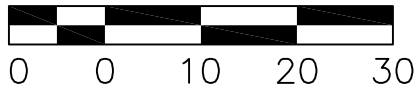
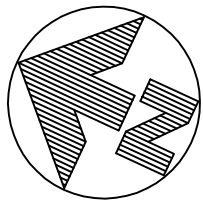
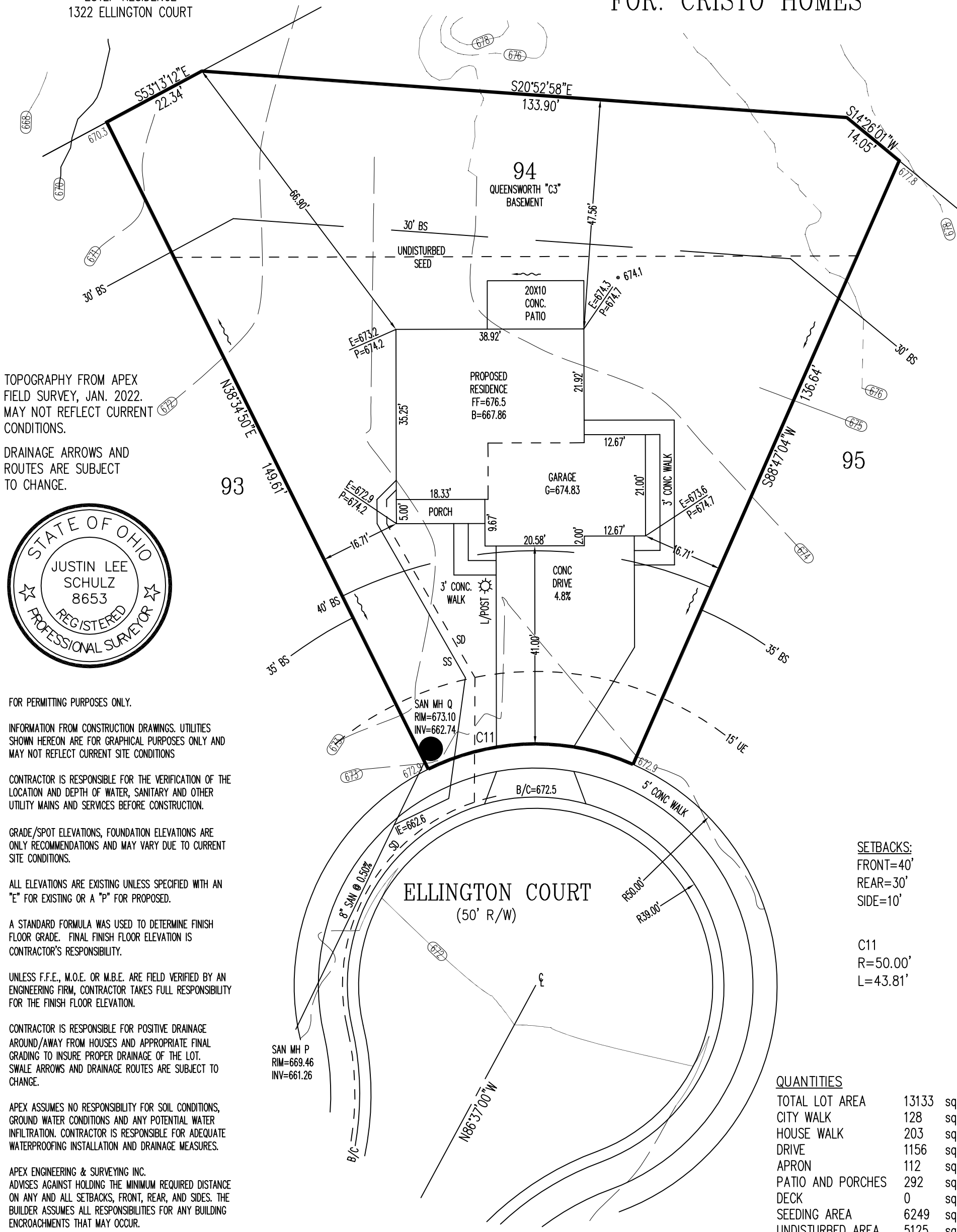


