

WV 78

1512 Knightsbridge Court

Carlisle, OH 45005

2 Story Slab

Softener Bypass

2 hose bibs - valves required

ice maker

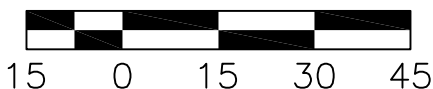
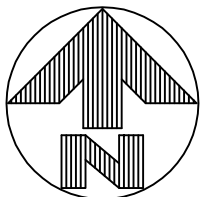
1 tub

1 shower

Laundry Tub

WATER HEATER ELECTRIC 50 GALLON

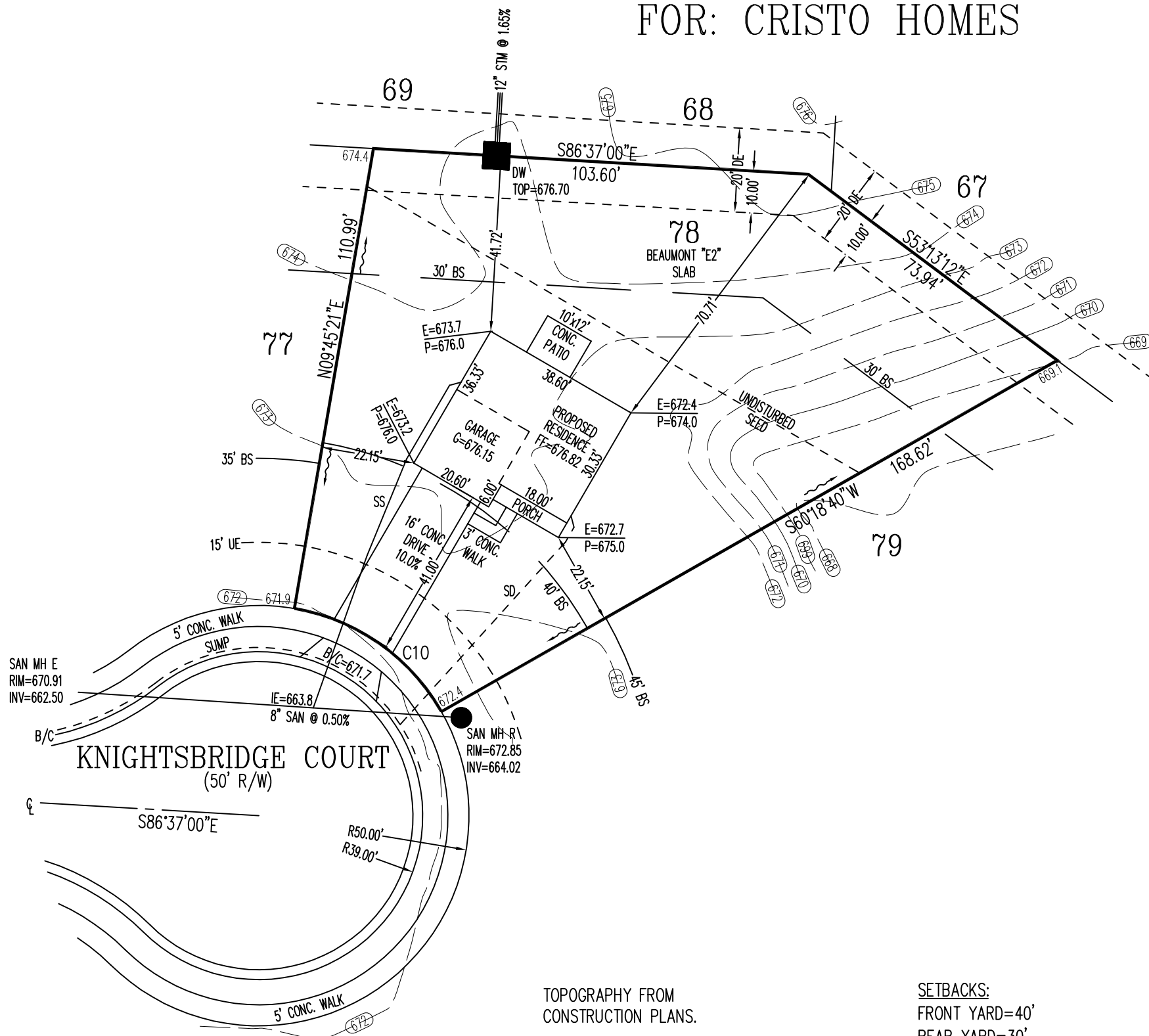
Gas Furnace



MARKET HOME  
1512 KNIGHTSBRIDGE COURT

# PLOT PLAN

LOT 78 (14,596 SF) 0.3351 AC.  
WATERBURY VILLAGE, SECTION 3  
CITY OF CARLISLE  
WARREN COUNTY, OHIO  
FOR: CRISTO HOMES



FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT. SWALE ARROWS AND DRAINAGE ROUTES ARE SUBJECT TO CHANGE.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

TOPOGRAPHY FROM CONSTRUCTION PLANS.

