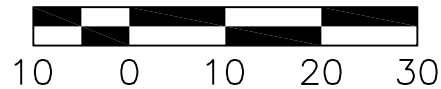
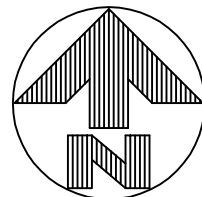


# PLOT PLAN

MARKET HOME  
1304 ELLINGTON COURT



LOT 85 (13,133 SF) 0.3015 AC.  
WATERBURY VILLAGE, SECTION 4  
CITY OF CARLISLE  
WARREN CO., OHIO  
FOR: CRISTO HOMES



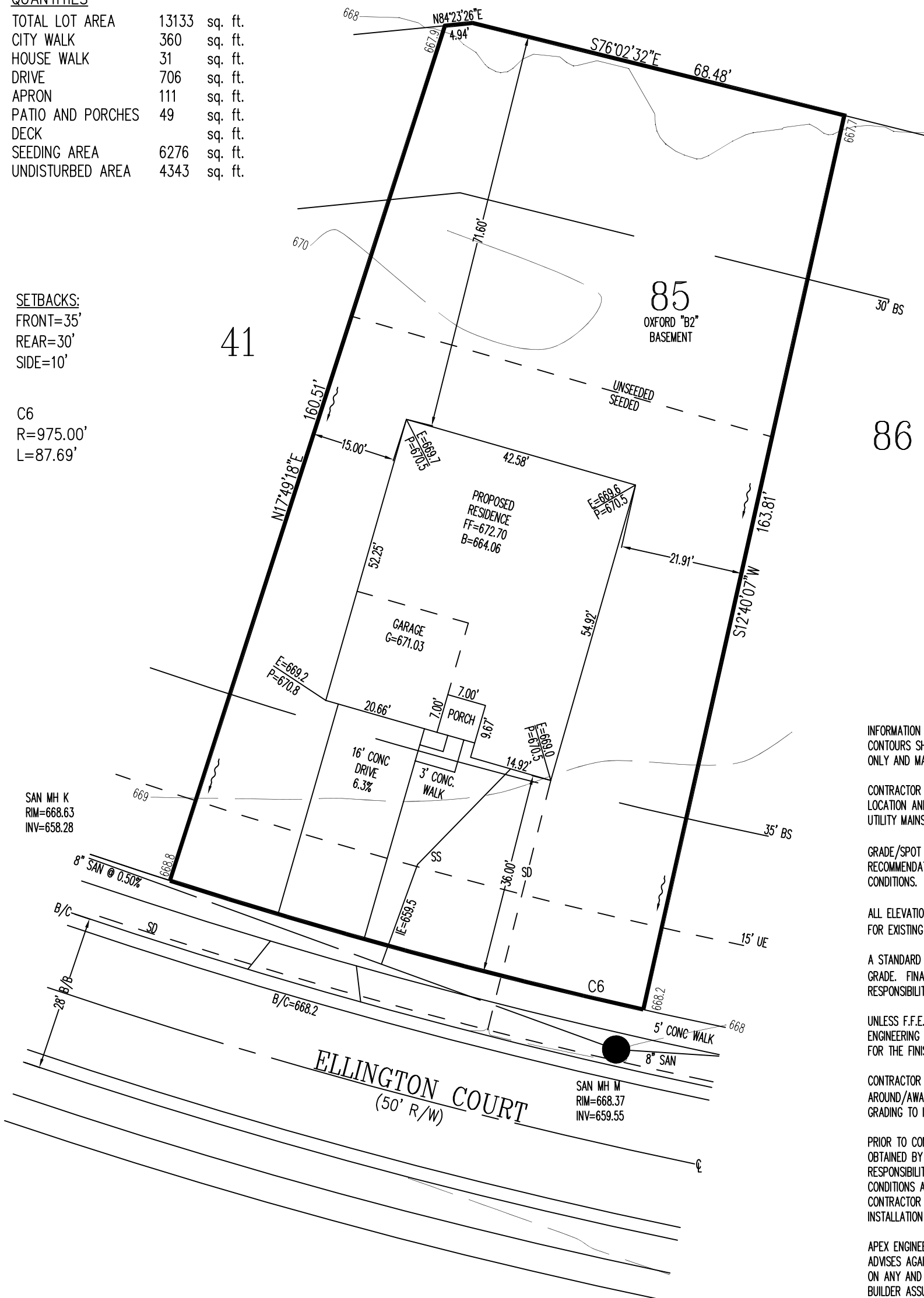
TOPOGRAPHY FROM APEX FIELD SURVEY,  
JAN. 2022.  
MAY NOT REFLECT CURRENT CONDITIONS.