# PLOT PLAN

LOT 94 (13,133 SF) 0.3375 AC.  
 WATERBURY VILLAGE, SECTION 4  
 CITY OF CARLISLE  
 WARREN COUNTY, OHIO  
 FOR: CRISTO HOMES



ESTEP RESIDENCE  
 1322 ELLINGTON COURT



TOPOGRAPHY FROM APEX  
 FIELD SURVEY, JAN. 2022.  
 MAY NOT REFLECT CURRENT  
 CONDITIONS.  
 DRAINAGE ARROWS AND  
 ROUTES ARE SUBJECT  
 TO CHANGE.



FOR PERMITTING PURPOSES ONLY.

INFORMATION FROM CONSTRUCTION DRAWINGS. UTILITIES SHOWN HEREON ARE FOR GRAPHICAL PURPOSES ONLY AND MAY NOT REFLECT CURRENT SITE CONDITIONS

CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND DEPTH OF WATER, SANITARY AND OTHER UTILITY MAINS AND SERVICES BEFORE CONSTRUCTION.

GRADE/SPOT ELEVATIONS, FOUNDATION ELEVATIONS ARE ONLY RECOMMENDATIONS AND MAY VARY DUE TO CURRENT SITE CONDITIONS.

ALL ELEVATIONS ARE EXISTING UNLESS SPECIFIED WITH AN "E" FOR EXISTING OR A "P" FOR PROPOSED.

A STANDARD FORMULA WAS USED TO DETERMINE FINISH FLOOR GRADE. FINAL FINISH FLOOR ELEVATION IS CONTRACTOR'S RESPONSIBILITY.

UNLESS F.F.E., M.O.E. OR M.B.E. ARE FIELD VERIFIED BY AN ENGINEERING FIRM, CONTRACTOR TAKES FULL RESPONSIBILITY FOR THE FINISH FLOOR ELEVATION.

CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AROUND/AWAY FROM HOUSES AND APPROPRIATE FINAL GRADING TO INSURE PROPER DRAINAGE OF THE LOT. SWALE ARROWS AND DRAINAGE ROUTES ARE SUBJECT TO CHANGE.

APEX ASSUMES NO RESPONSIBILITY FOR SOIL CONDITIONS, GROUND WATER CONDITIONS AND ANY POTENTIAL WATER INFILTRATION. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERPROOFING INSTALLATION AND DRAINAGE MEASURES.

APEX ENGINEERING & SURVEYING INC. ADVISES AGAINST HOLDING THE MINIMUM REQUIRED DISTANCE ON ANY AND ALL SETBACKS, FRONT, REAR, AND SIDES. THE BUILDER ASSUMES ALL RESPONSIBILITIES FOR ANY BUILDING ENCROACHMENTS THAT MAY OCCUR.

SETBACKS:  
 FRONT=40'  
 REAR=30'  
 SIDE=10'

C11  
 R=50.00'  
 L=43.81'

QUANTITIES	
TOTAL LOT AREA	13133 sq. ft.
CITY WALK	128 sq. ft.
HOUSE WALK	203 sq. ft.
DRIVE	1156 sq. ft.
APRON	112 sq. ft.
PATIO AND PORCHES	292 sq. ft.
DECK	0 sq. ft.
SEEDING AREA	6249 sq. ft.
UNDISTURBED AREA	5125 sq. ft.