MAY NOT REFLECT CURRENT CONDITIONS.

SETBACKS:  
FRONT YARD=40'  
REAR YARD=30'  
SIDE YARD=10'

C10  
R=50.00'  
L=44.12'

FEMA FLOOD PANEL  
39165C0012E, ZONE "AE".  
EFFECTIVE: 12/17/2010  
BASE FLOOD ELEV.=667.0

QUANTITIES	
TOTAL LOT AREA	14596 sq. ft.
CITY WALK	130 sq. ft.
HOUSE WALK	42 sq. ft.
DRIVE	740 sq. ft.
APRON	112 sq. ft.
PATIO AND PORCHES	192 sq. ft.
DECK	0 sq. ft.
SEEDING AREA	6445 sq. ft.
UNDISTURBED AREA	6049 sq. ft.



2 WORKING DAYS  
BEFORE YOU DIG

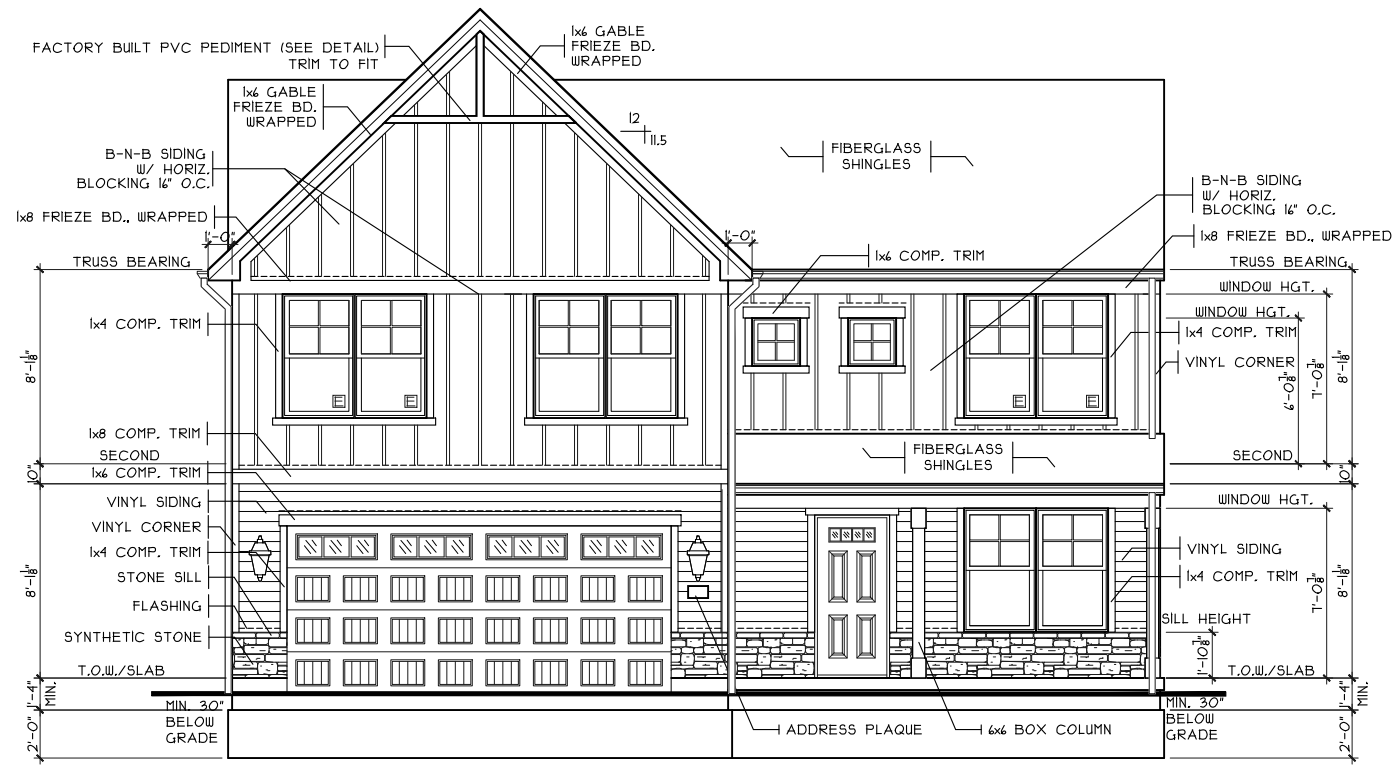
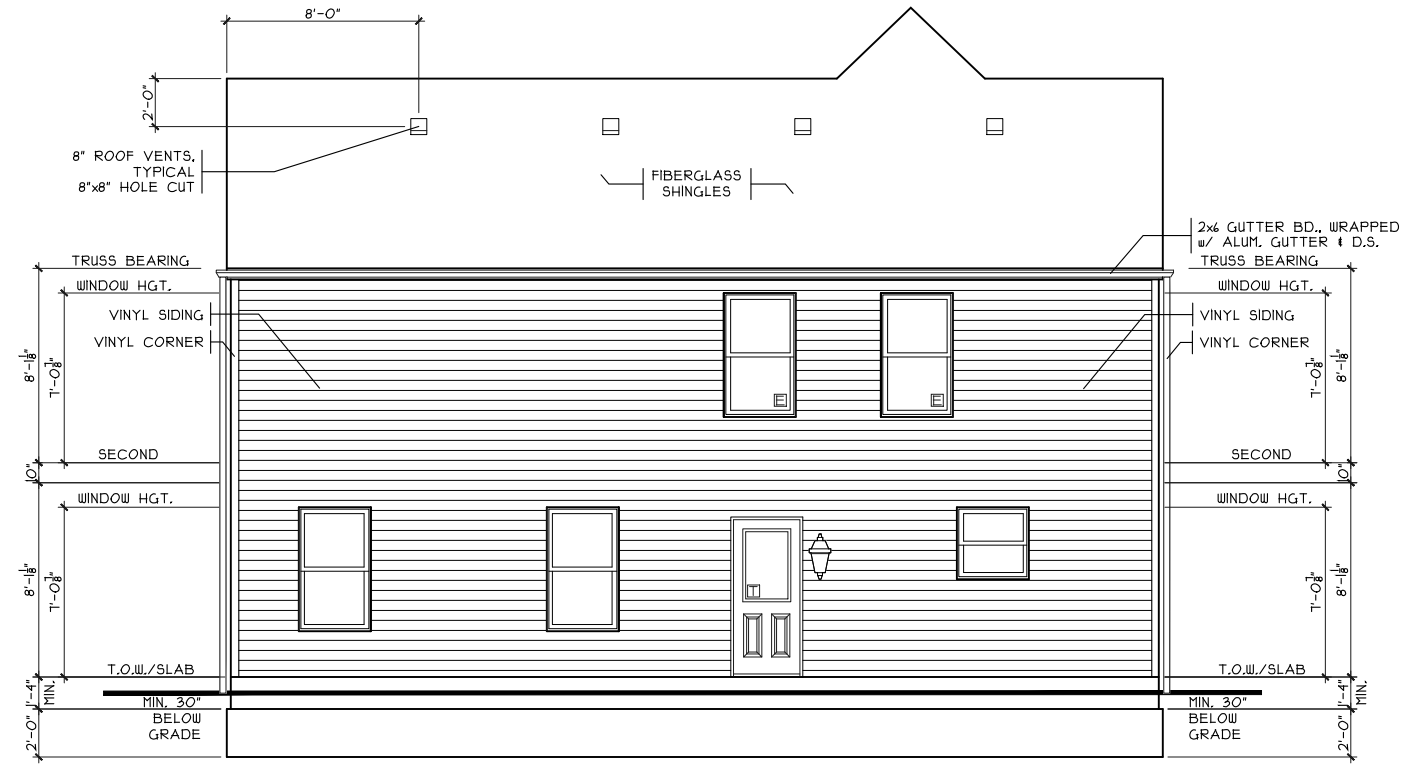
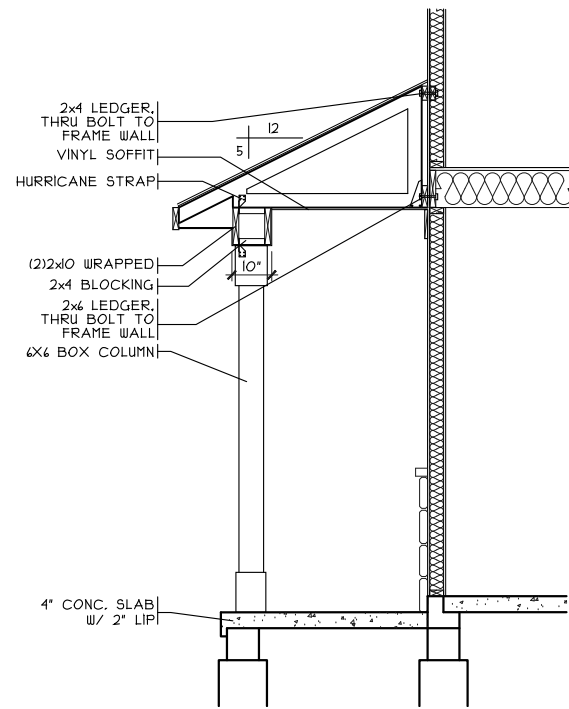
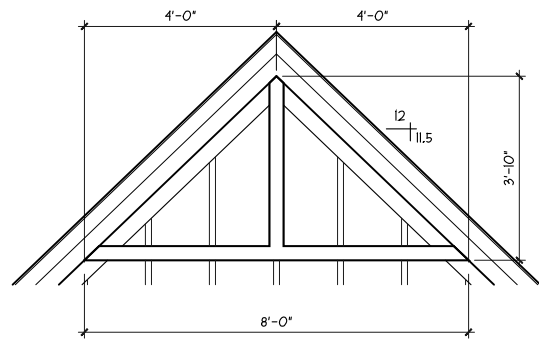
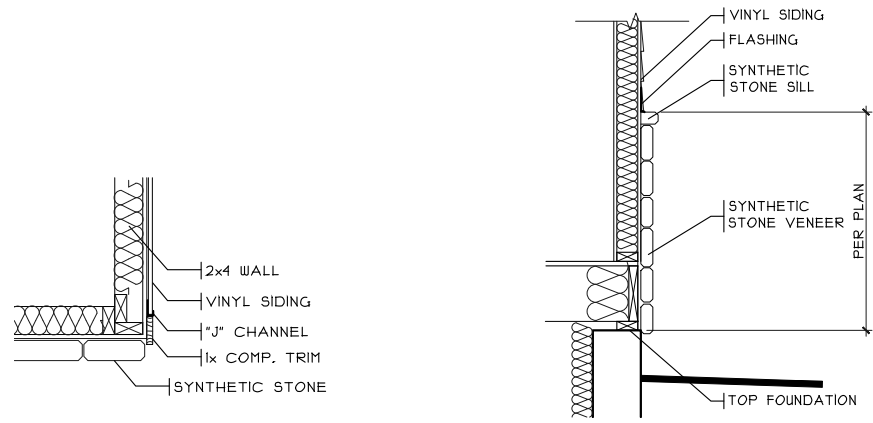
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