### QUANTITIES

TOTAL LOT AREA	13133	sq. ft.
CITY WALK	360	sq. ft.
HOUSE WALK	31	sq. ft.
DRIVE	706	sq. ft.
APRON	111	sq. ft.
PATIO AND PORCHES	49	sq. ft.
DECK		sq. ft.
SEEDING AREA	6276	sq. ft.
UNDISTURBED AREA	4343	sq. ft.

SETBACKS:  
FRONT=35'  
REAR=30'  
SIDE=10'

C6  
R=975.00'  
L=87.69'



86



INFORMATION FROM CONSTRUCTION DRAWINGS, UTILITIES AND CONTOURS SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT.

PRIOR TO CONSTRUCTION, A GEOTECHNICAL REPORT SHALL BE OBTAINED BY THE CONTRACTOR. APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY PONTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

FOR PERMITTING PURPOSES ONLY.

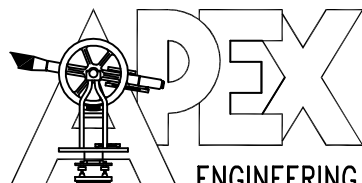
SCALE: 1"=20'

DATE: 03-28-22

DRAWN: JLL

DESIGNED:

CHECKED: JLS



ENGINEERING & SURVEYING, INC.  
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

### REVISIONS:

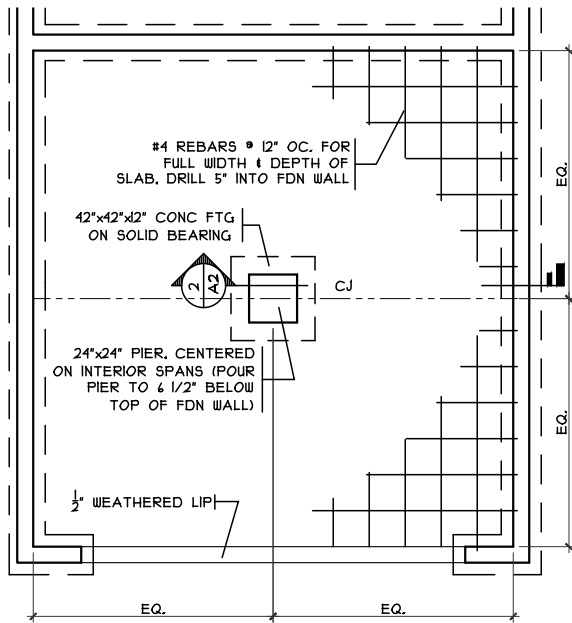
- 1.
- 2.
- 3.
- 4.

PROJECT: WATERBURYVILL  
DRAWING: 220749PA

SHEET  
1 OF 1

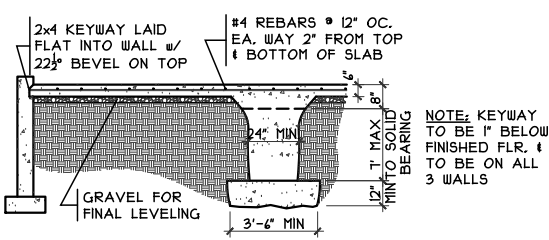
2 WORKING DAYS  
BEFORE YOU DIG  
**OHIO811.org**  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE





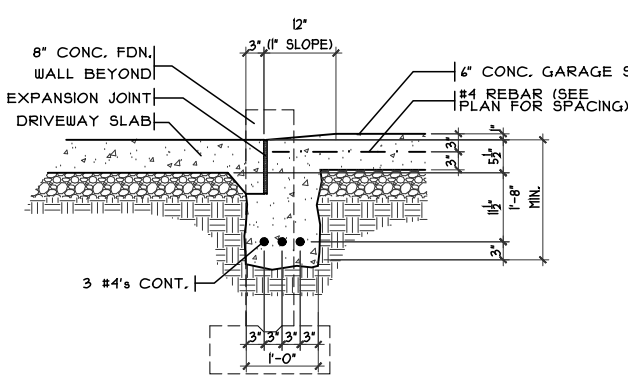
**GRADE BM DETAIL**

SCALE: 1/8" = 1'-0"



