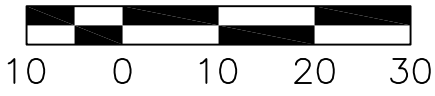
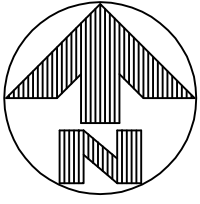


PLOT PLAN  
 LOT 8 (12,012 SF) 0.2758 AC.  
 WATERBURY VILLAGE, SECTION 1  
 CITY OF CARLISLE  
 WARREN CO., OHIO  
 FOR: CRISTO HOMES

MARKET HOME  
 MARTY LEE LANE

SETBACKS  
 FRONT=35'  
 REAR=30'  
 SIDE=10'



**QUANTITIES**

TOTAL LOT AREA=12,012 SF  
 CITY WALK=349.1 SF  
 HOUSE WALK=43.0 SF  
 DRIVE=677.3 SF  
 APRON=111.0 SF  
 PATIO & PORCHES=126.7 SF  
 DECK=  
 SEEDING=9717.7 SF  
 SOD=  
 UNSEEDED=



**INFORMATION FROM CONSTRUCTION DRAWINGS.**

CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF WATER AND UTILITY SERVICES BEFORE CONSTRUCTION.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

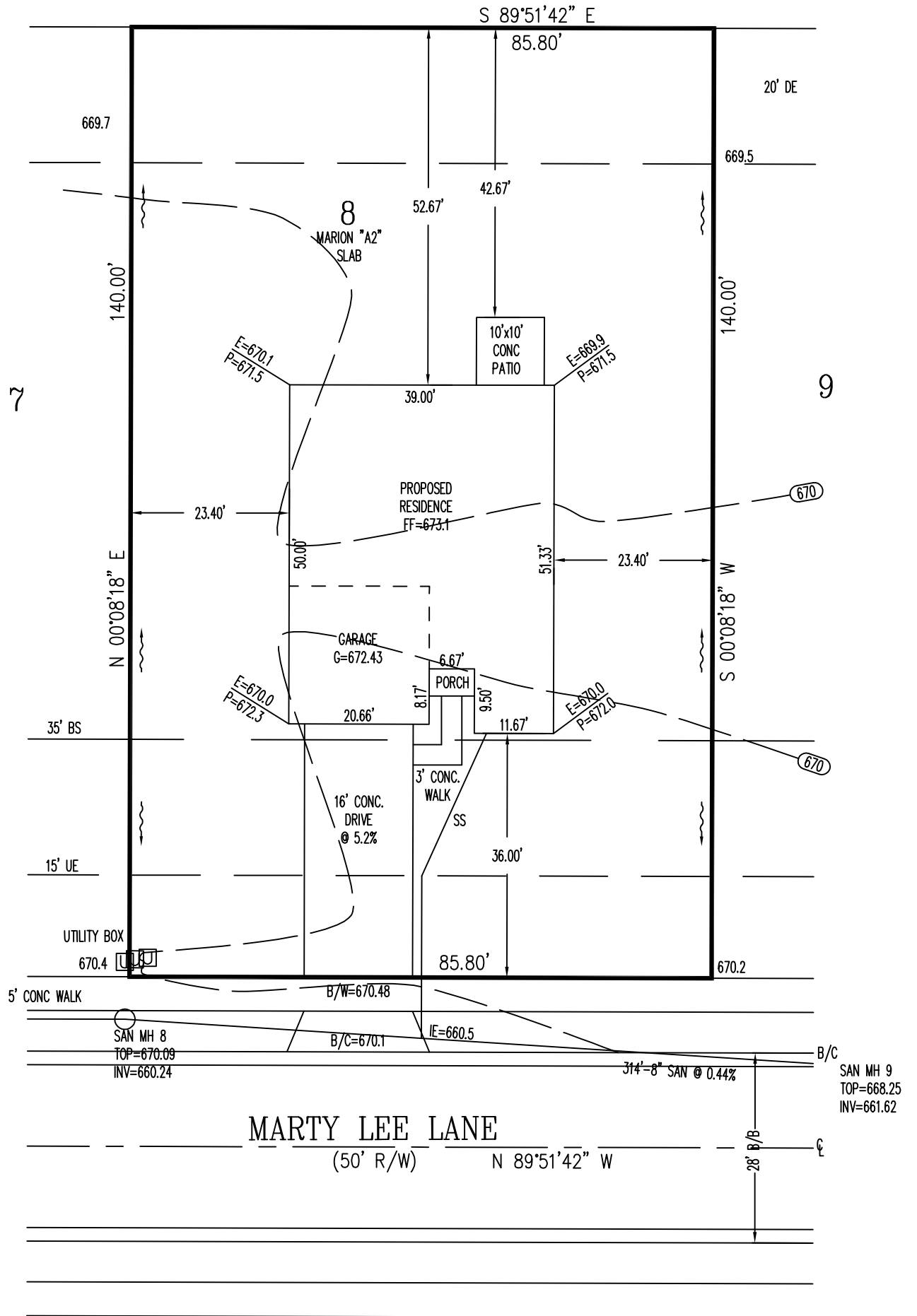
UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE BUILDER. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS.