2 WORKING DAYS  
 BEFORE YOU DIG

CALL TOLL FREE 800-362-2764  
 OHIO UTILITIES PROTECTION SERVICE

SCALE: 1"=20'  
 DATE: 7/19/2022  
 DRAWN: REW  
 DESIGNED:  
 CHECKED: JLS

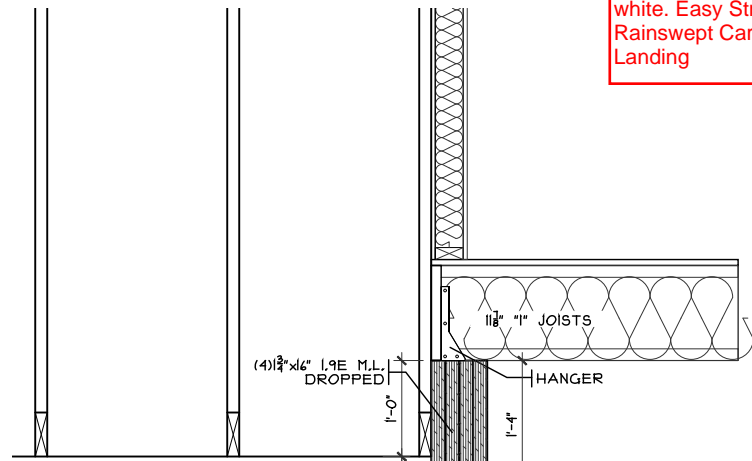
1068 N. UNIVERSITY BLVD MIDDLETOWN, OHIO 45042  
 PH.-(513) 424-5202 OR (513) 932-8991 FAX - (513) 424-6202

REVISIONS:  
 1.8/3/2022-REW-ADD WALKWAY  
 2.8/12/2022-TRS-CORNER ELVES.  
 3.  
 4.

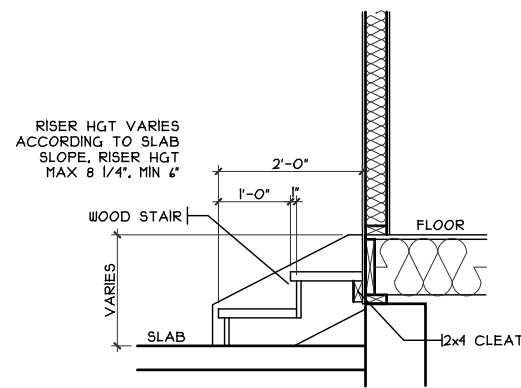
PROJECT: WATERBURYMILL	SHEET
DRAWING: 221493PA	1 OF 1