**GRADE BM SECTION**

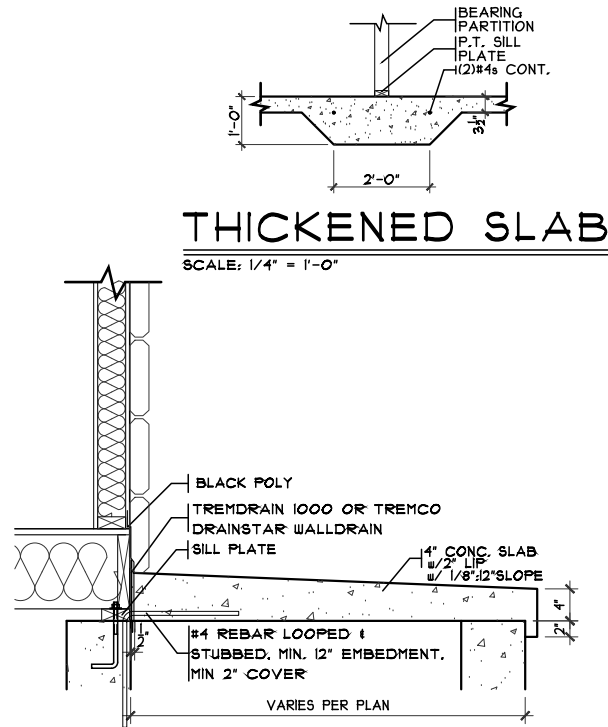
SCALE: 1/8" = 1'-0"



**SECTION**

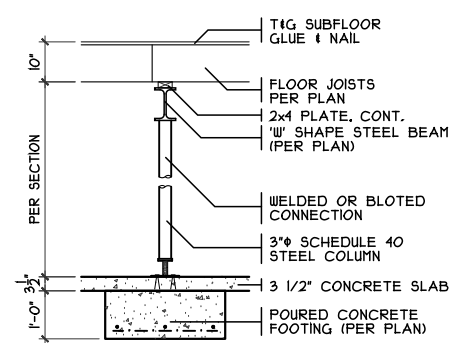
**GARAGE DOOR GRADE BM**

SCALE: 3/8" = 1'-0"



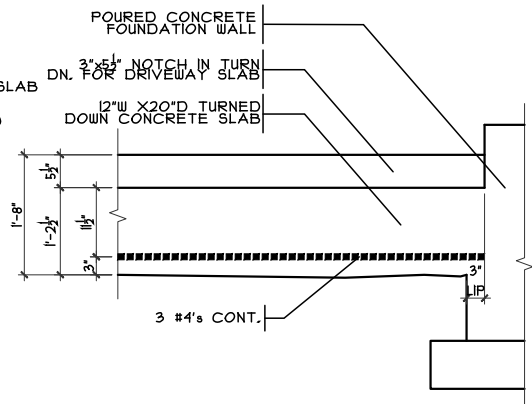
**PORCH DETAIL**

SCALE: 1/2" = 1'-0"