SCALE: 1"=30'  
DATE: 2/17/2023  
DRAWN: REW  
DESIGNED:  
CHECKED: JLS

1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:  
1.  
2.  
3.  
4.

PROJECT: WATERBURY DRAWING: 230220PA	SHEET 1 OF 1
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SHEET INDEX	
SHT#	DESCRIPTION
A1	Front and Rear Elevations
A1a	Left and Right Elevations
A2	Foundation Plan
A3	First Floor Plan/ Portal Framing Detail
A4	Second Floor Plan
A5	Typical Wall Sections/Stair Section
A6	Typical Framing Details (Aluminum)
G1	General Notes

NOTE:  
PLANS PRINTED ON 24x36 SHEETS TO BE SCALABLE AT FULL SCALE. 1/4" = 1'-0"  
PLANS PRINTED ON 11x17 SHEETS TO BE SCALABLE AT HALF SCALE. 1/8" = 1'-0"

Issue Dates

Review

Beaumont Slab - E2 - Vinyl

Renaissance - WV-78

Proposed Residence:

Market Home

1512 Knightsbridge Court

Waterbury Village Lot 78

Carliste

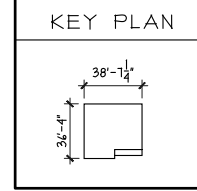
Warren County

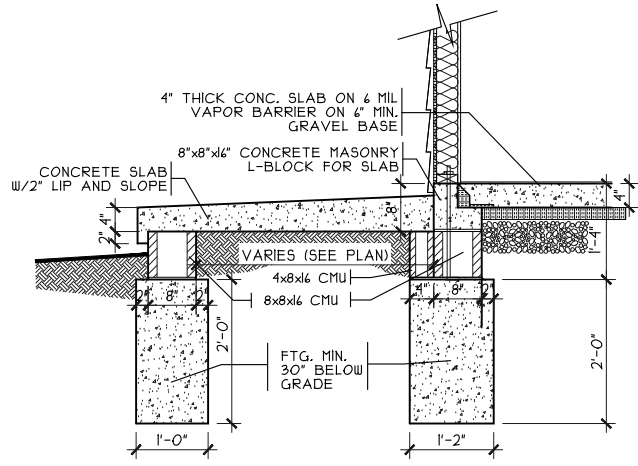
CRISTO HOMES

7594-A Tylers Place Blvd.  
West Chester, OH 45069  
513.795.0570 www.cristohomes.com