BUILDER SHALL PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM HOUSES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.



MARTY LEE LANE  
 (50' R/W) N 89°51'42" W

SUGGESTED FF=670.0

TOPOGRAPHY FROM  
 APEX TOPOGRAPHIC  
 SURVEY, DATED  
 DECEMBER 2017.

MAY NOT REFLECT  
 CURRENT CONDITIONS.

SCALE: 1"=20'  
 DATE: 06-06-18  
 DRAWN: JLL  
 DESIGNED:  
 CHECKED: KRC



**REVISIONS:**

- 1.
- 2.
- 3.
- 4.

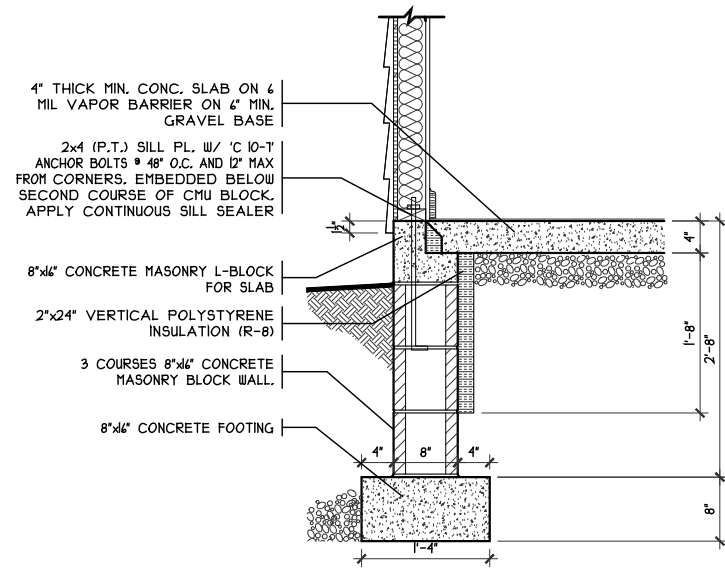
PROJECT: WATERBURYVILL  
 DRAWING: 181053PA

SHEET  
 1 OF 1



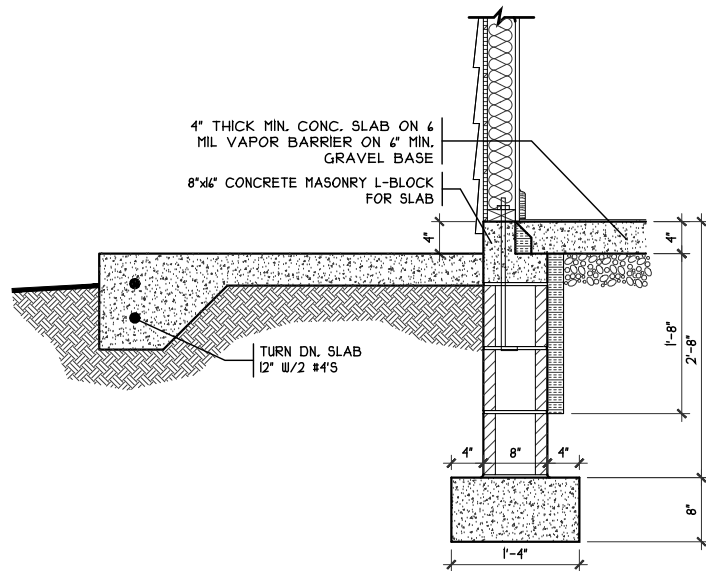
# GARAGE DOOR GRADE BM

SCALE: 3/8" = 1'-0"