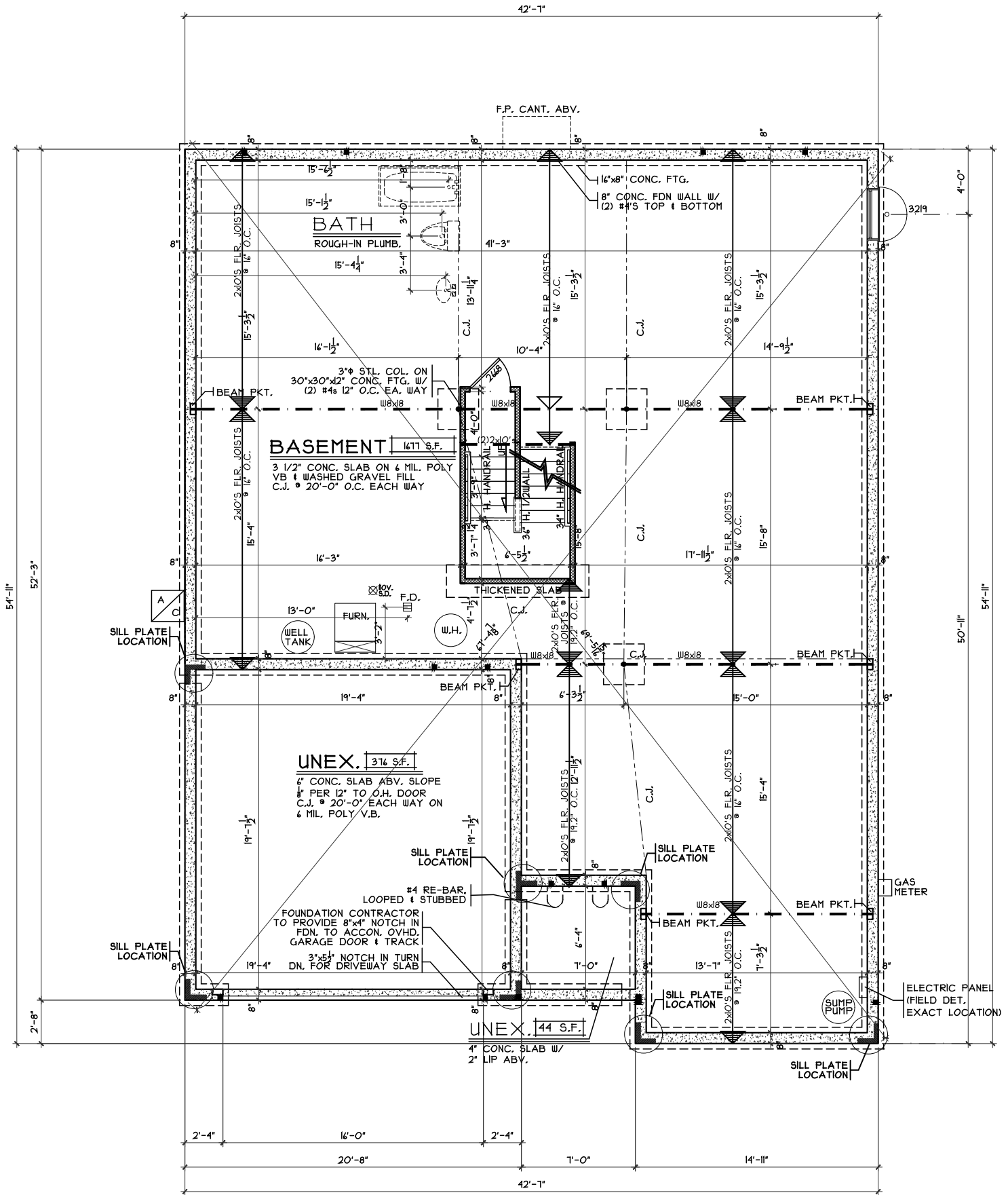


**COLUMN DETAIL**

SCALE: 1/4" = 1'-0"



**ELEVATION**



**FOUNDATION PLAN**

SCALE: 1/8" = 1'-0"

**NOTE:**  
 ■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER. CONTINUOUS TO SOLID BEARING BELOW.

Foundation Plan

Plan: Oxford  
 Date: 3.18.2022  
 Drawn: DCI  
 Scale: As Noted  
 Revised: 4.29.2022  
 Sheet: 3 of 9