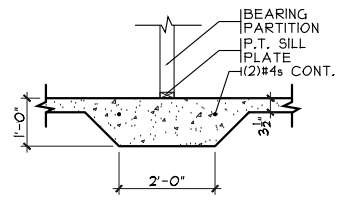
Plan: Beaumont Slab  
Date: 2.8.2023  
Drawn: SDG  
Scale: As Noted  
Revised:  
Sheet: 1 of 8

2S2156B4 PLAN INFO	
4	BDRMS
2.5	BATHS
2	CAR GARAGE
8	1ST FLR. CLG.
SQUARE FOOTAGE	
TOTAL	2154
MAIN	883
UPPER	1273
SLAB	194
GARAGE(SLAB)	378

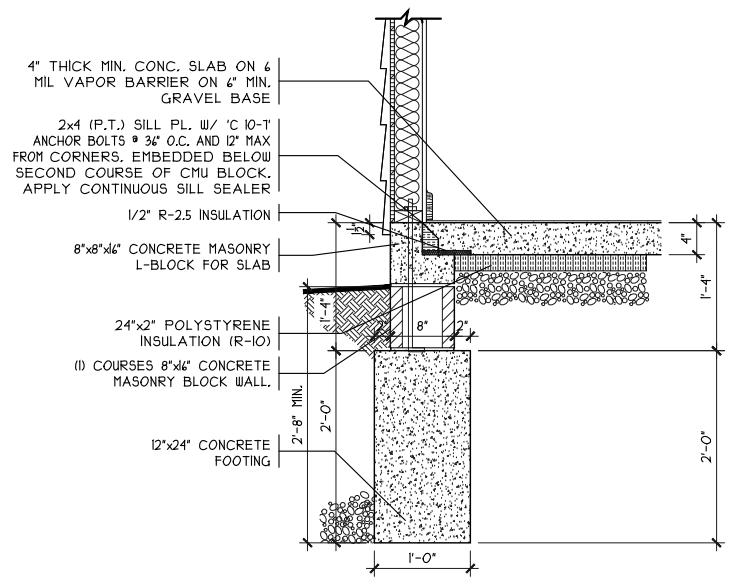




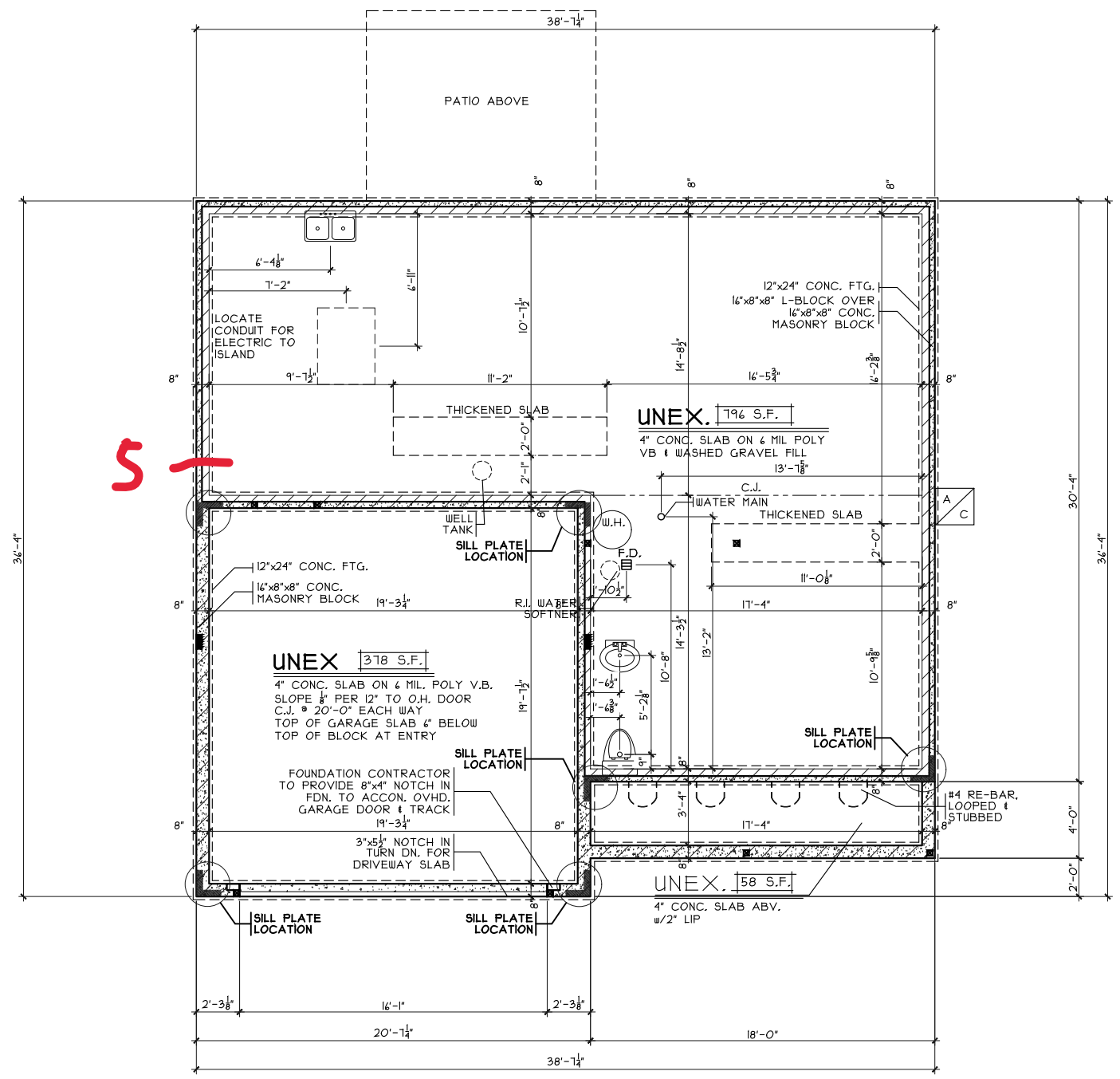
**PORCH DETAIL**  
SCALE: 3/8" = 1'-0"



