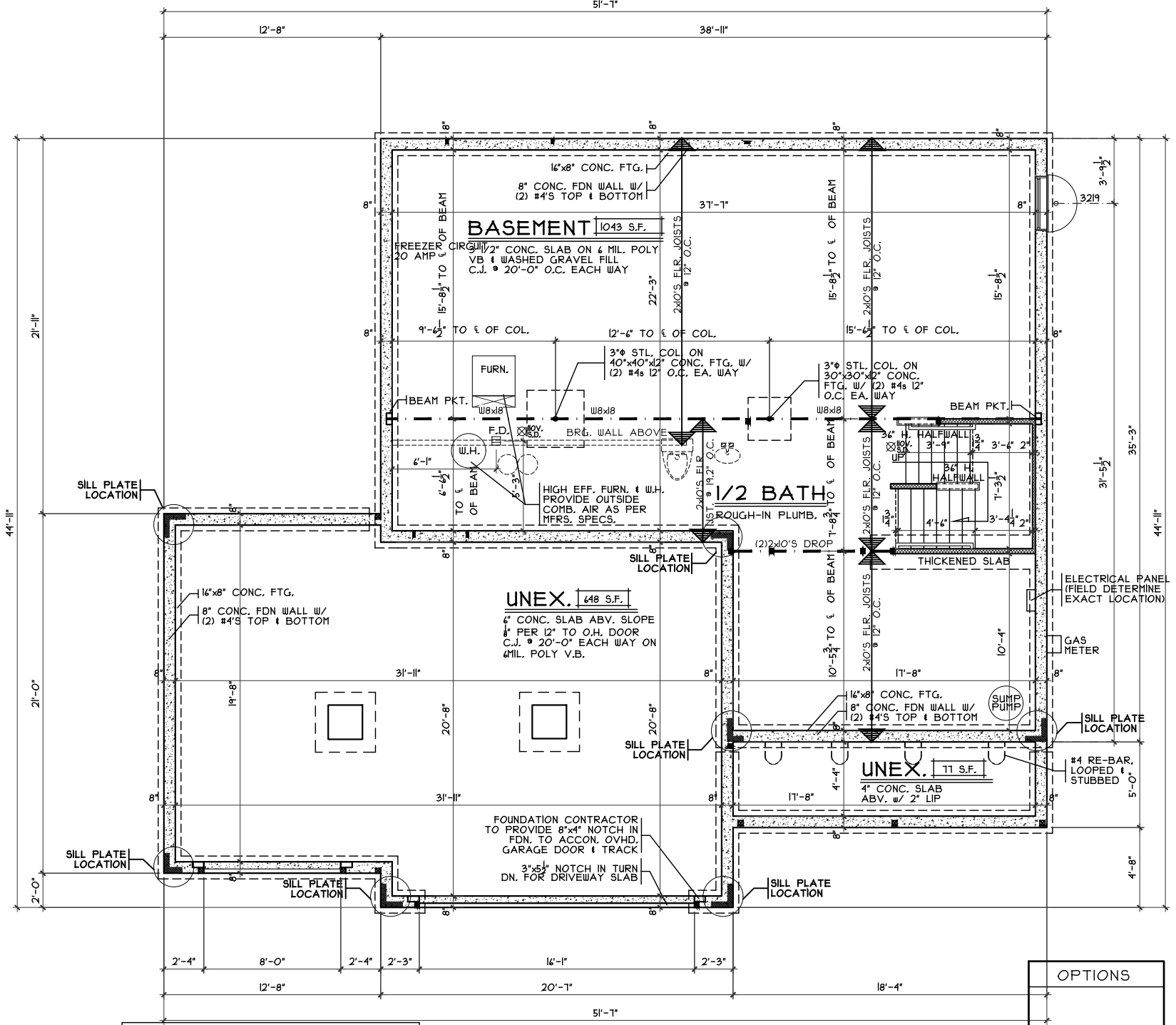
**COLUMN DETAIL**  
SCALE: 3/8" = 1'-0"