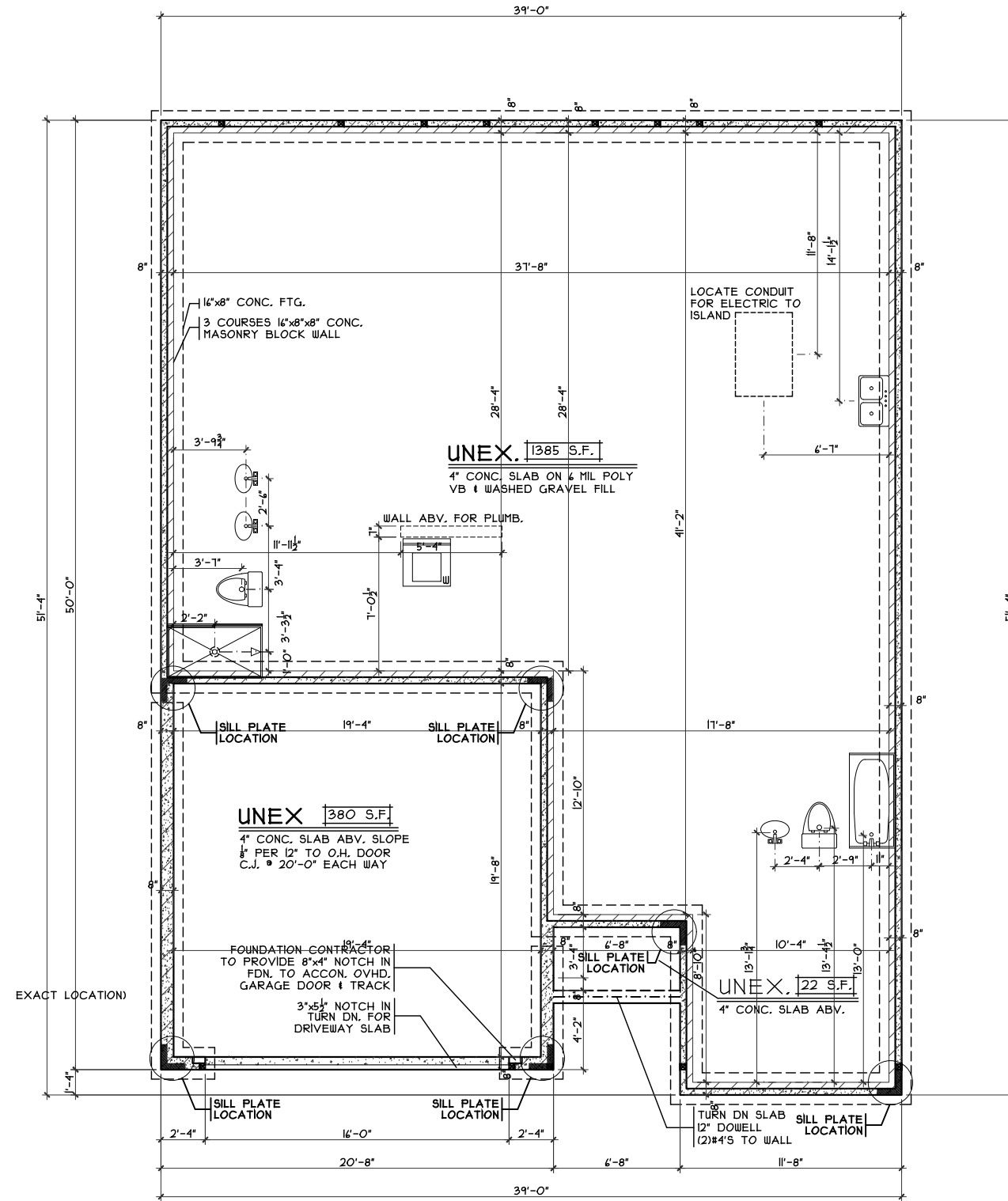
# SOG DETAIL

SCALE: 1/8" = 1'-0"



# PORCH DETAIL

SCALE: 1/8" = 1'-0"



# FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

OPTIONS

### Foundation Plan

Plan: Marion Slab  
Date: 6.5.2018  
Drawn: AR  
Scale: As Noted  
Revised: 8.10.2018  
Sheet: 3 of 8

### Proposed Residence:

Market Home  
1094 Marty Lee Lane  
Waterbury Village lot #8

### Marion Slab - B2 - Vinyl

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### Issue Dates

Issue	Date
Review	

Carlisle  
Warren County

7594-A Tylers Place Blvd.  
West Chester, OH 45380  
513.755.0570 www.cristohomes.com

A2