**THICKENED SLAB**  
SCALE: 1/4" = 1'-0"



**SOG DETAIL**  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

**Foundation Plan**  
Plan: Beaumont Slab  
Date: 2.8.2023  
Drawn: SDG  
Scale: As Noted  
Revised:  
Sheet: 6 of 8

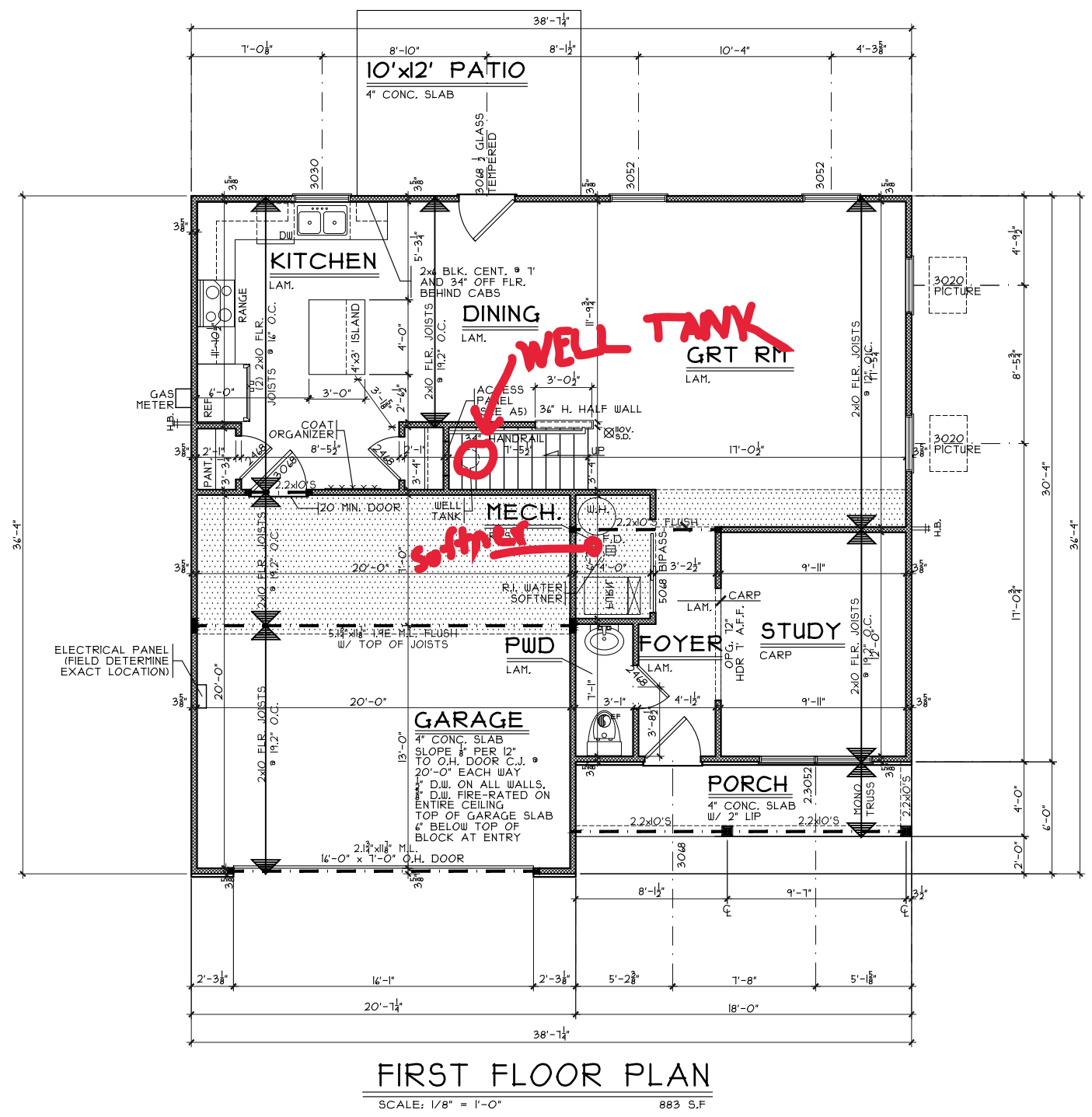
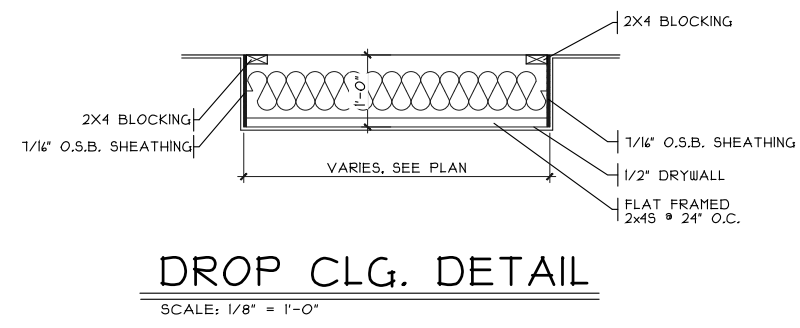
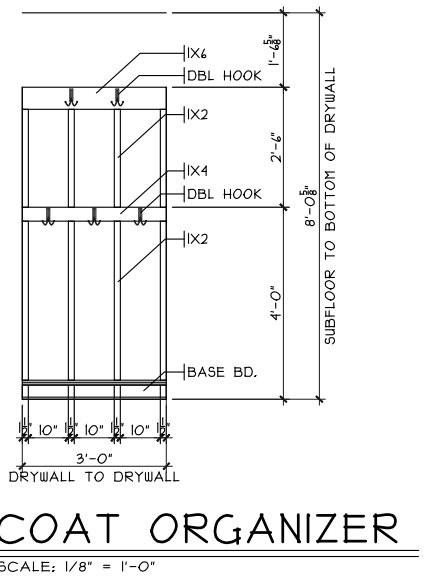
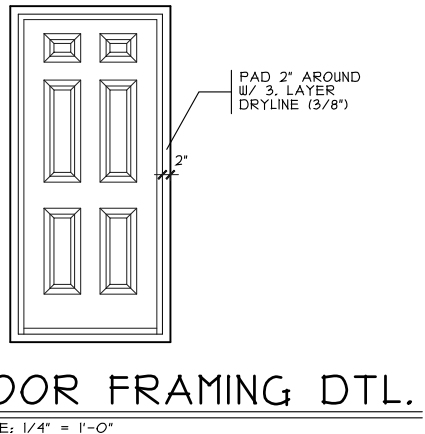
**Proposed Residence:**  
Market Home  
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Waterbury Village Lot 78

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West Chester, OH 45069  
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**Beaumont Slab - E2 - Vinyl**  
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Carlisle  
Warren County