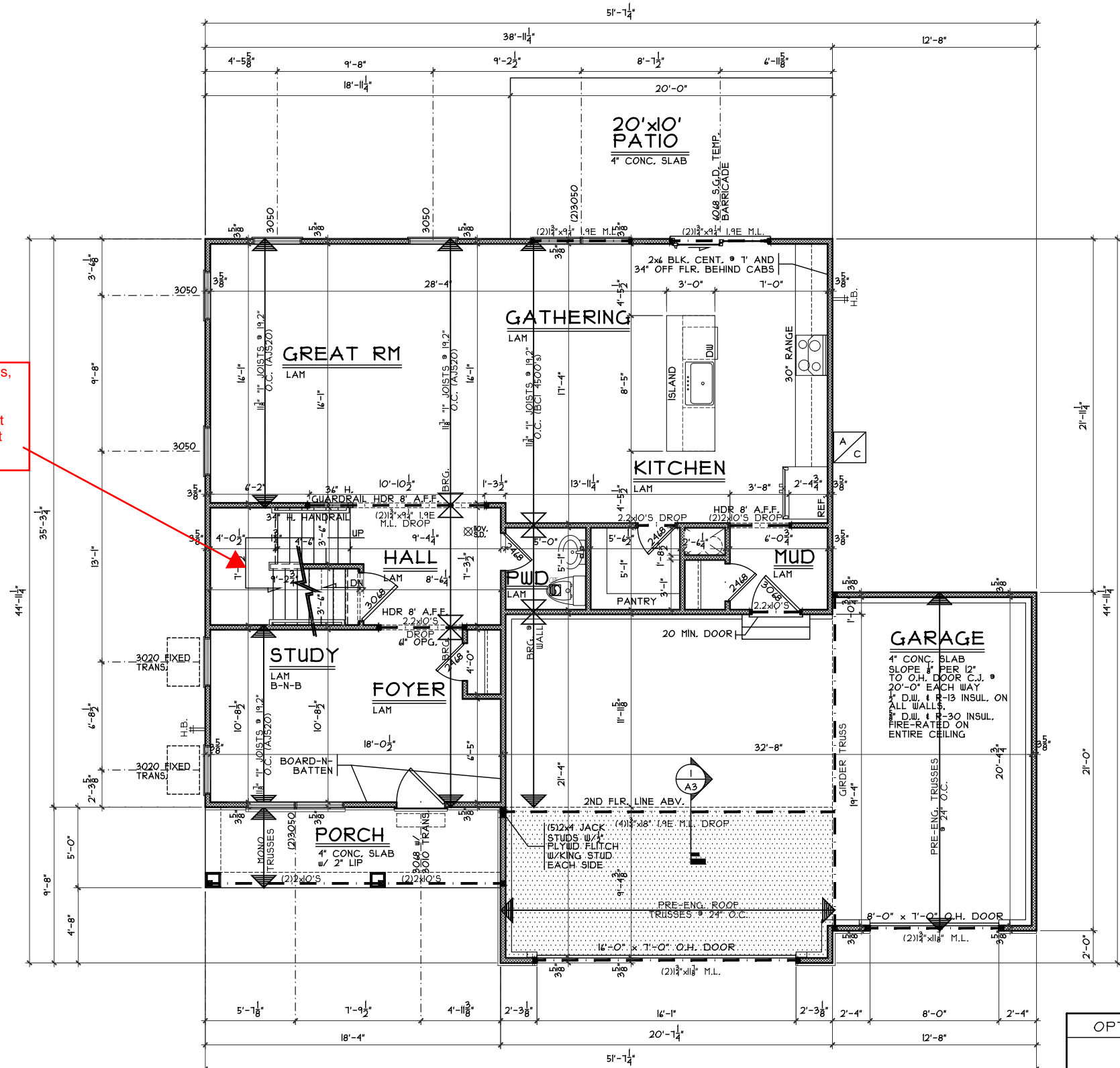


**GARAGE DETAIL**  
 SCALE: 1/2" = 1'-0"



**GARAGE STEPS**  
 SCALE: 1/8" = 1'-0"

Stained oak treads, poplar risers, stringers painted white. Easy Street Rainswept Carpet Landing



**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 1094 SQ. FT.

OPTIONS

First Floor Plan

Plan: Queensworth  
 Date: 6.21.2022  
 Drawn: SMC  
 Scale: As Noted  
 Revised: 8.11.2022  
 Sheet: 5 of 15



7944 Tyers Place Blvd.  
 West Chester, OH 45389  
 513.755.0570  
 www.cristohomes.com

Prestige - WV-94

Proposed Residence:

Estep Residence

1322 Ellington Court

Waterbury Village Lot 94

Queensworth - C3 - Vinyl

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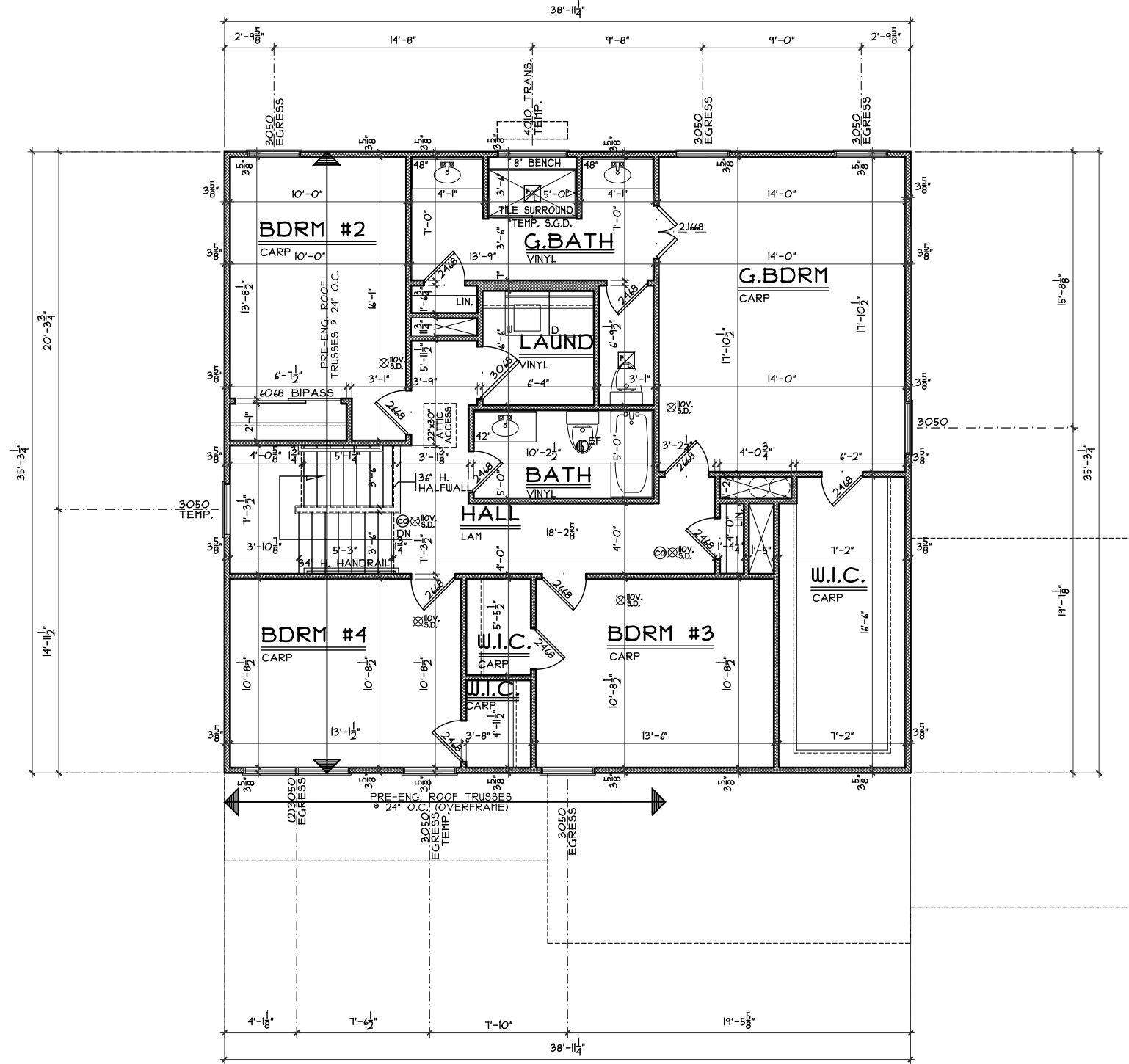
Issue Dates

Review

Carlisle  
 Springboro

A3





NOTE:  
 ■ DENOTES BEARING CRIPPLES. THERE SHOULD BE ONE CRIPPLE FOR EACH BEARING MEMBER. CONTINUOUS TO SOLID BEARING BELOW.

**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 1334 SQ. FT.

OPTIONS

Second Floor Plan

Plan: Queensworth  
 Date : 6.21.2022  
 Drawn: SMC  
 Scale : As Noted  
 Revised: 8.11.2022  
 Sheet : 6 of 15

Prestige - WV-94

Proposed Residence:  
 Estep Residence  
 1322 Ellington Court  
 Waterbury Village Lot 94

Queensworth - C3 - Vinyl

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Issue Dates

Review

Carlisle  
 Springboro

A4