Prestige - WV-85

Proposed Residence:  
 Market Home  
 1304 Ellington Court  
 Waterbury Village



7844 Tyers Place Blvd.  
 West Chester, OH 45689  
 513.755.0570 • www.cristohomes.com

Oxford - B2 - Vinyl

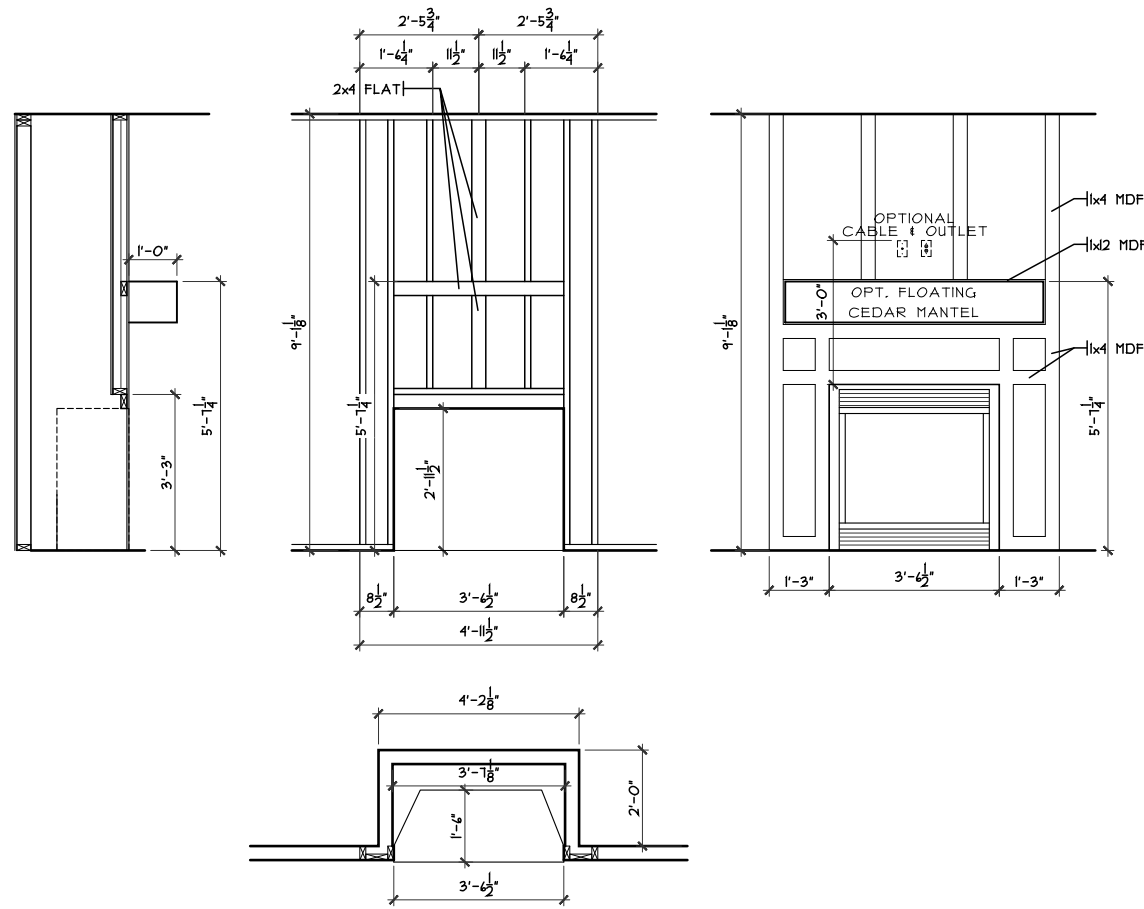
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Carlisle  
 Warren County