A2



**First Floor Plan**  
Plan: Beaumont Slab  
Date: 2.8.2023  
Drawn: SDG  
Scale: As Noted  
Revised: Sheet: 7 of 8

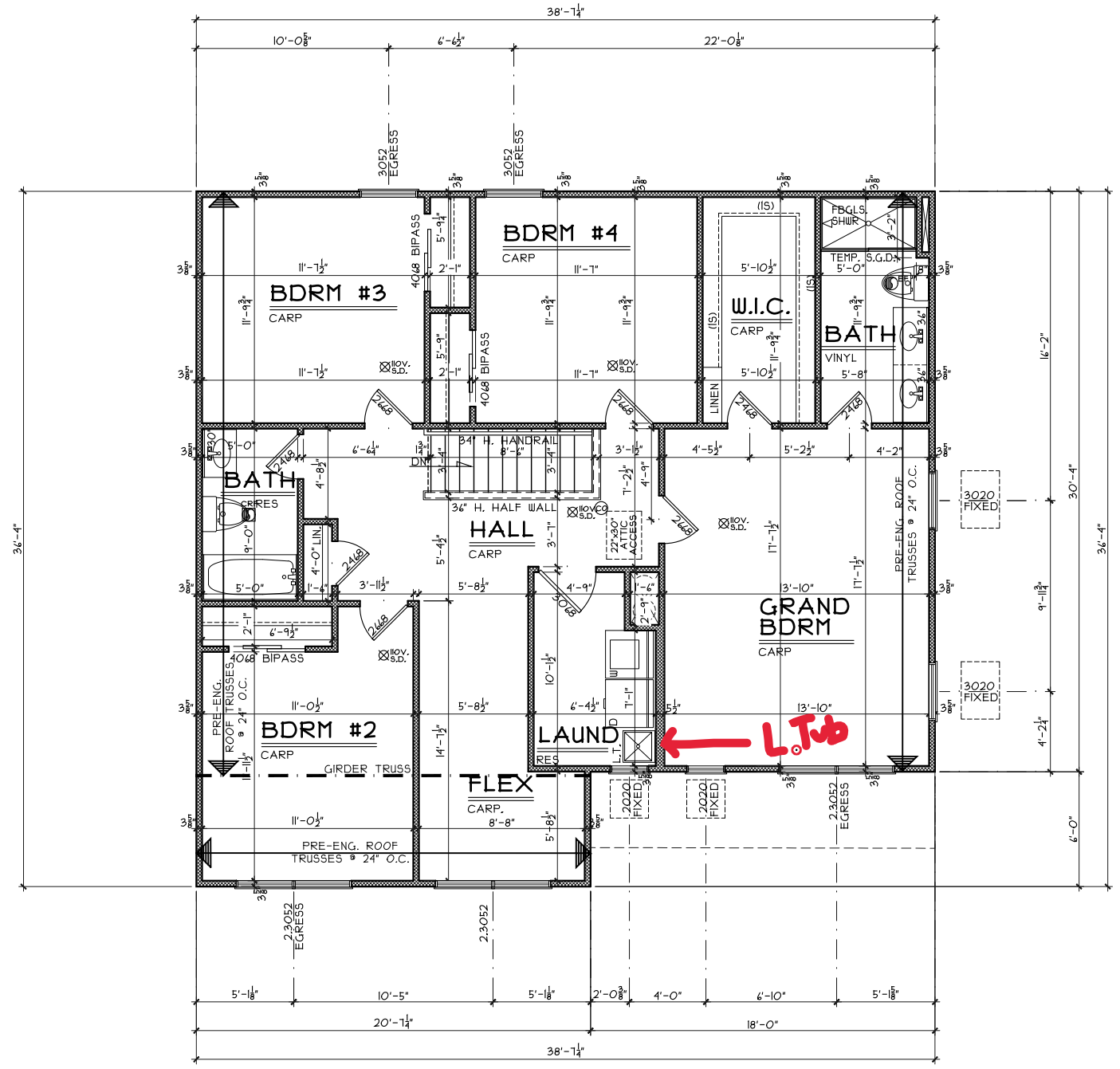
**Renaissance - WV-78**  
Proposed Residence:  
Market Home  
1512 Knightsbridge Court  
Waterbury Village Lot 78

**Beaumont Slab - E2 - Vinyl**  
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**A3**



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1213 S.F

Second Floor Plan

Plan: Beaumont Slab  
Date: 2.8.2023  
Drawn: SDG  
Scale: As Noted  
Revised:  
Sheet: 9 of 8

Renaissance - WV-78

Proposed Residence:  
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Waterbury Village Lot 78



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Beaumont Slab - E2 - Vinyl

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Warren County

Issue Dates

Review	Issue Dates

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A4