**PORCH DETAIL**  
SCALE: 1/2" = 1'-0"



**GARAGE DOOR GRADE BM**  
SCALE: 3/8" = 1'-0"



**NOTE:**  
■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

**OPTIONS**

Foundation Plan  
Plan: Queensworth  
Date: 2.11.2022  
Drawn: SMC  
Scale: As Noted  
Revised: 3.2.2022  
Sheet: 3 of 15

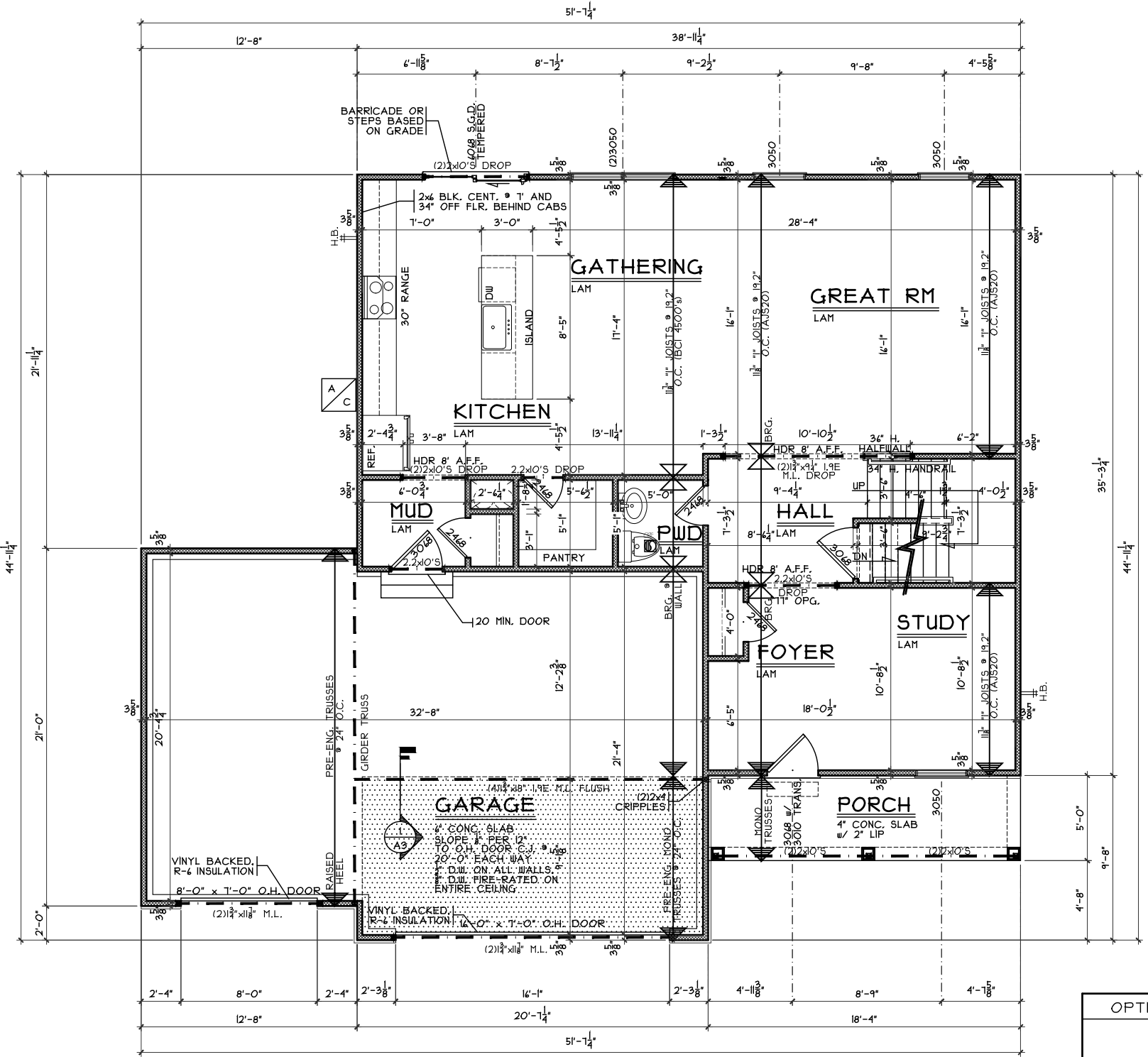
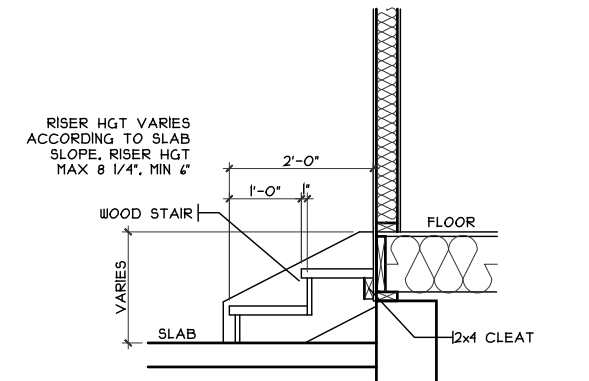
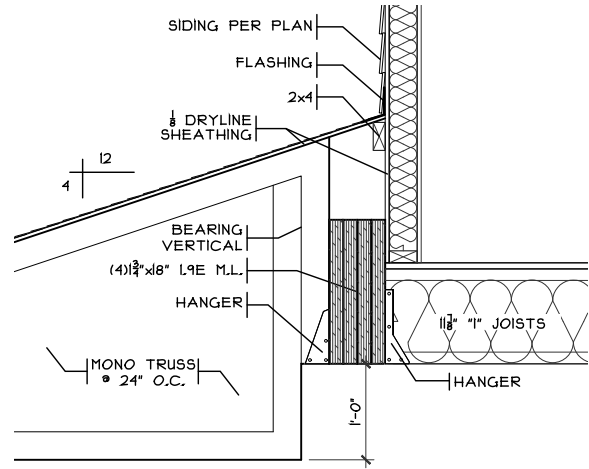