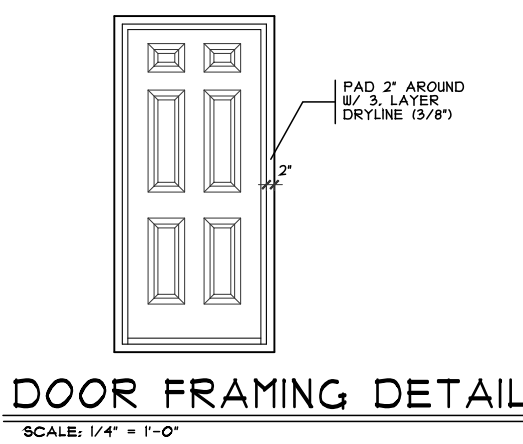
Issue Dates

Review

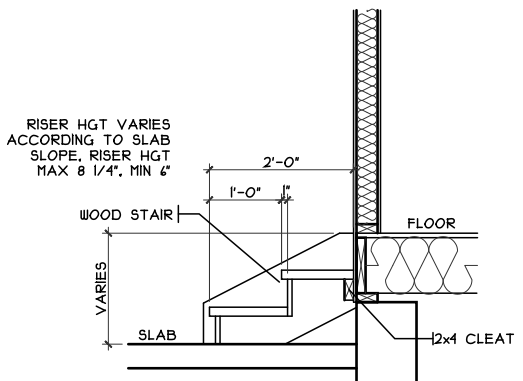
A2



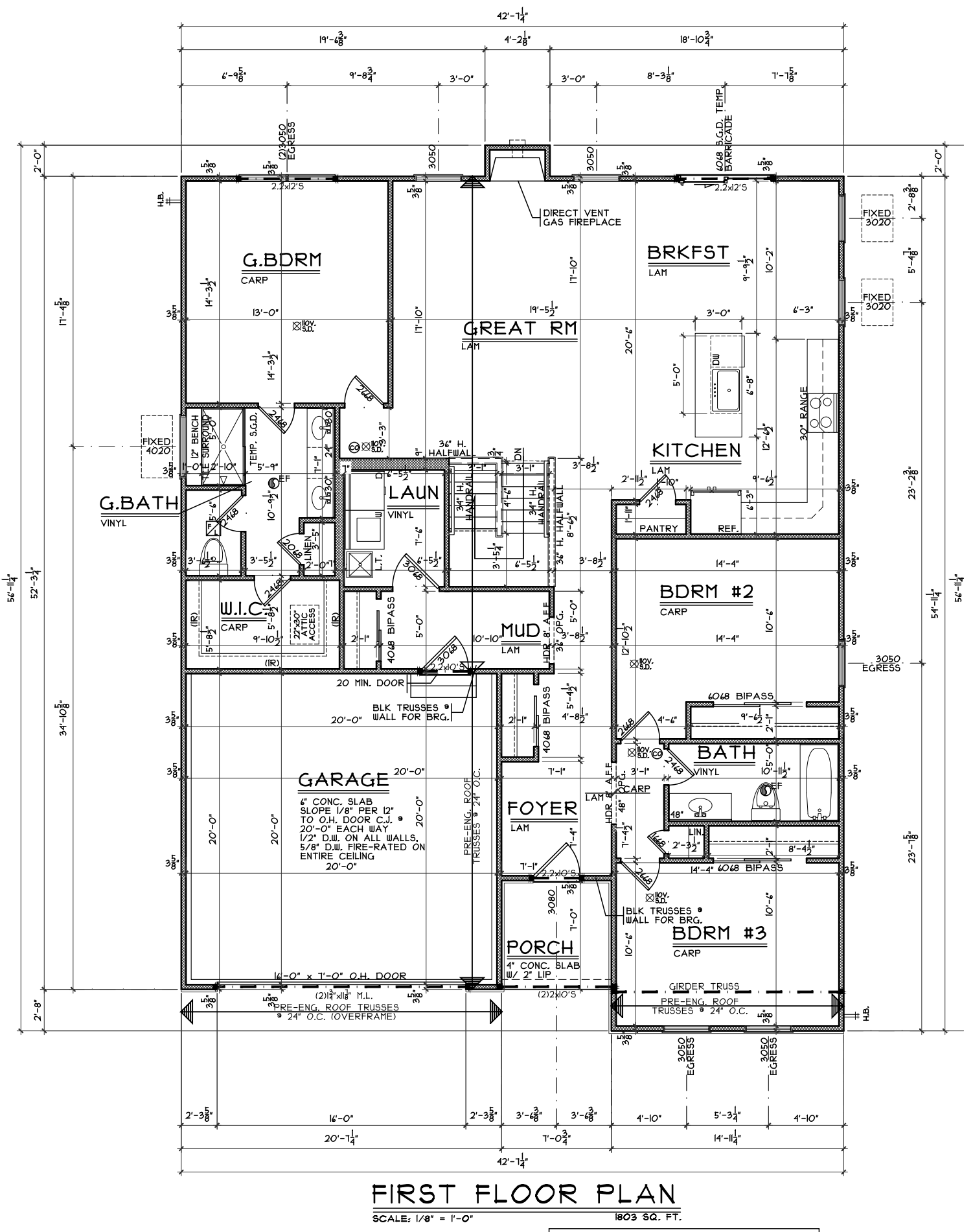
**OPT. FIREPLACE FRAMING DETAIL**  
 SCALE: 1/4" = 1'-0"



**DOOR FRAMING DETAIL**  
 SCALE: 1/4" = 1'-0"



**GARAGE STEPS**  
 SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 1803 SQ. FT.

**NOTE:**  
 ■ DENOTES BEARING CRIPPLES, THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER, CONTINUOUS TO SOLID BEARING BELOW.

**First Floor Plan**  
 Plan: Oxford  
 Date: 3.18.2022  
 Drawn: DCI  
 Scale: As Noted  
 Revised: 4.20.2022  
 Sheet: 4 of 9

**Prestige - WV-85**  
 Proposed Residence:  
 Market Home  
 1304 Ellington Court  
 Waterbury Village

**Oxford - B2 - Vinyl**  
 Carlsle  
 Warren County

**CRISTO HOMES**  
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**Issue Dates**  
 Review

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**A3**