Prestige - WV-64  
Proposed Residence:  
Worley Residence  
1420 Edinburg Court  
Waterbury Village Lot 64

Cartisle  
Springboro

Queensworth - A3 - Vinyl  
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Review

**A2**



**NOTE:**  
 ■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

OPTIONS

**First Floor Plan**  
 Plan: Queensworth  
 Date: 2.11.2022  
 Drawn: SMC  
 Scale: As Noted  
 Revised: 3.2.2022  
 Sheet: 5 of 15

**CRISTO HOMES**  
 7944 Tyers Place Blvd.  
 West Chester, OH 45669  
 513.755.0570  
 www.cristohomes.com

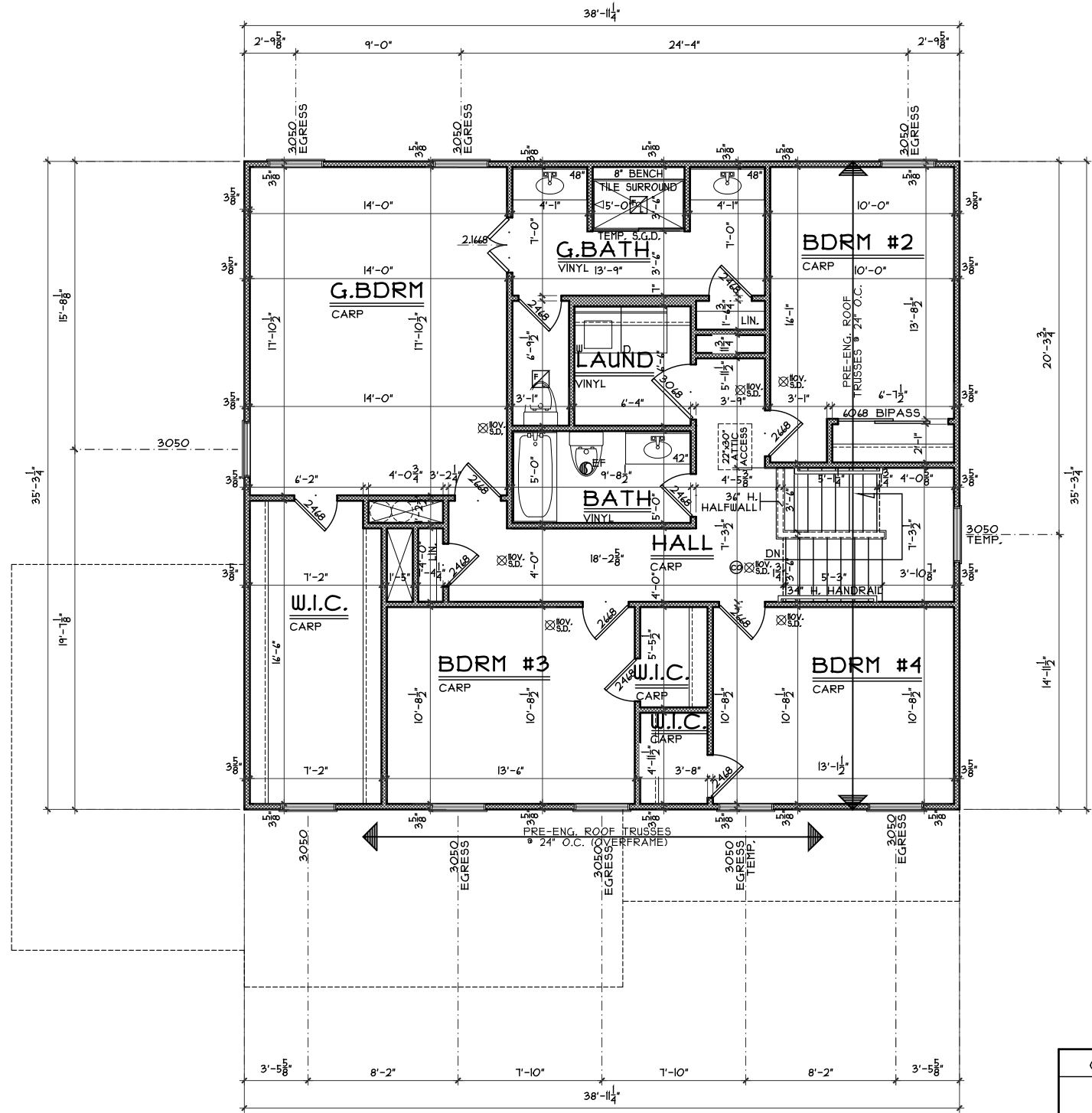
Prestige - WV-64  
 Proposed Residence:  
 Worley Residence  
 1420 Edinburg Court  
 Waterbury Village Lot 64

Queensworth - A3 - Vinyl  
 Carlsie  
 Springboro

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Review

A3



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**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 1334 SQ. FT.

OPTIONS

Second Floor Plan

Plan: Queensworth  
 Date: 2.11.2022  
 Drawn: SMC  
 Scale: As Noted  
 Revised: 3.2.2022  
 Sheet: 6 of 15



7844 Tyers Place Blvd.  
 West Chester, OH 45069  
 513.755.0570  
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Prestige - WV-64

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Worley Residence  
 1420 Edinburg Court  
 Waterbury Village Lot 64

Queensworth - A3 - Vinyl

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Issue Dates

Review	Issue Dates

Carlisle  
 Springboro

A4